



PORT MACQUARIE-HASTINGS
COUNCIL



Development Assessment Panel

Business Paper

date of meeting: Wednesday 9 October 2019

location: Function Room
Port Macquarie-Hastings Council
17 Burrawan Street
Port Macquarie

time: 2:00pm

Note: Council is distributing this agenda on the strict understanding that the publication and/or announcement of any material from the Paper before the meeting not be such as to presume the outcome of consideration of the matters thereon.

Development Assessment Panel

CHARTER

1.0 OBJECTIVES

To assist in managing Council's development assessment function by providing independent and expert determinations of development applications that fall outside of staff delegations.

2.0 KEY FUNCTIONS

- To review development application reports and conditions;
- To determine development applications outside of staff delegations;
- To refer development applications to Council for determination where necessary;
- To provide a forum for objectors and applicants to make submissions on applications before the Development Assessment Panel (DAP);
- To maintain transparency in the determination of development applications.

Delegated Authority of Panel

Pursuant to Section 377 of the Local Government Act, 1993 delegation to:

- Determine development applications under Part 4 of the Environmental Planning and Assessment Act 1979 having regard to the relevant environmental planning instruments, development control plans and Council policies.
- Vary, modify or release restrictions as to use and/or covenants created by Section 88B instruments under the Conveyancing Act 1919 in relation to development applications for subdivisions being considered by the panel.
- Determine Koala Plans of Management under State Environmental Planning Policy 44 - Koala Habitat Protection associated with development applications being considered by the Panel.

Noting the trigger to escalate decision making to Council as highlighted in section 5.2.

3.0 MEMBERSHIP

3.1 Voting Members

- Two independent external members. One of the independent external members to

- be the Chairperson.
- Group Manager Development Assessment (alternate - Director Development & Environment or Development Assessment Planner)

The independent external members shall have expertise in one or more of the following areas: planning, architecture, heritage, the environment, urban design, economics, traffic and transport, law, engineering, government and public administration.

3.2 Non-Voting Members

- Not applicable

3.3 Obligations of members

- Members must act faithfully and diligently and in accordance with this Charter.
- Members must comply with Council's Code of Conduct.
- Except as required to properly perform their duties, DAP members must not disclose any confidential information (as advised by Council) obtained in connection with the DAP functions.
- Members will have read and be familiar with the documents and information provided by Council prior to attending a DAP meeting.
- Members must act in accordance with Council's Workplace Health and Safety Policies and Procedures
- External members of the Panel are not authorised to speak to the media on behalf of Council. Council officers that are members of the Committee are bound by the existing operational delegations in relation to speaking to the media.
- Staff members shall not vote on matters before the Panel if they have been the principle author of the development assessment report.

3.4 Member Tenure

- The independent external members will be appointed for the term of four (4) years maximum in which the end of the tenure of these members would occur in a cascading arrangement.

3.5 Appointment of members

- The independent external members (including the Chair) shall be appointed by the General Manager following an external Expression of Interest process.
- Staff members of the Panel are in accordance with this Charter.

4.0 TIMETABLE OF MEETINGS

- The Development Assessment Panel will generally meet on the 1st and 3rd Wednesday each month at 2.00pm at the Port Macquarie offices of Council.
- Special Meetings of the Panel may be convened by the Director Development & Environment Services with three (3) days notice.

5.0 MEETING PRACTICES

5.1 Meeting Format

- At all Meetings of the Panel the Chairperson shall occupy the Chair and preside. The Chair will be responsible for keeping of order at meetings.
- Meetings shall be open to the public.
- The Panel will hear from applicants and objectors or their representatives.
- Where considered necessary, the Panel will conduct site inspections which will be open to the public.

5.2 Decision Making

- Decisions are to be made by consensus. Where consensus is not possible on any item, that item is to be referred to Council for a decision.
- All development applications involving a proposed variation to a development standard greater than 10% under Clause 4.6 of the Local Environmental Plan will be considered by the Panel and recommendation made to the Council for a decision.

5.3 Quorum

- All members (2 independent external members and 1 staff member) must be present at a meeting to form a quorum.

5.4 Chairperson and Deputy Chairperson

- Independent Chair (alternate, second independent member)

5.5 Secretariat

- The Director Development & Environment is to be responsible for ensuring that the Panel has adequate secretariat support. The secretariat will ensure that the business paper and supporting papers are circulated at least three (3) days prior to each meeting. Minutes shall be appropriately approved and circulated to each member within three (3) weeks of a meeting being held.
- The format of and the preparation and publishing of the Business Paper and Minutes shall be similar to the format for Ordinary Council Meetings.

5.6 Recording of decisions

- Minutes will record decisions and how each member votes for each item before the Panel.

6.0 CONVENING OF “OUTCOME SPECIFIC” WORKING GROUPS

Not applicable.

7.0 CONFIDENTIALITY AND CONFLICT OF INTEREST

- Members of the Panel must comply with the applicable provisions of Council’s Code of Conduct. It is the personal responsibility of members to comply with the standards in the Code of Conduct and regularly review their personal circumstances with this in mind.
- Panel members must declare any conflict of interests at the start of each meeting or before discussion of a relevant item or topic. Details of any conflicts of interest should be appropriately minuted. Where members are deemed to have a real or perceived conflict of interest, it may be appropriate they be excused from deliberations on the issue where the conflict of interest may exist. A Panel meeting may be postponed where there is no quorum.

8.0 LOBBYING

- All members and applicants are to adhere to Council’s Lobbying policy. Outside of scheduled Development Assessment Panel meetings, applicants, their representatives, Councillors, Council staff and the general public are not to lobby Panel members via meetings, telephone conversations, correspondence and the like. Adequate opportunity will be provided at Panel inspections or meetings for applicants, their representatives and the general public to make verbal submissions in relation to Business Paper items.

Development Assessment Panel

ATTENDANCE REGISTER

Member	22/05/19	12/06/19	24/07/19	28/08/19	11/09/19	25/09/19
Paul Drake	✓	✓	✓	✓	✓	✓
Robert Hussey	✓			✓	✓	
David Crofts (alternate member)		✓	✓			✓
Dan Croft (Group Manager Development Assessment) (alternates) - Director Development & Environment - Development Assessment Planner	✓	✓	✓	✓	A ✓	✓

Key: ✓ = Present

A = Absent With Apology

X = Absent Without Apology

Development Assessment Panel Meeting

Wednesday 9 October 2019

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Item: 01**Subject: ACKNOWLEDGEMENT OF COUNTRY**

"I acknowledge that we are gathered on Birpai Land. I pay respect to the Birpai Elders both past and present. I also extend that respect to all other Aboriginal and Torres Strait Islander people present."

Item: 02**Subject: APOLOGIES**

RECOMMENDATION

That the apologies received be accepted.

Item: 03**Subject: CONFIRMATION OF PREVIOUS MINUTES**

RECOMMENDATION

That the Minutes of the Development Assessment Panel Meeting held on 25 September 2019 be confirmed.

PRESENT

Members:

Paul Drake
David Crofts
Dan Croft

Other Attendees:

Chris Gardiner
Jon Power
Kerrod Franklin
Grant Burge
Ben Roberts

The meeting opened at 2:00pm.

01 ACKNOWLEDGEMENT OF COUNTRY

The Acknowledgement of Country was delivered.

02 APOLOGIES

Nil.

03 CONFIRMATION OF MINUTES

CONSENSUS:

That the Minutes of the Development Assessment Panel Meeting held on 11 September 2019 be confirmed.

04 DISCLOSURES OF INTEREST

There were no disclosures of interest presented.

05 DA2019 - 154.1 DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW DWELLING AND SWIMMING POOL LOT 1 DP 612190 42 LIGHTHOUSE ROAD, PORT MACQUARIE

Speaker:
Rob Snow (applicant)

CONSENSUS:

That DA 2019 - 154 for demolition of existing dwelling and construction of new dwelling and swimming pool at Lot 1, DP 612190, No. 42 Lighthouse Road, Port Macquarie, be determined by granting consent subject to the recommended conditions and as amended below:

- Delete condition B(9)

06 DA2019 - 200.1 CHANGE OF USE - DWELLING TO MEDICAL CENTRE AT LOT 28 DP 264025, NO. 14 SIREN ROAD, PORT MACQUARIE

Speakers:
Peter Willard (o)
Vicky McKechnie (o)
Coral Reichelt (o)
Michael Matthews (o)
Penny McKee
Anna James (o)
Damien Keep (applicant)
Philippa Cullen (applicant)
Nick Cullen (applicant)

CONSENSUS:

That DA2018 - 200.1 for a Change of Use - Dwelling to Medical Centre at Lot 28, DP 264025, No. 14 Siren Road, Port Macquarie, be determined by granting consent subject to the recommended conditions and as amended below:

- Amend condition F(8) to read: 'Hours of operation of the development are restricted to the following hours:
 - 8.00 am to 5.30 pm – Mondays to Fridays
 - 9.00 am to 12.00 pm – Saturdays'
- Amend condition F(13) to read: : 'Consultants shall each provide consultations for a maximum of 1 patient per hour.'

-
- Amend condition A(10) to read: 'The use of the medical centre is restricted to allied health professionals, including occupational therapy, speech therapy, physiotherapy, and the like, but excluding medical practitioners and dentists. Further consent shall be obtained for any other medical uses to allow appropriate consideration of traffic and parking impacts.'
-

07 DA2019 - 422.1 MEDICAL CENTRE AT LOT 3 DP827711, CNR OF BOTANIC DRIVE AND SIRIUS DRIVE, LAKEWOOD.

Speakers:

Damien Keep (applicant)

Deirdree McInherney-Nash

CONSENSUS:

That DA 2019 - 422.1 for a Medical Centre at Lot 3, DP 827711, Cnr of Botanic Drive and Sirius Drive, Lakewood, be determined by granting consent subject to the recommended conditions and as amended below:

- Amend condition F91) to read: 'On site car parking in accordance with the approved plans to be provided in an unrestricted manner at all times during the operations of development for use by both staff and patrons. A total of 41 spaces are to be provided onsite.'
 - Amend condition F(11) to read: 'Parking onsite is to comply with the parking rates in Port Macquarie-Hastings Development Control Plan 2013 for Medical Centres being 3 spaces per consultant and 1 space per 2 staff. Using the aforementioned parking rates, the ratio of consultants to staff allowed is not to generate the need for more than 41 spaces.'
 - Amend condition F(10) to read: 'Hours of operation of the development are restricted to the following hours:
 - 8 am to 8 pm – Mondays to Fridays
 - 8 am to 8 pm – Saturdays
 - 8 am to 3pm - SundaysNo work is to be carried out on Public Holidays'
-

08 DA2019 - 440.1 - DWELLING AT LOT 613 DP 1228345, NO. 30 RICHWOOD RIDGE, PORT MACQUARIE

CONSENSUS:

That DA 2019 - 440.1 for a single dwelling at Lot 613, DP 1228345, No. 30 Richwood Ridge, Port Macquarie, be determined by granting consent subject to the recommended conditions.

**09 DA 2019 - 388.1, BOARDING HOUSE AT LOT 334 DP 216093, NO. 14 THE JIB,
PORT MACQUARIE**

Speakers:
Terrance Stafford (applicant)
Matthew Morris (applicant)

CONSENSUS:

That DA 2019-388.1 for a Boarding House at Lot 334, DP 216093, No. 14 The Jib, Port Macquarie, be determined by granting consent subject to the recommended conditions.

10 GENERAL BUSINESS

Nil.

The meeting closed at 3:26pm.

Item: 04
Subject: DISCLOSURES OF INTEREST

RECOMMENDATION

That Disclosures of Interest be presented

DISCLOSURE OF INTEREST DECLARATION

Name of Meeting:	
Meeting Date:	
Item Number:	
Subject:	
I, the undersigned, hereby declare the following interest:	
<input type="checkbox"/> Pecuniary: Take no part in the consideration and voting and be out of sight of the meeting.	
<input type="checkbox"/> Non-Pecuniary – Significant Interest: Take no part in the consideration and voting and be out of sight of the meeting.	
<input type="checkbox"/> Non-Pecuniary – Less than Significant Interest: May participate in consideration and voting.	
For the reason that:	
Name: Signed:	Date:
Please submit to the Governance Support Officer at the Council Meeting.	

(Refer to next page and the Code of Conduct)

Pecuniary Interest

- 4.1 A pecuniary interest is an interest that you have in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to you or a person referred to in clause 4.3.
- 4.2 You will not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision you might make in relation to the matter, or if the interest is of a kind specified in clause 4.6.
- 4.3 For the purposes of this Part, you will have a pecuniary interest in a matter if the pecuniary interest is:
 - (a) your interest, or
 - (b) the interest of your spouse or de facto partner, your relative, or your partner or employer, or
 - (c) a company or other body of which you, or your nominee, partner or employer, is a shareholder or member.
- 4.4 For the purposes of clause 4.3:
 - (a) Your "relative" is any of the following:
 - i) your parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - ii) your spouse's or de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - iii) the spouse or de facto partner of a person referred to in paragraphs (i) and (i)
 - (b) "de facto partner" has the same meaning as defined in section 21C of the *Interpretation Act 1987*.
- 4.5 You will not have a pecuniary interest in relation to a person referred to in subclauses 4.3(b) or (c)
 - (a) if you are unaware of the relevant pecuniary interest of your spouse, de facto partner, relative, partner, employer or company or other body, or
 - (b) just because the person is a member of, or is employed by, a council or a statutory body, or is employed by the Crown, or
 - (c) just because the person is a member of, or a delegate of a council to, a company or other body that has a pecuniary interest in the matter, so long as the person has no beneficial interest in any shares of the company or body.

Non-Pecuniary

- 5.1 Non-pecuniary interests are private or personal interests a council official has that do not amount to a pecuniary interest as defined in clause 4.1 of this code. These commonly arise out of family or personal relationships, or out of involvement in sporting, social, religious or other cultural groups and associations, and may include an interest of a financial nature.
- 5.2 A non-pecuniary conflict of interest exists where a reasonable and informed person would perceive that you could be influenced by a private interest when carrying out your official functions in relation to a matter.
- 5.3 The personal or political views of a council official do not constitute a private interest for the purposes of clause 5.2.
- 5.4 Non-pecuniary conflicts of interest must be identified and appropriately managed to uphold community confidence in the probity of council decision-making. The onus is on you to identify any non-pecuniary conflict of interest you may have in matters that you deal with, to disclose the interest fully and in writing, and to take appropriate action to manage the conflict in accordance with this code.
- 5.5 When considering whether or not you have a non-pecuniary conflict of interest in a matter you are dealing with, it is always important to think about how others would view your situation.

Managing non-pecuniary conflicts of interest

- 5.6 Where you have a non-pecuniary conflict of interest in a matter for the purposes of clause 5.2, you must disclose the relevant private interest you have in relation to the matter fully and in writing as soon as practicable after becoming aware of the non-pecuniary conflict of interest and on each occasion on which the non-pecuniary conflict of interest arises in relation to the matter. In the case of members of council staff other than the general manager, such a disclosure is to be made to the staff member's manager. In the case of the general manager, such a disclosure is to be made to the mayor.
- 5.7 If a disclosure is made at a council or committee meeting, both the disclosure and the nature of the interest must be recorded in the minutes on each occasion on which the non-pecuniary conflict of interest arises. This disclosure constitutes disclosure in writing for the purposes of clause 5.6.
- 5.8 How you manage a non-pecuniary conflict of interest will depend on whether or not it is significant.
- 5.9 As a general rule, a non-pecuniary conflict of interest will be significant where it does not involve a pecuniary interest for the purposes of clause 4.1, but it involves:
 - a) a relationship between a council official and another person who is affected by a decision or a matter under consideration that is particularly close, such as a current or former spouse or de facto partner, a relative for the purposes of clause 4.4 or another person from the council official's extended family that the council official has a close personal relationship with, or another person living in the same household
 - b) other relationships with persons who are affected by a decision or a matter under consideration that are particularly close, such as friendships and business relationships. Closeness is defined by the nature of the friendship or business relationship, the frequency of contact and the duration of the friendship or relationship.
 - c) an affiliation between the council official and an organisation (such as a sporting body, club, religious, cultural or charitable organisation, corporation or association) that is affected by a decision or a matter under consideration that is particularly strong. The strength of a council official's affiliation with an organisation is to be determined by the extent to which they actively participate in the management, administration or other activities of the organisation.
 - d) membership, as the council's representative, of the board or management committee of an organisation that is affected by a decision or a matter under consideration, in circumstances where the interests of the council and the organisation are potentially in conflict in relation to the particular matter
 - e) a financial interest (other than an interest of a type referred to in clause 4.6) that is not a pecuniary interest for the purposes of clause 4.1
 - f) the conferral or loss of a personal benefit other than one conferred or lost as a member of the community or a broader class of people affected by a decision.
- 5.10 Significant non-pecuniary conflicts of interest must be managed in one of two ways:
 - a) by not participating in consideration of, or decision making in relation to, the matter in which you have the significant non-pecuniary conflict of interest and the matter being allocated to another person for consideration or determination, or
 - b) if the significant non-pecuniary conflict of interest arises in relation to a matter under consideration at a council or committee meeting, by managing the conflict of interest as if you had a pecuniary interest in the matter by complying with clauses 4.28 and 4.29.
- 5.11 If you determine that you have a non-pecuniary conflict of interest in a matter that is not significant and does not require further action, when disclosing the interest you must also explain in writing why you consider that the non-pecuniary conflict of interest is not significant and does not require further action in the circumstances.
- 5.12 If you are a member of staff of council other than the general manager, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of your manager. In the case of the general manager, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of the mayor.
- 5.13 Despite clause 5.10(b), a councillor who has a significant non-pecuniary conflict of interest in a matter, may participate in a decision to delegate consideration of the matter in question to another body or person.
- 5.14 Council committee members are not required to declare and manage a non-pecuniary conflict of interest in accordance with the requirements of this Part where it arises from an interest they have as a person chosen to represent the community, or as a member of a non-profit organisation or other community or special interest group, if they have been appointed to represent the organisation or group on the council committee.

SPECIAL DISCLOSURE OF PECUNIARY INTEREST DECLARATION

This form must be completed using block letters or typed.

If there is insufficient space for all the information you are required to disclose, you must attach an appendix which is to be properly identified and signed by you.

By <i>[insert full name of councillor]</i>	
In the matter of <i>[insert name of environmental planning instrument]</i>	
Which is to be considered at a meeting of the <i>[insert name of meeting]</i>	
Held on <i>[insert date of meeting]</i>	
PECUNIARY INTEREST	
Address of the affected principal place of residence of the councillor or an associated person, company or body <i>(the identified land)</i>	
Relationship of identified land to councillor <i>[Tick or cross one box.]</i>	<input type="checkbox"/> The councillor has interest in the land (e.g. is owner or has other interest arising out of a mortgage, lease, trust, option or contract, or otherwise). <input type="checkbox"/> An associated person of the councillor has an interest in the land. <input type="checkbox"/> An associated company or body of the councillor has interest in the land.
MATTER GIVING RISE TO PECUNIARY INTEREST¹	
Nature of land that is subject to a change in zone/planning control by proposed LEP <i>(the subject land²)</i> <i>[Tick or cross one box]</i>	<input type="checkbox"/> The identified land. <input type="checkbox"/> Land that adjoins or is adjacent to or is in proximity to the identified land.
Current zone/planning control <i>[Insert name of current planning instrument and identify relevant zone/planning control applying to the subject land]</i>	
Proposed change of zone/planning control <i>[Insert name of proposed LEP and identify proposed change of zone/planning control applying to the subject land]</i>	
Effect of proposed change of zone/planning control on councillor or associated person <i>[Tick or cross one box]</i>	<input type="checkbox"/> Appreciable financial gain. <input type="checkbox"/> Appreciable financial loss.

[If more than one pecuniary interest is to be declared, reprint the above box and fill in for each additional interest]

Councillor's Signature: **Date:**

This form is to be retained by the council's general manager and included in full in the minutes of the meeting

Last Updated: 3 June 2019

Important Information

This information is being collected for the purpose of making a special disclosure of pecuniary interests under clause 4.36(c) of the Model Code of Conduct for Local Councils in NSW (the Model Code of Conduct).

The special disclosure must relate only to a pecuniary interest that a councillor has in the councillor's principal place of residence, or an interest another person (whose interests are relevant under clause 4.3 of the Model Code of Conduct) has in that person's principal place of residence.

Clause 4.3 of the Model Code of Conduct states that you will have a pecuniary interest in a matter because of the pecuniary interest of your spouse or your de facto partner or your relative or because your business partner or employer has a pecuniary interest. You will also have a pecuniary interest in a matter because you, your nominee, your business partner or your employer is a member of a company or other body that has a pecuniary interest in the matter.

"Relative" is defined by clause 4.4 of the Model Code of Conduct as meaning your, your spouse's or your de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child and the spouse or de facto partner of any of those persons.

You must not make a special disclosure that you know or ought reasonably to know is false or misleading in a material particular. Complaints about breaches of these requirements are to be referred to the Office of Local Government and may result in disciplinary action by the Chief Executive of the Office of Local Government or the NSW Civil and Administrative Tribunal.

This form must be completed by you before the commencement of the council or council committee meeting at which the special disclosure is being made. The completed form must be tabled at the meeting. Everyone is entitled to inspect it. The special disclosure must be recorded in the minutes of the meeting.

¹ Clause 4.1 of the Model Code of Conduct provides that a pecuniary interest is an interest that a person has in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to the person. A person does not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision the person might make in relation to the matter, or if the interest is of a kind specified in clause 4.6 of the Model Code of Conduct.

² A pecuniary interest may arise by way of a change of permissible use of land adjoining, adjacent to or in proximity to land in which a councillor or a person, company or body referred to in clause 4.3 of the Model Code of Conduct has a proprietary interest

Item: 05**Subject: DA2018 - 988.1 STAGED TORRENS TITLE SUBDIVISION AND MULTI DWELLING HOUSING WITH STRATA TITLE SUBDIVISION AT LOT 100 DP 1009007, NO. 16 OCEAN STREET, PORT MACQUARIE****Report Author: Development Assessment Planner, Benjamin Roberts**

Applicant: All About Planning
Owner: Easy Property Group Pty Ltd
Estimated Cost: \$1,825,000
Parcel no: 33730

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA 2018 - 988.1 for staged torrens title subdivision and multi dwelling housing with strata title subdivision at Lot 100 DP 1009007 No. 16 Ocean Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for staged Torrens title subdivision and multi dwelling housing with Strata title subdivision at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, one (1) submission has been received.

The proposal has been amended during assessment.

This report recommends that the development application be approved subject to the conditions included as Attachment 1.

1. BACKGROUND**Existing Sites Features and Surrounding Development**

The site has an area of 2396m².

The site is zoned R1 General Residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:



2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following

- Stage 1 - Torrens title subdivision to create three lots.

- Stage 2 - Construction of two main buildings on proposed lots 1 and 2 and subsequent strata title subdivision. Each building comprises two attached three storey dwellings. Total of four dwellings.
- Tree removal.

Refer to attachments at the end of this report for details of the proposal.

Application Chronology

- 21 November 2018 - Application lodged.
- 4 December 2018 - Referral to NSW Rural Fire Service.
- 7 - 20 December 2018 - Public exhibition via neighbour notification
- 12 December 2018 - Additional information request.
- 12 December 2018 - Referral to Essential Energy.
- 20 December 2018 - Essential Energy comments received.
- 17 January 2019 - NSW RFS bushfire safety authority conditions received.
- 28 February 2019 - Part additional information response with revised plans.
- 12 March 2019 - Additional information response - Arborist report.
- 26 March 2019 - Additional information request.
- 19 June 2019 - Additional information response with site survey.
- 27 June 2019 - Additional information request re extent of Ocean Street frontage works.
- 11 July 2019 - Additional information response with revised plans with extent of proposed Ocean Street frontage works.
- 3 August 2019 - Applicant advice that two compensatory Koala trees proposed on site.
- 26 August 2019 - Request for more details demonstrating the extent of overshadowing impacts.
- 24 September 2019 - Applicant response with detailed shadow plans.

3. STATUTORY ASSESSMENT

Section 4.15(1) Matters for Consideration

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) **The provisions (where applicable) of:**
- (i) **Any Environmental Planning Instrument**

State Environmental Planning Policy No. 44 - Koala Habitat Protection

There is no Koala Plan of Management on the site. Additionally, the site is less than 1ha in area therefore no further investigations are required.

State Environmental Planning Policy No. 55 – Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

State Environmental Planning Policy (Coastal Management) 2018

The site is located within a coastal use area.

In accordance with clause 7, this SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.

Having regard to clause 14 of the SEPP the proposed development is not considered likely to result in any of the following:

- a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;
- b) any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on Aboriginal cultural heritage, practices and places;
- e) any adverse impacts on the cultural and built environment heritage;
- f) any adverse impacts the use of the surf zone;
- g) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands;
- h) overshadowing, wind funnelling and the loss of views from public places to foreshores;
- i) any adverse impacts on existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability.

In accordance with clause 15, the proposal will not cause increased risk of coastal hazards on that land or other land.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is located within an area zoned for residential purposes.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

State Environmental Planning Policy (Infrastructure) 2007

In accordance with Clause 45, the proposal involves work within the vicinity and of existing overhead power lines. Written notice was provided to Essential Energy, being the electricity supply authority. Essential Energy has provided a response and consideration has been given to the comments provided. Conditions of consent have been recommended.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 -The subject site is zoned R1 General Residential.

- Clause 2.3(1) and the R1 zone landuse table - multi dwelling housing and subdivision is a permissible landuse with consent.
- The objectives of the R1 zone are as follows:
 - *To provide for the housing needs of the community.*
 - *To provide for a variety of housing types and densities.*
 - *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- Clause 2.3(2) - The proposal is consistent with the zone objectives as it is a permissible landuse and consistent with the established residential locality. The proposal will contribute to the range of housing options available.
- Clause 4.1 - The proposed Torrens title subdivision is for three lots being 501m², 450m² and 1,449m² in area. All lots are no less than the minimum lot size standard of 450m² applicable to the site.
- Clause 4.1A - The proposal includes the construction of a dwelling and strata subdivision. The Strata subdivision to create lots smaller than the 450m² minimum lot size specified on the Lot Size Map is therefore permitted.
- Clause 4.3 - The maximum overall height of the building above ground level (existing) complies with the height limit of 11.5 m applying to the site.
- Clause 4.4 - The floor space ratio of the proposal complies with the maximum 1.5:1 floor space ratio applying to the site.
- Clause 5.10 – Heritage. The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.13 - Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development. Provision of electricity will be subject to obtaining satisfactory arrangements certification prior to the issue of a Subdivision Certificate is recommended via a condition of consent.

(ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development			
	Requirements	Proposed	Complies
3.2.2.1	Ancillary development: <ul style="list-style-type: none"> • 4.8m max. height • Single storey • 60m² max. area • 100m² for lots >900m² • 24 degree max. roof pitch • Not located in front setback 	No ancillary development proposed.	N/A
3.2.2.2	Articulation zone:	The development	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development			
	Requirements	Proposed	Complies
	<ul style="list-style-type: none"> Min. 3m front setback An entry feature or portico A balcony, deck, patio, pergola, terrace or verandah A window box treatment A bay window or similar feature An awning or other feature over a window A sun shading feature 	contains a ground floor wall feature partly extending into the articulation zone. These are setback over 3m.	
	Front setback (Residential not R5 zone): <ul style="list-style-type: none"> Min. 4.5m local road Min. 3.0m secondary road 	Minimum 4.5m setback provided to John Street as primary frontage. Minimum 4.194m setback provided to Ocean Street as secondary frontage.	Yes
3.2.2.3	Garage 5.5m min. and 1m behind front façade. Garage door recessed behind building line or eaves/overhangs provided	Garage doors are setback greater than 5.5m and recessed behind the main building line.	Yes
	6m max. width of garage doors and 50% max. width of building	Width of garage door requirements are complied with.	Yes
	Driveway crossovers 1/3 max. of site frontage and max. 5.0m width	Driveway crossing width requirements are complied with.	Yes
3.2.2.4	4m min. rear setback. Variation subject to site analysis and provision of private open space	The site is a corner block. No rear setback requirement.	N/A
3.2.2.5	Side setbacks: <ul style="list-style-type: none"> Ground floor = min. 0.9m First floors & above = min. 3m setback or where it can be demonstrated that overshadowing not adverse = 0.9m min. Building wall set in and out every 12m by 0.5m 	Ground floor south side = 900mm. The first and second level south side setback is 2.096m for a wall length of 3.385m. The remainder of the south sidewall is setback 3m. The wall articulation is compliant and satisfies the objectives of the development provision.	No*
3.2.2.6	35m ² min. private open space area including a useable 4x4m min. area which has 5% max. grade	Each occupancy contains minimum of 35m ² open space in one area including a useable 4m x 4m area directly off	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development			
	Requirements	Proposed	Complies
		the ground floor living area.	
3.2.2.7	Front fences: <ul style="list-style-type: none"> • If solid 1.2m max height and front setback 1.0m with landscaping • 3x3m min. splay for corner sites • Fences >1.2m to be 1.8m max. height for 50% or 6.0m max. length of street frontage with 25% openings • 0.9x0.9m splays adjoining driveway entrances 	1.85m high metal vertical blade fencing and landscaping along the Ocean Street frontage. A condition has been recommended requiring the blade fencing design details to be illustrated on the construction certificate plans to which incorporate 25% openings.	Yes
3.2.2.8	Front fences and walls to have complimentary materials to context No chain wire, solid timber, masonry or solid steel front fences	Fencing material acceptable.	Yes
3.2.2.10	Privacy: <ul style="list-style-type: none"> • Direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent dwellings. ie. 1.8m fence or privacy screening which has 25% max. openings and is permanently fixed • Privacy screen required if floor level > 1m height, window side/rear setback (other than bedroom) is less than 3m and sill height less than 1.5m • Privacy screens provided to balconies/verandahs etc which have <3m side/rear setback and floor level height >1m 	The first and second floor balconies of proposed unit 2D John Street while orientated east do contain a southern portion to which privacy would be compromised into the adjoining private open space and living areas of 4 John Street. Privacy screening to the southern portion of these balconies is recommended via consent conditions.	Yes

DCP 2013: General Provisions			
	Requirements	Proposed	Complies
2.7.2.2	Design addresses generic principles of Crime Prevention Through Environmental Design guideline	No concealment or entrapment areas proposed. Adequate casual surveillance	Yes

DCP 2013: General Provisions			
	Requirements	Proposed	Complies
		available.	
2.3.3.1	Cut and fill 1.0m max. 1m outside the perimeter of the external building walls	Fill to a maximum height of 1.3m in the northern eastern portion of the development area to be contained by retaining wall along Ocean Street.	No*
2.3.3.2	1m max. height retaining walls along road frontage	1.3m high maximum retaining wall grading down along Ocean Street frontage.	No*
	Any retaining wall >1.0 in height to be certified by structure engineer	Condition recommended to require engineering certification.	Yes
	Combination of retaining wall and front fence height max 1.8m, max length 6.0m or 30% of frontage, fence component 25% transparent, and splay at corners and adjacent to driveway	Combined maximum retaining wall and fence height along Ocean Street frontage to 3.15m in north-eastern corner. This grades away towards John Street.	No*
2.3.3.8	Removal of hollow bearing trees	No hollow bearing trees proposed to be removed	N/A
2.6.3.1	Tree removal (3m or higher with 100mm diameter trunk at 1m above ground level and 3m from external wall of existing dwelling)	One mature Swamp Mahogany on the John Street frontage is proposed to be removed. The tree was originally intended to be retained however subsequent Arborist advice submitted during assessment indicates incursions and damage to the root zone from the development would result and that it be removed and compensated with replantings.	No*
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.	Yes
2.5.3.2	New accesses not permitted from arterial or distributor roads	No new access proposed to arterial or distributor road.	N/A
	Driveway crossing/s minimal in number and width including maximising street parking	Driveway crossings are minimal in width including maximising street parking	Yes
2.5.3.3	Parking in accordance with Table 2.5.1.	Proposal involves 4 units each comprising 3	Yes

DCP 2013: General Provisions			
	Requirements	Proposed	Complies
	Multi dwelling 1.5 spaces per 3+ bedroom occupancies 0.25 spaces per occupancy for visitor parking.	bedrooms. Therefore, 4 x 1.5 spaces + 4 x 0.25 visitor spaces = 7 spaces required. The development proposes a double garage to each unit (8 spaces) with space in each driveway to accommodate visitor parking (4 spaces). 12 spaces are available.	
2.5.3.11	Section 94 contributions	Contributions apply - refer to ET calc and NOP.	Yes
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Suitable landscaping proposed around driveway/parking locations.	Yes
2.5.3.14	Sealed driveway surfaces unless justified	Sealed driveway areas proposed.	Yes
2.5.3.15 and 2.5.3.16	Driveway grades first 6m or 'parking area' shall be 5% grade with transitions of 2m length	Driveway grades capable of satisfying Council standard driveway crossover requirements. Condition recommended for section 138 Roads Act permit	Yes
2.5.3.17	Parking areas to be designed to avoid concentrations of water runoff on the surface.	Stormwater drainage is capable of being managed as part of plumbing construction.	Yes

Note: Subdivision provisions of the DCP (except battleaxe handle width) are aimed at the creation of vacant lots (i.e. not lots within an integrated housing proposal such as this) and have therefore been excluded from the above assessment.

The proposal seeks to vary Development Provision 3.2.2.5 which specifies that first floors and above should be setback minimum of 3m from the side boundary or reduced down to 900mm where it can be demonstrated that the adjoining property primary living areas and primary private open space areas should not be adversely overshadowed for more than 3hrs between 9am-3pm on 21 June.

The relevant objectives are:

- To reduce overbearing and perceptions of building bulk on adjoining properties and to maintain privacy.
- To provide for visual and acoustic privacy between dwellings.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- Detailed shadow diagrams provided demonstrate that the adjoining property primary living areas and primary private open space areas will be adversely

overshadowed even with a compliant 3m setback between 9am and 3pm on 21 June.

- Having regard to the site's 11.5m maximum building height control, design, orientation and location of primary living and open space areas at 4 John Street, retention of optimal solar access is difficult and unrealistic.
- The applicant has given due consideration to overshadowing impacts and it has been demonstrated that a setback compliant design of 3m to wall and roof will result in no difference to the overshadowing outcome.
- Refusal of the application based on the overshadowing impacts to the primary living and outdoor areas of 4 John Street, having regard to the above points, is not warranted.
- Refer to further comments later within this report surrounding overshadowing impacts and the relevant 'planning principle'.
- The majority of the southern wall is setback 3m. It is only a 3.385m wall length that is setback 2.096m from the southern boundary.
- The first and second floor south facing wall is articulated and the sloping away roof provides an interesting form.
- There is no roof eave extending out beyond the 2.096m minimum setback section of the building.
- The encroachment of the first and second floor wall length is minor and having regard to the design will not result in significant overbearing or bulk perceptions from 4 John Street.

The proposal seeks to vary Development Provision 2.3.3.1 which requires that development shall not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building (This does not apply to buildings where such cut and fill is fully retained within or by the external walls of the building).

The relevant objectives are:

- Minimise the extent of site disturbance caused by excessive cut and fill to the site.
- Ensure there is no damage or instability to adjoining properties caused by excavation or filling.
- Ensure that there is no adverse alteration to the drainage of adjoining properties.
- Ensure the privacy of adjoining dwellings and private open space are protected.
- Ensure that adequate stormwater drainage is provided around the perimeter of buildings and that overflow paths are provided.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The maximum fill height of 1.3m is contained to small area in the north-eastern portion of the development site (i.e. rear of proposed 2A dwelling). The land grades back up towards John Street and the retaining wall. The extent of variation is minor for a small area.
- No adverse impacts or alterations to drainage would result.

The proposal seeks to vary Development Provision 2.3.3.2 which requires:

- a) The maximum height of a retaining wall along all road frontages is 1.0m.
- b) Any retaining wall greater than 1.0m must be certified by a certified practising structural engineer.
- c) Where a combination of a fence and a wall is proposed to be greater than 1.2m high:
 - o be a maximum combined height of 1.8m above existing property boundary level;
 - o be constructed up to the front boundary for a maximum length of 6.0m or 30% of the street frontage, whichever is less;
 - o the fence component have openings which make it not less than 25% transparent; and
 - o provide a 3m x 3m splay for corner sites, and
 - o provide a 900mm x 900mm splay for vehicle driveway entrances.

The relevant objectives are:

- To ensure retaining walls are functional, safe and positively contribute to the development and/or the streetscape.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The maximum fill height of 1.3m is contained to small area in the northeastern portion of the site. The land grades back up towards John Street and the retaining wall. The extent of variation is minor and for a small area.
- The retaining wall combination will not adversely impact upon the streetscape appearance along the Ocean Street frontage.
- A condition has been recommended requiring engineering certification for the retaining wall.

The proposal seeks to vary Development Provision 2.6.3.2 regarding trees on private land with the relevant provisions as follows:

- An application for the removal of a tree listed in Table 2.6-1 must be accompanied by an Arborist's report stating that the tree:
 - is dangerous; or
 - is dying and remedial pruning would not improve the deteriorated condition of the tree; or
 - has a history of branch fall (documented or photographic evidence to be provided); or
 - is structurally unsound or;
 - diseased.
- Where a tree listed in Table 2.6-1 is approved for removal it must be compensated with a koala habitat tree. Significant large scale development will require an advanced size koala food tree or habitat tree (primary Koala browse species) that meets NATSPEC Specifying Trees.

The relevant objectives are:

- To minimise injury to or destruction of trees and native vegetation.
- To retain healthy individual trees of local amenity and aesthetic value.
- To facilitate the removal of undesirable exotics, noxious weeds, dangerous trees and any other inappropriate plantings, and to replace these with suitable local indigenous species to make a positive contribution to visual and environmental amenity and ecological sustainability.
- To retain viable representative samples of native vegetation, which have an intact structure and complete floristics, wherever practical.
- To facilitate limited tree removal associated with a Complying Development Certificate.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- While the Swamp Mahogany is not dead or dying the Arborist advises its retention long-term is not viable based on the impacts of the proposed development.
- A review of the plans indicate incursions to the structural root zone of the tree are primarily a result of the proposed footpath along John Street and not necessarily the development footprint or driveways. To this extent redesign and relocation of the driveway of proposed unit 2A from John Street to Ocean Street is unlikely to provide for long-term retention of the tree.
- Given the location of the tree on the boundary and ultimate footpath connection along John Street the long term retention of the tree would be problematic in any event.
- The proponent has proposed two offset Swamp Mahogany plantings to the east of the development site within the same allotment.
- In this instance allowing removal of the tree with provision of two advanced sized offset plantings of the same species on the eastern part of the site is considered a satisfactory outcome.
- Consent conditions have been recommended requiring the location and size of offset plantings to be clearly illustrated on building Construction Certificate plans and that the plantings be in place prior to occupation or issue of any occupation certificate.

Based on the above assessment, the variations proposed to the provisions of the DCP are considered acceptable and the relevant objectives have been satisfied.

Cumulatively, the variations do not amount to an adverse impact or a significance that would justify refusal of the application.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into.

iv) Any matters prescribed by the Regulations

No matters prescribed by the regulations apply.

- (b) **The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality**

Context and setting

- The proposal will be unlikely to have any adverse impacts to existing adjoining properties and satisfactorily addresses the public domain.
- The proposal is sufficiently compatible with other existing residential development in the locality and adequately addresses planning controls for the area.
- There are no significant adverse impacts on existing view sharing. Specifically the view currently enjoyed onto and across the site from 4 John Street is not special or iconic and is across the side boundary. The retention of the existing view is unrealistic having regard to the planning controls adopted for the site.
- No adverse privacy impacts would result subject to the imposition of recommended conditions requiring privacy screening to the southern elevation of the first and second floor balconies of unit 2D that are orientated east.
- There are identified overshadowing impacts to the property at 4 John Street. The proposal does prevent the adjoining property from receiving 3 hours of sunlight to private open space and primary living areas on 21 June. However, these impacts are considered acceptable. The following assessment comments are provided in this regard.

The 'planning principle' established in *Benevolent Society v Waverly Council* [2010] NSWLEC 1082 provides some key principles for consideration in establishing adequacy of solar access. The 'planning principle' is provided in the following terms:

- *"Where guidelines dealing with the hours of sunlight on a window or open space leave open the question what proportion of the window or open space should be in sunlight, and whether the sunlight should be measured at floor, table or a standing person's eye level, assessment of the adequacy of solar access should be undertaken with the following principles in mind, where relevant:*
- *The ease with which sunlight access can be protected is inversely proportional to the density of development. At low densities, there is a reasonable expectation that a dwelling and some of its open space will retain its existing sunlight. (However, even at low densities there are sites and buildings that are highly vulnerable to being overshadowed.) At higher densities sunlight is harder to protect and the claim to retain it is not as strong.*
- *The amount of sunlight lost should be taken into account, as well as the amount of sunlight retained.*
- *Overshadowing arising out of poor design is not acceptable, even if it satisfies numerical guidelines. The poor quality of a proposal's design may be demonstrated by a more sensitive design that achieves the same amenity without substantial additional cost, while reducing the impact on neighbours.*
- *For a window, door or glass wall to be assessed as being in sunlight, regard should be had not only to the proportion of the glazed area in sunlight but also to the size of the glazed area itself. Strict mathematical formulae are not always an appropriate measure of solar amenity. For larger glazed areas, adequate solar amenity in the built space behind may be achieved by the sun falling on comparatively modest portions of the glazed area.*

- *For private open space to be assessed as receiving adequate sunlight, regard should be had of the size of the open space and the amount of it receiving sunlight. Self-evidently, the smaller the open space, the greater the proportion of it requiring sunlight for it to have adequate solar amenity. A useable strip adjoining the living area in sunlight usually provides better solar amenity, depending on the size of the space. The amount of sunlight on private open space should ordinarily be measured at ground level but regard should be had to the size of the space as, in a smaller private open space, sunlight falling on seated residents may be adequate.*
- *Overshadowing by fences, roof overhangs and changes in level should be taken into consideration. Overshadowing by vegetation should be ignored, except that vegetation may be taken into account in a qualitative way, in particular dense hedges that appear like a solid fence.*
- *In areas undergoing change, the impact on what is likely to be built on adjoining sites should be considered as well as the existing development.”*

Having regard to the above, the overshadowing impacts of the proposed development are considered to be adverse but do not warrant refusal of the application. This conclusion is based on the following key observations and established planning principle:

- The development site contains planning controls to which encourage higher density development. Notably an 11.5m maximum building height and 1.50:1 maximum floor space control. The claim to retain existing sunlight to the minimum standards for mid-winter is difficult to achieve.
- The existing dwelling and approved dwelling yet to be constructed at 4 John Street are both sited close to the northern boundary with a northern orientation to both open space and living areas. As a result, any development on the site will likely impact on solar access to the dwellings.
- The overshadowing is not as a result of poor building design. The applicant states that several options were investigated including reduction of the southern most unit down to two storey with a 3m setback, removal of the roof articulation and southern part of building beyond the 3m setback, to which there would be no difference to the overshadowing outcome to key existing living areas at 4 John Street. The applicant states that maintaining existing solar access to 4 John Street would require a building to be setback some 12m from the boundary which is unjustifiable.
- The building depth of 17.67m proposed is not excessive and it would appear the building depth has been limited as any further depth would result in further and more significant overshadowing impact.

Roads

The site has road frontages to both Ocean Street to the North and John Street to the West.

Ocean Street is a sealed road consisting of approximately 6m sealed pavement inside a 20m reserve, the current frontage has grassed and gravel shoulders on both sides. The road is considered a local street and is in the care and control of Council.

John Street is a sealed road consisting of approximately 7.5m sealed pavement inside a 15m reserve, the current frontage has existing SA kerb and gutter on both sides. The road is considered a local street and is in the care and control of Council.

Traffic and Transport

This proposal is for four dwellings along John Street, with a larger Torrens title lot with direct frontage to Ocean Street. The traffic associated with the development is unlikely to have any adverse impacts to the existing road network within the immediate locality.

Site Frontage and Access

Vehicle access to the site is proposed through individual driveways for each dwelling, with direct frontage to John Street. Access shall comply with Council's AUSPEC and Australian Standards, and conditions have been recommended to reflect these requirements.

Due to the type and size of development, additional public infrastructure works are considered necessary at the time of construction of the four dwellings. These works include:

- Concrete footpath paving along the sites frontage to John Street as indicated on the footpath detail plan. It is noted that kerb and gutter already exists along the John Street frontage. Extension of piped stormwater along John Street for direct connection to stormwater work required below in Ocean Street.
- Concrete footpath, road widening, kerb and gutter and piped stormwater work along the Ocean Street frontage for approximately 26m. i.e. to the proposed Torrens title subdivision boundary indicated on the plans.

Parking and Manoeuvring

Parking and driveway widths on site can comply with relevant Australian Standards (AS 2890) and conditions have been recommended to reflect these requirements.

Water Supply Connection

Council records indicate that the development site does not have a metered water service. Each proposed unit and Torrens title lot (stage 1) requires an individual metered water service.

Details will be required to accompany the section 68 application. Refer to recommended conditions of consent.

Sewer Connection

Council records indicate that the development site is connected to sewer via junction to the existing sewer line that runs outside the northern property boundary. Each proposed lot requires an individual connection to Council's sewer system. A sewer reticulation plan shall be submitted to the water and sewer section for approval.

Details will be required to accompany the section 68 application. Refer to recommended conditions of consent.

Stormwater

The site naturally grades towards the north / north-east, towards the Ocean Street frontage and is currently un-serviced with discharge into an open overland swale.

There is an existing headwall at the north-west corner of the property, which conveys upstream stormwater to this location, water then flows in the open overland swale across the Ocean Street frontage towards the east. The John Street frontage is currently serviced with type SA kerb and gutter only which also discharges into the open overland swale in Ocean Street.

Extension of piped stormwater along John Street for direct connection to stormwater along Ocean Street is required. Stormwater upgrade work including provision of

piped stormwater infrastructure along the Ocean Street frontage for approximately 26m. i.e. to the proposed Torrens title subdivision boundary is also required.

A detailed site stormwater management plan will be required to be submitted for assessment and approval prior to the issue of any building Construction Certificate.

In accordance with Councils AUSPEC requirements on site stormwater detention facilities are required to be incorporated into the stormwater drainage plan.

Refer to recommended conditions of consent.

Other Utilities

Telecommunication and electricity services are available to the site. Evidence of satisfactory arrangements with the relevant utility authorities for provision to each proposed Torrens title lot will be required prior to Subdivision Certificate approval. Refer to recommended conditions of consent.

Heritage

No known items of Aboriginal or European heritage significance exist on the property. No adverse impacts anticipated.

Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will be unlikely to have any adverse impacts on water resources and the water cycle.

Soils

The proposed development will be unlikely to have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction. Refer to recommended conditions of consent.

Air and microclimate

The construction and/or operations of the proposed development will be unlikely to result in any adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Flora and fauna

The proposed development includes removal of a single Swamp Mahogany partly on the road reserve and site along John Street. Compensatory offset plantings as detailed earlier in this report is proposed and is supported.

The Biodiversity Offset Scheme doesn't apply for the following reasons:

- The land isn't identified on the Biodiversity Values Map;
- The extent of clearing is below the thresholds in Clause 7.2 of the Biodiversity Conservation Regulation 2017;
- The development will not have a significant impact on biodiversity values.

Waste

There is available areas for proposed storage and collection of waste and recyclables for each dwelling. There is also sufficient frontage along John Street to accommodate

mobile garbage bins. No adverse impacts anticipated. Standard precautionary site management condition recommended.

Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

Noise and vibration

No adverse impacts anticipated. Condition recommended to restrict construction to standard construction hours.

Bushfire

The site is identified as being bushfire prone. In accordance with Section 100B - *Rural Fires Act 1997* - the application proposes subdivision of bush fire prone land that could lawfully be used for residential purposes. The applicant has submitted a bushfire report prepared by a Certified Consultant. The report was forwarded to the NSW Rural Fire Service who have issued a Bushfire Safety Authority, which is recommended to be incorporated into the consent conditions.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The increase in housing density will improve natural surveillance within the locality and openings from each dwelling overlook common and private areas.

Social impacts in the locality

Given the nature of the proposed development and its' location the proposal is unlikely to result in any adverse social impacts.

Economic impact in the locality

No adverse impacts. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

Construction

No potential adverse impacts identified to neighbouring properties with the construction of the proposal.

Cumulative impacts

The proposed development is not expected to have any adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

Site constraints have been adequately addressed and appropriate conditions of consent recommended.

(d) Any submissions made in accordance with this Act or the Regulations

One (1) written submission has been received following public exhibition of the application.

Key issues raised in the submission received and comments in response to these issues are provided as follows:

Submission Issue/Summary	Planning Comment/Response
The information in the supporting documentation and shadow diagram does not reflect the layout of the adjoining house at 4 John Street.	Revised shadow diagrams have been provided that reflect the layout of the adjoining dwelling at 4 John Street.
The proposal would result in significant overshadowing impacts to the existing dwelling at 4 John Street and the design should be fully compliant with the DCP setbacks.	Refer to overshadowing impacts and details comments within the heading of context and setting within this report.
The external deck would overlook and compromise privacy to the dwelling at 4 John Street.	The applicant has offered privacy screening to the southern elevation of the first and second floor balconies. Conditions have been recommended to ensure privacy screening is clearly illustrated on construction plans.
The swamp mahogany tree is a Koala tree and it should be preserved and protected during construction. The application should be referred to the Koala hospital.	The Swamp Mahogany is proposed to be removed. Refer to comments in DCP assessment table. Compensatory offsetting planting is proposed on site at a ratio of 2:1. Suitable conditions have been recommended.
There is not sufficient off-street parking and pedestrian and vehicular safety will be compromised.	Adequate and suitable off-street parking is proposed. All dwellings have compliant parking including a double garage to each. Refer to DCP assessment table.
The building is setback 900mm and should be a minimum of 3m consistent with the DCP controls.	Refer to DCP assessment table and comments. The ground floor setback of 900mm is consistent with the DCP controls.
It is contended that the proposal will have a neutral social impact but rather a detrimental impact on the amenity and impacts of 4 John Street.	The proposal is unlikely to result in any adverse social impacts. The amenity and overshadowing impacts to 4 John Street are acknowledged however they are not sufficient enough to warrant refusal of this application. Refer to DCP and overshadowing assessment comments within this report.
The rooftop north facing solar hot water of 4 John Street will be compromised by shadowing from the 3 storey construction. The future planned 6kW system to be installed would also be compromised.	Refer to overshadowing impact assessment and comments within this report. Planning controls and the 'planning principle' concentrate on impacts to primary open space and living areas.
The application should be rejected	The proposal complies with the maximum

Submission Issue/Summary	Planning Comment/Response
and redesigned to comprise two storeys only.	building height limits for the site. Refer to assessment report conclusion and recommendation.

(e) The Public Interest

The proposed development will be in the wider public interest with provision of appropriate additional housing and residential lots.

The proposed development satisfies relevant planning controls including justified variations and will not adversely impact on the wider public interest.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- Development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- Development contributions will be required under Section 7.11 of the Environmental Planning and Assessment Act 1979 towards roads, open space, community cultural services, emergency services and administration buildings.

5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

Attachments

- 1 [View](#). DA2018 - 988.1 Recommended Conditions
- 2 [View](#). DA2018 - 988.1 NSW RFS Bushfire safety authority conditions
- 3 [View](#). DA2018 - 988.1 Plans
- 4 [View](#). DA2018 - 988.1 Shadow plans for compliant height and setback
- 5 [View](#). DA2018 - 988.1 Shadow study plans
- 6 [View](#). DA2018 - 988.1 Site and tree survey plan
- 7 [View](#). DA2018 - 988.1 Stormwater plans
- 8 [View](#). DA2018 - 988.1 Contributions quote
- 9 [View](#). DA2018 - 988.1 Arborist Report

**FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF
PROPOSED CONDITIONS - 2011****NOTE: THESE ARE DRAFT ONLY****DA NO: 2018/988****DATE: 27/08/2019****PRESCRIBED CONDITIONS**

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

A – GENERAL MATTERS

- (1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Statement of Environmental Effects	16 Ocean Street, Port Macquarie	All About Planning	November 2018
Cover Sheet	Project: 2909 Sheet: 0000 Revision D	Liquid Design	8 October 2018
Site Plan / Site Analysis	Project:2909 Sheet: A0010 Revision D	Liquid Design	8 October 2018
Demolition, Excavation and Waste Management	Project:2909 Sheet: A1000 Revision F	Liquid Design	4 July 2019
Proposed Scope and Subdivision	Project:2909 Sheet: A2000 Revision G	Liquid Design	4 July 2019
Proposed Duplexes - Ground Floor Plan	Project:2909 Sheet: A2001 Revision F	Liquid Design	17 January 2019
Proposed Duplexes - Level 1 Plan	Project:2909 Sheet: A2002 Revision F	Liquid Design	17 January 2019
Proposed Duplexes - Level 2 Plan	Project:2909 Sheet: A2003 Revision F	Liquid Design	17 January 2019
Proposed Duplexes - Roof Plan	Project: 2909 Sheet: A2004	Liquid Design	17 January 2019

	Revision E		
Proposed North and West Elevation	Project: 2909 Sheet: A3000 Revision D	Liquid Design	8 October 2018
Proposed South and East Elevation	Project: 2909 Sheet: A3001 Revision D	Liquid Design	8 October 2018
Proposed Sections	Project: 2909 Sheet: A4000 Revision B	Liquid Design	8 October 2018
Proposed 3D Views	Project: 2909 Sheet: A9000 Revision C	Liquid Design	8 October 2018
Visualisation	Project: 2909 Sheet: A9001 Revision C	Liquid Design	8 October 2018
Finishes, Notes and Details	Project: 2909 Sheet: A9100 Revision C	Liquid Design	8 October 2018
Public Footpath Details	Project: 2909 Sheet: A9101 Revision E	Liquid Design	4 July 2019
Window Schedule	Project: 2909 Sheet: A9200	Liquid Design	10 August 2018
Site and Tree survey plan	Sheet 1 Job No: 8098	Coastal Survey Solutions	20 April 2019
Arborist Report	16 Ocean Street	Port Tree Fella	7 February 2019
Stormwater Plans	Draining No: A8263 SW01 to SW06 Revision D	Alpha Engineering and Development	15 November 2018
BASIX Certificate	948258M	Max Brightwell	21 September 2018

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
- the appointment of a Principal Certifying Authority; and
 - the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

- (3) (A003) The proponent shall submit an application for a Subdivision Certificate for Council certification with all relevant documentation. This consent allows the

strata-subdivision of the units, subject to the submission of an application for a Strata Certificate.

- (4) (A004) An application for an infrastructure Construction Certificate will be required to be lodged with Council prior to undertaking subdivision works and a Subdivision Certificate is required to be lodged with Council on completion of works.
- (5) (A007) The development must only proceed in accordance with the approved stages as set out below:

- Stage 1: Torrens title subdivision to create 3 lots and associated infrastructure;
- Stage 2: Construction of dwellings and Strata title subdivision and associated infrastructure.

Unless specified, the conditions of this consent will apply to all stages, with any decision on any discrepancy with conditions and associated staging resting with Council. Any decision to allow a change to staging will rest with Council along with applicable conditions and any contributions payable.

- (6) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
- (7) (A009) The development site is to be managed for the entirety of work in the following manner:
1. Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 2. Appropriate dust control measures;
 3. Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
 4. Building waste is to be managed via an appropriate receptacle;
 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
 6. Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

- (8) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (9) (A013) The general terms of approval from the following authorities, as referred to in section 4.50 of the Environmental Planning and Assessment Act 1979, and referenced below, are attached and form part of the consent conditions for this approval.
- **NSW Rural Fire Service** - The General Terms of Approval, Reference D18/8519 DA18121316595 DC and dated 15 January 2019, are attached and form part of this consent.
- (10) (A029) With the construction of the 4 dwellings (i.e. stage 2) the provision, at no cost to Council of 1.5m wide concrete foot paving for the full street frontage of John Street. The provision of 1.5m wide concrete foot paving, part removal of swale, installation of piped stormwater, kerb and gutter and pavement widening

and along Ocean Street to the proposed Torrens title lot boundary. Design details shall be provided in accordance with AUSPEC and Council Standard drawing ASD103. The design plans must be approved by Council pursuant to Section 138 of the Roads Act.

- (11) (A033) The applicant shall provide security to the Council for the payment of the cost of the following:
- making good any damage caused to any property of the Council as a consequence of doing anything to which the consent relates,
 - completing any public work (such as road work, kerbing and guttering, footway construction, utility services, stormwater drainage and environmental controls) required in connection with the consent,
 - remedying any defects in any such public work that arise within twelve (12) months after the work is completed.

Such security is to be provided to Council prior to the issue of the Subdivision Certificate/Construction Certificate or Section 138 of the Roads Act, 1993.

The security is to be for such reasonable amount as is determined by the consent authority, being an amount that is 10% of the contracted works for Torrens Title subdivision development/the estimated cost plus 30% for building development of public works or \$5000, whichever is the greater of carrying out the development by way of:

- deposit with the Council, or
- an unconditional bank guarantee in favour of the Council.

The security may be used to meet any costs referred to above and on application being made to the Council by the person who provided the security any balance remaining is to be refunded to, or at the direction of, that person. Should Council have to call up the bond and the repair costs exceed the bond amount, a separate invoice will be issued. If no application is made to the Council for a refund of any balance remaining of the security within 6 years after the work to which the security relates has been completed the Council may pay the balance to the Chief Commissioner of State Revenue under the Unclaimed Money Act 1995.

B – PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE

- (1) (B001) Prior to release of the building Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
- Position and depth of the sewer (including junction)
 - Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location
- (2) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the building Construction Certificate.

Such works include, but not be limited to:

- Civil works
- Traffic management
- Work zone areas

- Hoardings
 - Concrete foot paving (width)
 - Footway and gutter crossing
 - Functional vehicular access
- (3) (B003) Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
1. Road works along the frontages of the development
 2. Sewerage reticulation. Council records indicate that the development site is connected to sewer via junction to the existing sewer line that runs outside the northern property boundary. Each proposed lot requires an individual connection to Council's sewer system.
 3. Water supply plans. Council records indicate that the development site does not have an existing metered service but has is fronted by a 100mm diameter AC water main on the opposite of John Street. Each proposed Torrens Title lot shall have an individual water service. A hydraulic strategy and plans are required from a hydraulic consultant for the whole of the development on the site. Water service sizing is then to be determined by the hydraulic consultant to suit the proposed development, as well as addressing fire service requirements to AS 2419 and backflow protection requirements.
 4. Stormwater systems.
 5. Erosion & Sedimentation controls.
 6. Detailed driveway profile and layout in accordance with Australian Standard 2890, AUSPEC D1, and Drawing ASD 201 & ASD 207.
 7. Provision of pedestrian concrete footpath 1.5m wide in accordance with ASD 103 & ASD 104. Paths to include kerb ramps where necessary per ASD 100 & ASD 102.
- (4) (B010) Payment to Council, prior to the issue of the Construction or Subdivision Certificate (whichever occurs first) of the Section 7.11 contributions set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental Planning and Assessment Act 1979 as amended, and in accordance with the provisions of the following plans:
- Port Macquarie-Hastings Administration Building Contributions Plan 2007
 - Hastings S94 Administration Levy Contributions Plan
 - Port Macquarie-Hastings Open Space Contributions Plan 2018
 - Hastings S94 Major Roads Contributions Plan
 - Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005

The plans may be viewed during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing

together with the current Notice of Payment application fee is to be submitted to Council.

- (5) (B011) As part of Notice of Requirements by Port Macquarie-Hastings Council as the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution, prior to the issue of a Construction or Subdivision certificate (whichever occurs first) of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with the provisions of the relevant Section 64 Development Servicing Plan towards the following:
 - augmentation of the town water supply headworks
 - augmentation of the town sewerage system headworks
- (6) (B016) Provision to each lot of a separate sewer line to Council's main. All work will need to comply with the requirements of Council's adopted AUSPEC Design and Construction Guidelines and Policies. Any abandoned sewer junctions are to be capped off at Council's sewer main.
- (7) (B024) Submission to Council of an application for water meter hire, which is to be referred to the Water Supply section so that a quotation for the installation can be prepared and paid for prior to the issue of a Construction Certificate. This application is also to include an application for the disconnection of any existing service not required.
- (8) (B199) With the construction of the 4 dwellings (i.e. stage 2) works along Ocean Street shall include 1.5m wide foot paving, part removal of swale, installation of piped stormwater, kerb and gutter and pavement widening along for the Ocean Street frontage to the proposed Torrens title lot boundary. Design details shall be provided as part of the Roads Act or Infrastructure Construction Certificate application.
- (9) With the construction of the 4 dwellings (i.e. stage 2) works along John Street shall include the extension of Council's piped stormwater system for direct connection to the required piped system in Ocean Street. Design details shall be provided as part of the Roads Act or Construction certificate application.
- (10) (B030) As part of the Ocean Street road widening a pavement design report shall accompany the application infrastructure Construction Certificate application. The report is to be prepared by a suitably qualified geotechnical or civil engineer and submitted to Council, including soil test results and in-situ CBR values (NATA certified). Council's accepted minimum pavement compaction testing criteria are as follows:
 - a. 98% (modified) base layers - Maximum Modified Dry Density test in accordance with AS1289.5.2.1
 - b. 95% (modified) sub-base layers - Maximum Modified Dry Density test in accordance with AS1289.5.2.1
 - c. 100% (standard) subgrade/select layers - Maximum Standard Dry Density test in accordance with AS1289.5.1.1 (or for in-situ subgrade soils only, wet density testing may be used)
- (11) (B037) The finished floor level of the building shall be at least 1050mm above the soffit of Council's sewer main. Details indicating compliance with this are to be submitted to the Principal Certifying Authority with the application for the building Construction Certificate.
- (12) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the building Construction Certificate.

- (13) (B039) Detailed drawings and specifications prepared by a professional engineer for all retaining walls supporting:
- earthworks that are more than 600mm above or below ground level (existing); or
 - located within 1m of the property boundaries; or
 - earthworks that are more than 1m above or below ground level (existing) in any other location;
- are to be submitted to the Principal Certifying Authority with the application for the building Construction Certificate.
- (14) (B052) The provision of 3m x 3m splay on the corner of Ocean and John Streets or otherwise agreed to by Port Macquarie-Hastings Council. Details must be submitted to and approved by Port Macquarie-Hastings Council prior to release of the building Construction Certificate.
- (15) (B054) Driveway longitudinal sections for the dwellings shall accompany the section 138 application pursuant to section 138 of the Roads Act, 1993. The section shall demonstrate compliance with Council's adopted AUSPEC Design and Construction Guidelines.
- (16) (B056) The Stormwater network proposed with the application for Construction Certificate is to include provision to each subdivided lot of a direct point of connection to Council's future piped drainage system.
- (17) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.
- (18) (B072) A stormwater drainage design is to be submitted and approved by Council prior to the issue of a building Construction Certificate. The design must be prepared in accordance with Council's AUSPEC Specifications and the requirements of Relevant Australian Standards and make provision for the following:
- The legal point of discharge for the proposed development is defined as Council's piped system.

In this regard, Council's piped drainage system must be extended by an appropriately sized pipeline (minimum 375mm diameter) for the full frontage of John Street and to the proposed Torrens Title lot boundary along Ocean Street frontage. The pipeline must be designed to have the capacity to convey flows that would be collected at that section of street as generated by a 20 year Average Recurrence Interval storm event.
 - The design is to be generally in accordance with the stormwater drainage concept plans on Drawings No A8263 – SW01 to SW06, prepared by Alpha Engineering & Development, dated 15/11/2018, revision D.
 - All allotments must be provided with a direct point of connection to the public piped drainage system. Kerb outlets are not permitted.
 - The design shall incorporate on-site stormwater detention facilities to limit site stormwater discharge to pre development flow rates for all storm events up to and including the 100 year ARI event. Note that pre development discharge shall be calculated assuming that the site is a 'greenfield' development site as per AUSPEC requirements.
 - The design is to make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands. The design must include the collection of such waters and discharge to the Council drainage system.
 - An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets.

- g) The design shall provide details of any components of the existing stormwater drainage system servicing the site that are to be retained.
- (19) (B198) The driveway to proposed Unit 2A shall be located a minimum of 6m from the intersection tangent points as per AS2890.1. Details to be clearly illustrated on the plans accompany the section 138 or Infrastructure Construction Certificate application.
- (20) The building Construction Certificate plans shall clearly nominate the location of two advanced sized compensatory Koala food trees (species being Swamp Mahogany) meeting NATSPEC standards. The plantings shall be well clear of any sewer infrastructure located within or adjoining the lot and have regard to the requirement of maintaining the site as an inner protection zone (IPA) in locating these plantings. Details to be provided to the satisfaction of the certifying authority prior to release of the building Construction Certificate.
- (21) The design of blade fence along the Ocean Street frontage shall incorporate openings that make it not less than 25% transparent. Prior to release of the building Construction Certificate details to the satisfaction of the certifying authority are to be clearly illustrated on the building Construction Certificate plans.
- (22) Privacy screening shall be provided to the south facing components of the first floor balcony (off the master bedroom) and second floor balcony (off bedroom 3) of proposed unit 2D John Street. Each privacy screen shall be at least 1.7m above finished floor level, have no individual opening more than 30mm wide and have a total area of all openings that is no more than 30% of the surface area of the screen. Details to the satisfaction of the certifying authority to be clearly illustrated on the building Construction Certificate plans prior to release of the building Construction Certificate.

C – PRIOR TO ANY WORK COMMENCING ON SITE

- (1) (C001) A minimum of one (1) week's notice in writing of the intention to commence works on public land is required to be given to Council together with the name of the principal contractor and any major sub-contractors engaged to carry out works. Works shall only be carried out by a contractor accredited with Council.
- (2) (C004) Prior to works commencing an application being made to the electricity and telecommunications service providers. Services are required to be underground.
- (3) (C013) Where a sewer manhole and/or Vertical Inspection Shaft (VIS) exists within a property, access to the manhole/VIS shall be made available at all times. Before during and after construction, the sewer manhole/VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.

D – DURING WORK

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
- at completion of installation of erosion control measures
 - at completion of installation of traffic management works
 - before commencement of any filling works;
 - when the sub-grade is exposed and prior to placing of pavement materials;

- e. when trenches are open, stormwater/water/sewer pipes and conduits jointed and prior to backfilling;
- f. at the completion of each pavement (sub base/base) layer;
- g. before pouring of kerb and gutter;
- h. prior to the pouring of concrete for sewerage works and/or works on public property;
- i. on completion of road gravelling or pavement;
- j. during construction of sewer infrastructure;
- k. prior to sealing and laying of pavement surface course.

All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public Infrastructure and any other Council approval, prior to proceeding to the next hold point.

- (2) (D006) A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.
- (3) (D003) The site is in an area known to contain rock that may contain naturally occurring asbestos (NOA). Should potential NOA be located on site notification shall be provided to Council and Workcover prior to works proceeding. No work shall recommence until a NOA management plan has been approved by Council or Workcover.
- (4) (D025) The sewer junction shall be capped off with an approved fitting in conjunction with demolition works and Council notified to carry out an inspection prior to backfilling of this work.
- (5) (D051) Prior to commencement of any pavement works a material quality report from the proposed supplier shall be submitted to Council. The pavement materials shall meet Council's current specifications at the time of construction.
- (6) (D052) Prior to laying of wearing surface course (to match existing), submission to Council of pavement and soil test results prepared by a NATA registered person for all road pavement construction, including:
 - a. CBR test results, and
 - b. Subgrade / select fill, sub-base and base pavement compaction reports in accordance with AS1289.5.1.1 & AS1289.5.2.1 as applicable.

E – PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE / SUBDIVISION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E005) Prior to the release of any bond securities held by Council for infrastructure works associated with developments, a formal written application is to be submitted to Council specifying detail of works and bond amount.
- (3) (E010) Driveways, access aisles and parking areas shall be provided with a concrete surface. Such a surface shall be on a suitable pavement, constructed and maintained in accordance with Council's Development, Design and Construction Manuals (as amended).
- (4) (E034) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.

- (5) (E047) Prior to the issue of any Occupation Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to ensure the ongoing maintenance of the existing overland flowpath through the site.

The terms of the 88E instrument with positive covenant are to include, but not be limited to, the following:

- a. The proprietor of the property shall be responsible for maintaining and keeping clear the overland flowpath traversing the site.
- b. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all components or structures in or upon the said land which comprise the overland flowpath; and recover the costs of any such works from the proprietor.
- c. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the overland flowpath, or failure to clean, maintain and repair the overland flowpath.

Evidence of registration with the Lands and Property Information NSW shall be submitted to and approved by the Principal Certifying Authority prior to the issue of any Occupation Certificate.

- (6) (E050) Prior to Council accepting new stormwater infrastructure, a CCTV inspection of all new and modified stormwater assets must be undertaken in accordance with the Conduit Inspection Reporting Code of Australia WSA 05.
- A copy of the CCTV inspection footage and inspection report prepared and certified by a suitably qualified person shall be provided to Council prior to the acceptance of works into the nominated 'into maintenance period'.
- (7) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (8) (E053) All works shall be certified by a practicing Civil Engineer or Registered Surveyor as compliant with the requirements of AUSPEC prior to issue of Occupation/Subdivision Certificate or release of the security bond, whichever is to occur first.
- (9) (E056) A Certificate of Compliance under the provisions of Section 307 of the Water Management Act must be obtained prior to the issue of any occupation or subdivision certificate. The application for the certificate is to include an acceptable Work-As-Executed plan for water and sewer mains and services from a Professional Engineer or Registered Surveyor.
- (10) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (11) (E061) Landscaped areas being completed prior to occupation or issue of the Certificate.
- (12) (E066) Ancillary works shall be undertaken at no cost to Council to make the engineering (works required by this Consent effective to the satisfaction of Director of Council's Infrastructure Division. Such works shall include, but are not limited to the following:
- a. The relocation of underground services where required by civil works being carried out.

- b. The relocation of above ground power and telephone services
 - c. The relocation of street lighting
 - d. The matching of new infrastructure into existing or future design infrastructure
- (13) (E068) Prior to the issue of a Subdivision or Occupation Certificate (whichever occurs first), evidence to the satisfaction of the Certifying Authority from the electricity and telecommunications providers that satisfactory services arrangements have been made to the lots or dwellings (including street lighting and fibre optic cabling where required).
- (14) (E072) Lodgement of a security deposit with Council upon practical completion of the subdivision works.
- (15) (E082) Submission of a compliance certificate accompanying Works as Executed plans with detail included as required by Council's current AUSPEC Specifications. The information is to be submitted in electronic format in accordance with Council's "CADCHECK" requirements detailing all infrastructure for Council to bring in to account its assets under the provisions of AAS27. This information is to be approved by Council prior to issue of the Subdivision or Occupation Certificate. The copyright for all information supplied, shall be assigned to Council.
- (16) (E195) The subdivision certificate shall not be issued until such time that the dwellings associated with this development are substantially commenced (as determined by Council) or where a strata management statement, or restriction as to user, prohibits any dwelling on each lot other than the dwelling approved as part of this consent.
- (17) Prior to occupation or issue of any Occupation Certificate evidence to the satisfaction of the certifying authority confirming the successful establishment of the two compensatory Koala food tree plantings shall be provided.

F – OCCUPATION OF THE SITE

- (1) (F004) The dwellings are approved for permanent residential use and not for short term tourist and visitor accommodation.
- (2) (F006) The basin of the outflow control pit and the debris screen must be cleaned of debris and sediment on a regular basis by the owner.

All communications to be addressed to:

Headquarters
4 Murray Rose Ave
Sydney Olympic Park NSW 2127

Headquarters
Locked Bag 17
Granville NSW 2142

Telephone: 1300 NSW RFS
e-mail: records@rfs.nsw.gov.au

Facsimile: 8741 5433



The General Manager
Port Macquarie-Hastings Council
PO Box 84
PORT MACQUARIE NSW 2444

Your Ref: 2018/988
Our Ref: D18/8519
DA18121316595 DC

ATTENTION: Benjamin Roberts

15 January 2019

Dear Mr Roberts

Integrated Development Application - 100//1009007 - 16 Ocean Street Port Macquarie

I refer to your correspondence dated 4 December 2018 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, under Division 4.8 of the 'Environmental Planning and Assessment Act 1979', and a Bush Fire Safety Authority, under Section 100B of the 'Rural Fires Act 1997', are now issued subject to the following conditions:

1. Landscaping to the site is to comply with the principles of Appendix 5 of 'Planning for Bush Fire Protection 2006'.

Asset Protection Zones

The intent of measures is to provide sufficient space and maintain reduced fuel loads so as to ensure radiant heat levels of buildings are below critical limits and to prevent direct flame contact with a building. To achieve this, the following conditions shall apply:

2. At the issue of subdivision certificate and in perpetuity the entire property shall be managed as an inner protection area (IPA) as outlined within section 4.1.3 and Appendix 5 of 'Planning for Bush Fire Protection 2006' and the NSW Rural Fire Service's document 'Standards for asset protection zones'.

Water and Utilities

The intent of measures is to minimise the risk of bush fire attack and provide protection for emergency services personnel, residents and others assisting fire fighting activities. To achieve this, the following conditions shall apply:

3. Water, electricity and gas are to comply with section 4.1.3 of 'Planning for Bush Fire Protection 2006'.

General Advice – consent authority to note

The above conditions are based on the drawings submitted in section 2.2 of the 'Bush Fire Assessment Report' prepared by Krisann Johnson dated 25th September, 2018.

Should you wish to discuss this matter please contact Danette Cook on 1300 NSW RFS.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Alan Bawden', with a stylized, flowing script.

Alan Bawden
Team Leader, Development Assessment & Planning

For general information on bush fire protection please visit www.rfs.nsw.gov.au

16 OCEAN STREET
PORT MACQUARIE

**DEVELOPMENT APPLICATION TO SUBDIVIDE PROPERTY AND
BUILD ATTACHED DWELLINGS ON EACH**

OCTOBER 2018



D	A0000	COVER SHEET
D	A0001	SITE PLANNING ANALYSIS
F	A1010	DEMOLITION, EXCAVATION & WASTE MANAGEMENT
F	A2000	PROPOSED SCOPE & SUB-DIVISION
F	A2001	PROPOSED DUPLEXES - GROUND/FLOOR PLAN
F	A2002	PROPOSED DUPLEXES - LEVEL 1 PLAN
F	A2003	PROPOSED DUPLEXES - LEVEL 2 PLAN
F	A2004	PROPOSED DUPLEXES - ROOF PLAN
E	A3000	PROPOSED NORTH & WEST ELEVATION
E	A3001	PROPOSED SOUTH & EAST ELEVATION
D	A4000	PROPOSED SECTIONS
B	A9000	PROPOSED 3D VIEWS
B	A9001	VISUALISATION
C	A9100	FINISHES, NOTES & DETAILS
C	A9101	PUBLIC FOOTPATH DETAILS
C	A9110	SHADOW STUDY
	A9111	DETAILED SHADOW STUDY
	A9112	DETAILED SHADOWS 3D

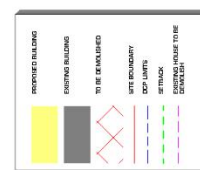
LIQUID

Material Name	Grade	Description
1	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
2	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
3	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
4	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
5	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
6	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
7	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
8	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
9	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"
10	1000	STEEL PLATE 1/2" THICK 10' X 20' X 1/2"

DEVELOPMENT APPLICATION

NOTES:
READ DRAWINGS IN CONJUNCTION WITH SPECIFICATION
SEE 4700 SERIES FOR FINISHES AND SCHEDULES
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

[illegible]

[illegible]

NOTES:
READ DRAWINGS IN CONJUNCTION WITH SPECIFICATION
SPEC. 7700 SERIES FOR FINISHES AND SCHEDULES
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

18- SITE PLAN / SITE ANALYSIS	Drawing No 05	Contract No 28769	Project No 28769
	Title 06/10/18	Unusual Site	A0010
	ISSUE As indicated	SCALE	DRAWN BY D

Item 05
Attachment 3
Page 50

WASTE MANAGEMENT

GENERAL

THE PROPOSAL FOR THIS SITE IS TO DEMOLISH EXISTING BUILDINGS AND CONSTRUCT A NEW WASTE MANAGEMENT FACILITY. THE PROPOSAL INCLUDES THE CONSTRUCTION OF A WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT. THE PROPOSAL ALSO INCLUDES THE CONSTRUCTION OF A WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT. THE PROPOSAL ALSO INCLUDES THE CONSTRUCTION OF A WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT.

DEMOLITION WASTE

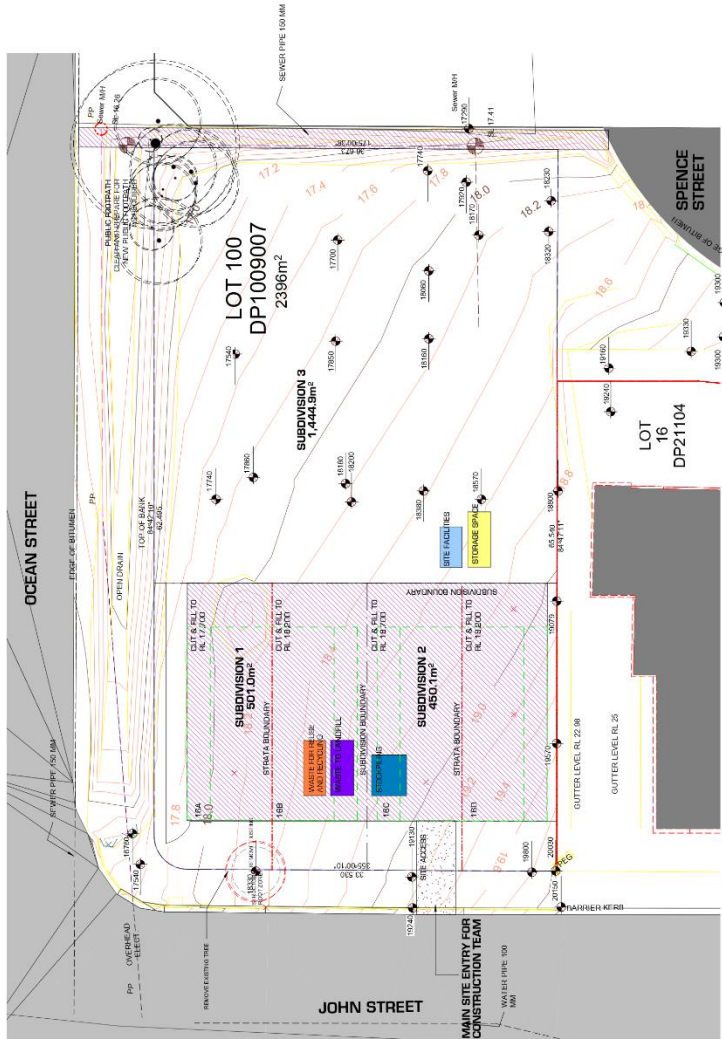
THE ADJACENT PLAN INDICATES THE EXISTING WASTE MANAGEMENT FACILITY. THE PROPOSAL INCLUDES THE DEMOLITION OF THE EXISTING WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT. THE PROPOSAL ALSO INCLUDES THE CONSTRUCTION OF A WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT.

CONSTRUCTION WASTE

THE ADJACENT PLAN INDICATES THE EXISTING WASTE MANAGEMENT FACILITY. THE PROPOSAL INCLUDES THE CONSTRUCTION OF A WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT. THE PROPOSAL ALSO INCLUDES THE CONSTRUCTION OF A WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT.

OPERATION WASTE

THE ADJACENT PLAN INDICATES THE EXISTING WASTE MANAGEMENT FACILITY. THE PROPOSAL INCLUDES THE OPERATION OF A WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT. THE PROPOSAL ALSO INCLUDES THE CONSTRUCTION OF A WASTE MANAGEMENT FACILITY, INCLUDING A WASTE STORAGE AREA, A WASTE TRANSFER STATION, AND A WASTE TREATMENT PLANT.



DEMOLITION & EXCAVATION

GENERAL

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEMOLITION ACT AND THE REQUIREMENTS OF THE DEMOLITION ACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES.

PRIOR TO BEGINNING WORK

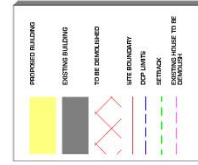
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES.

THE WORKS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES.

FINISHING

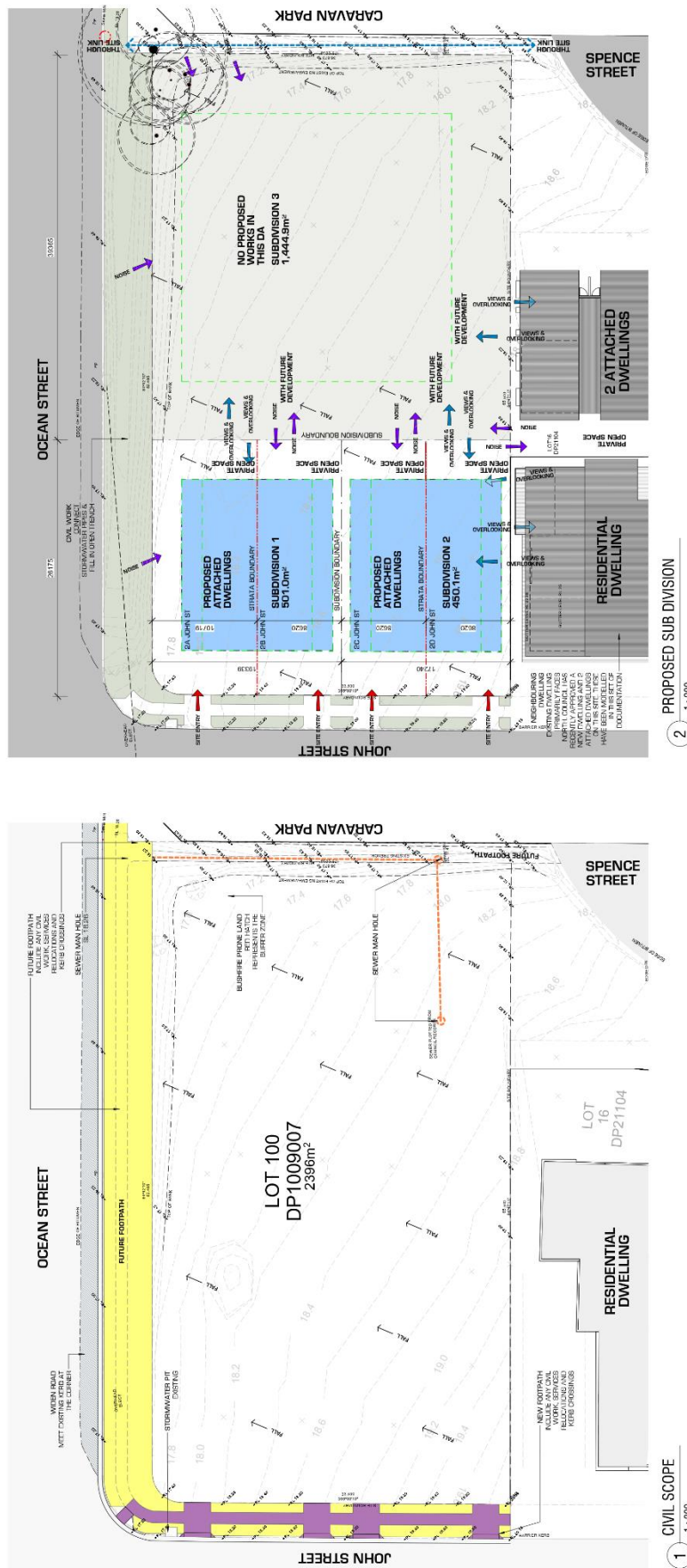
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES.




NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES.

DEVELOPMENT APPLICATION

Project No.	Project Name	Project Type	Project Status	Project Date	Project Location	Project Description	Project Notes
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18
DP1009007	LOT 100 DP1009007	DEMOLITION & EXCAVATION	WASTE MANAGEMENT	10/08/18	10/08/18	10/08/18	10/08/18



DEVELOPMENT APPLICATION

	2025-2026 2026-2027 2027-2028 2028-2029 2029-2030 2030-2031 2031-2032 2032-2033 2033-2034 2034-2035 2035-2036 2036-2037 2037-2038 2038-2039 2039-2040 2040-2041 2041-2042 2042-2043 2043-2044 2044-2045 2045-2046 2046-2047 2047-2048 2048-2049 2049-2050 2050-2051 2051-2052 2052-2053 2053-2054 2054-2055 2055-2056 2056-2057 2057-2058 2058-2059 2059-2060 2060-2061 2061-2062 2062-2063 2063-2064 2064-2065 2065-2066 2066-2067 2067-2068 2068-2069 2069-2070 2070-2071 2071-2072 2072-2073 2073-2074 2074-2075 2075-2076 2076-2077 2077-2078 2078-2079 2079-2080 2080-2081 2081-2082 2082-2083 2083-2084 2084-2085 2085-2086 2086-2087 2087-2088 2088-2089 2089-2090 2090-2091 2091-2092 2092-2093 2093-2094 2094-2095 2095-2096 2096-2097 2097-2098 2098-2099 2099-2100 2100-2101 2101-2102 2102-2103 2103-2104 2104-2105 2105-2106 2106-2107 2107-2108 2108-2109 2109-2110 2110-2111 2111-2112 2112-2113 2113-2114 2114-2115 2115-2116 2116-2117 2117-2118 2118-2119 2119-2120 2120-2121 2121-2122 2122-2123 2123-2124 2124-2125 2125-2126 2126-2127 2127-2128 2128-2129 2129-2130 2130-2131 2131-2132 2132-2133 2133-2134 2134-2135 2135-2136 2136-2137 2137-2138 2138-2139 2139-2140 2140-2141 2141-2142 2142-2143 2143-2144 2144-2145 2145-2146 2146-2147 2147-2148 2148-2149 2149-2150 2150-2151 2151-2152 2152-2153 2153-2154 2154-2155 2155-2156 2156-2157 2157-2158 2158-2159 2159-2160 2160-2161 2161-2162 2162-2163 2163-2164 2164-2165 2165-2166 2166-2167 2167-2168 2168-2169 2169-2170 2170-2171 2171-2172 2172-2173 2173-2174 2174-2175 2175-2176 2176-2177 2177-2178 2178-2179 2179-2180 2180-2181 2181-2182 2182-2183 2183-2184 2184-2185 2185-2186 2186-2187 2187-2188 2188-2189 2189-2190 2190-2191 2191-2192 2192-2193 2193-2194 2194-2195 2195-2196 2196-2197 2197-2198 2198-2199 2199-2200 2200-2201 2201-2202 2202-2203 2203-2204 2204-2205 2205-2206 2206-2207 2207-2208 2208-2209 2209-2210 2210-2211 2211-2212 2212-2213 2213-2214 2214-2215 2215-2216 2216-2217 2217-2218 2218-2219 2219-2220 2220-2221 2221-2222 2222-2223 2223-2224 2224-2225 2225-2226 2226-2227 2227-2228 2228-2229 2229-2230 2230-2231 2231-2232 2232-2233 2233-2234 2234-2235 2235-2236 2236-2237 2237-2238 2238-2239 2239-2240 2240-2241 2241-2242 2242-2243 2243-2244 2244-2245 2245-2246 2246-2247 2247-2248 2248-2249 2249-2250 2250-2251 2251-2252 2252-2253 2253-2254 2254-2255 2255-2256 2256-2257 2257-2258 2258-2259 2259-2260 2260-2261 2261-2262 2262-2263 2263-2264 2264-2265 2265-2266 2266-2267 2267-2268 2268-2269 2269-2270 2270-2271 2271-2272 2272-2273 2273-2274 2274-2275 2275-2276 2276-2277 2277-2278 2278-2279 2279-2280 2280-2281 2281-2282 2282-2283 2283-2284 2284-2285 2285-2286 2286-2287 2287-2288 2288-2289 2289-2290 2290-2291 2291-2292 2292-2293 2293-2294 2294-2295 2295-2296 2296-2297 2297-2298 2298-2299 2299-2300 2300-2301 2301-2302 2302-2303 2303-2304 2304-2305 2305-2306 2306-2307 2307-2308 2308-2309 2309-2310 2310-2311 2311-2312 2312-2313 2313	
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DEVELOPMENT APPLICATION

100 PROPOSED DUPLEXES - GROUND FLOOR PLAN	DATE	08/10/18	ISSUE	1
	DESIGN	RS	PROJECT NO.	A2001
	CLIENT	RS	THREAT NO.	
	SCALE	AS INDICATED	INDICATION	F

L I Q U I D
D E S I G N

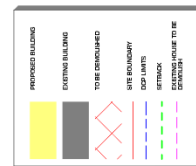
Liquid Design, Inc. Ltd.
2000 West 12th Avenue, Suite 400
W. 12th & 7th Ave.
Vancouver, BC V6H 2K6
Canada
Tel: 604.681.0000
Fax: 604.681.0001
Web: www.liquiddesign.com



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WHERE PROPRIETARY PRODUCTS ARE REFERRED TO, INSTALL IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.

LANDSCAPING SCHEDULE:

FINISHES:

[illegible]

NOTES:
READ DRAWINGS IN CONJUNCTION WITH SPECIFICATION
SET A7070 SERIES FOR FINISHES AND SCHEDULES
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

1. RE: PROPOSED DUPLEXES - LEVEL 1 PLAN	Drawn by DB	Check ed RS	Project No 2809
	Date 10/08/18		Sheet No. A2002
	Scale As Indicated	Issue C	Revision F

[illegible]

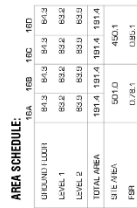
LIQUID DESIGN

Liquid Design Inc.
10000 Highway 101, Suite 1000
Toronto, Ontario M3J 1K4
Canada
Tel: 416-291-1914
Fax: 416-291-1915
E-mail: info@liquiddesign.ca
Web: www.liquiddesign.ca
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GENERAL NOTES:

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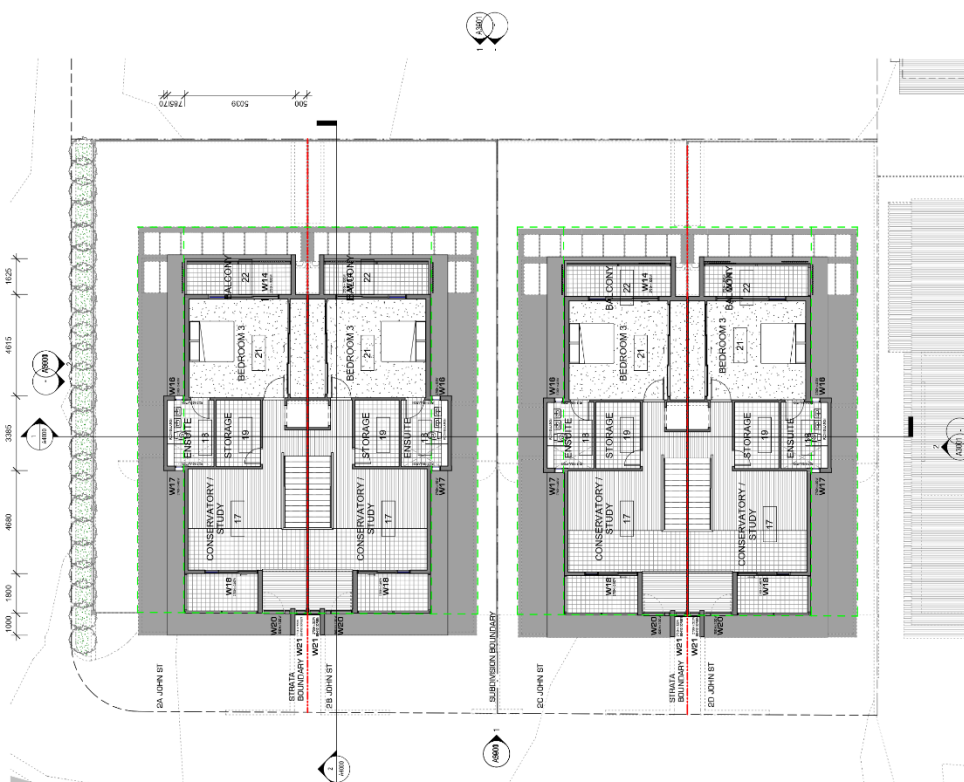
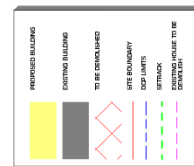
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LANDSCAPING SCHEDULE:

SITE AREA - SUBDIVISION 1	501m ²
IMPROVED LANDSCAPING PERMISSIBLE LANDSCAPING DEEP SOIL	311.126m ² 31.79m ² 159.37m ²
TOTAL LANDSCAPING (PERCENTAGE OF SITE AREA)	169.87m² (33.6%)
SITE AREA - SUBDIVISION 2	453.1m ²
IMPROVED LANDSCAPING PERMISSIBLE LANDSCAPING DEEP SOIL	317.786m ² 31.79m ² 99.41m ²
TOTAL LANDSCAPING (PERCENTAGE OF SITE AREA)	137.31m² (30.5%)

FINISHES:

[illegible]

NOTES:
READ DRAWINGS IN CONJUNCTION WITH SPECIFICATION
SEE A7700 SERIES FOR FINISHES AND SCHEDULES
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

[illegible]

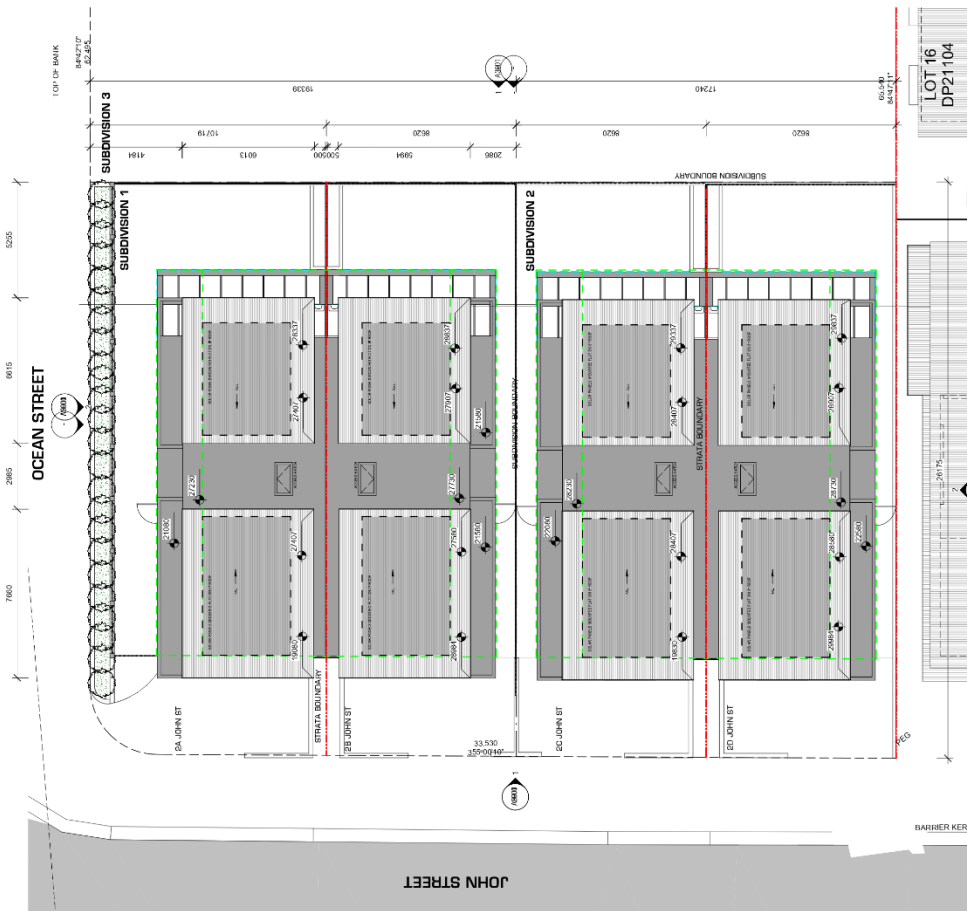
DEVELOPMENT APPLICATION

NOTES:
READ DRAWINGS IN CONJUNCTION WITH SPECIFICATION
SEE A7701 SERIES FOR FINISHES AND SCHEDULES
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

[illegible]

GENERAL NOTES:

ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA,
REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES AND
GOVERNMENT & RELEVANT AUSTRALIAN BUILDING INDUSTRY
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE
COMMENCING WORK. - SHOULD A DISCREPANCY BE IDENTIFIED IN PLACE
CONFORM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE
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AND AUTHORITY IS REQUESTED FOR ANY REPRODUCTION
WHICH PROPRIETARY PRODUCTS ARE REFERRED TO, INSTALL IN
CONFORMANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS



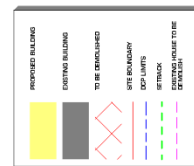
AREA SCHEDULE:

	10A	10B	10C	10D
GROUND LEVER	84.3	84.3	84.3	84.3
LEVEL 1	83.2	83.2	83.2	83.2
LEVEL 2	82.9	82.9	82.9	82.9
TOTAL AREA	191.4	191.4	191.4	191.4
SITE AREA	501.0		450.1	
FSR	0.761		0.951	

LANDSCAPING SCHEDULE:

SITE AREA - SUBDIVISION 1	501 m ²
IMV1 (WOODS) LAND-GROWING PERENNIAL LANDSCAPING DEEP SOIL	311.12 m ² 30.38 m ² 139.30 m ²
TOTAL LANDSCAPING (PERCENTAGE OF SITE AREA)	169.87 m² (33.92%)
SITE AREA - SUBDIVISION 2	459.1 m ²
IMV1 (WOODS) LAND-GROWING PERENNIAL LANDSCAPING DEEP SOIL	312.28 m ² 30.38 m ² 90.41 m ²
TOTAL LANDSCAPING (PERCENTAGE OF SITE AREA)	132.71 m² (28.92%)

FINISHES:

[illegible]

AREA SCHEDULE:

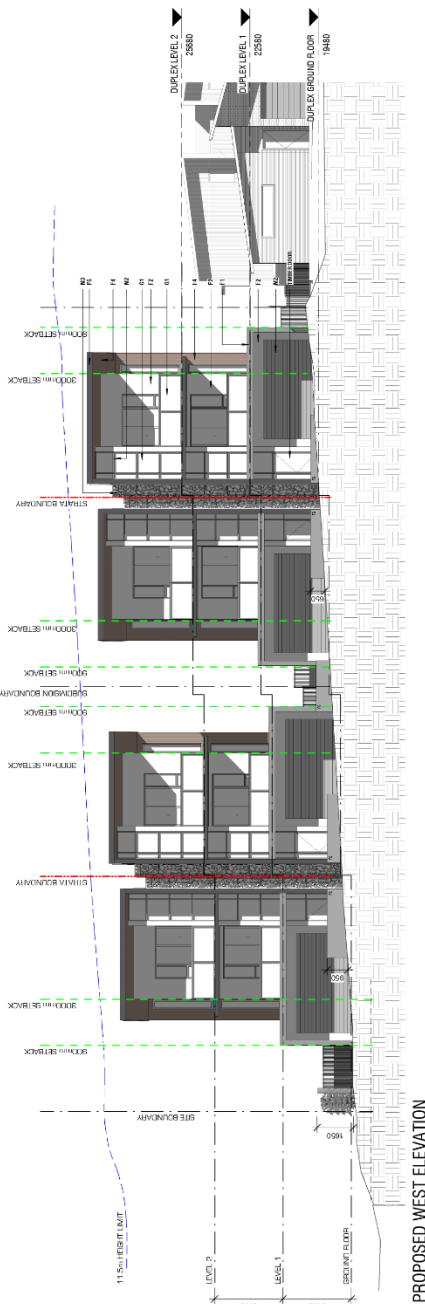
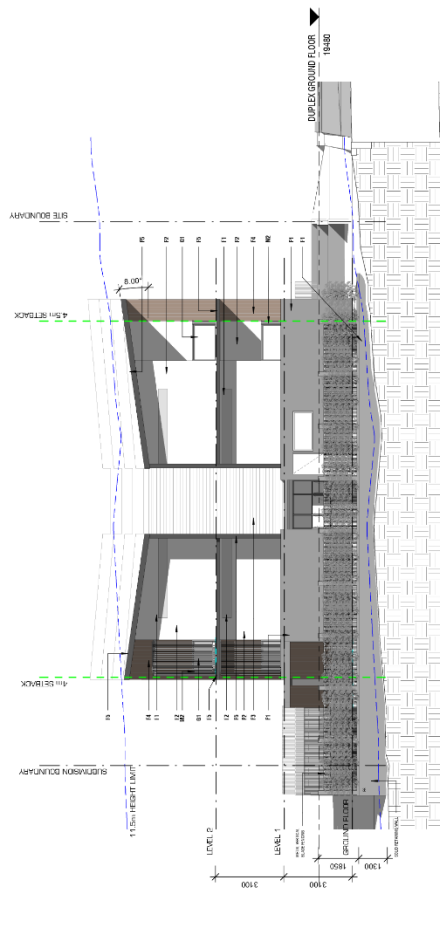
	15A	15B	15C	15D
GROUND FLOOR	84.3	84.3	84.3	84.3
LEVEL 1	85.2	85.2	85.2	85.2
LEVEL 2	85.3	85.3	85.3	85.3
TOTAL AREA	191.4	191.4	191.4	191.4
SITE AREA	851.0			485.1
F59		0.75:1		0.05:1

LANDSCAPING SCHEDULE:

SITE AREA - SUBDIVISION 1	20.97
INTERIM LANDSCAPING	31.38% 6.58m ²
PERMANENT LANDSCAPING	15.07% 3.15m ²
TOTAL LANDSCAPING	16.87% 3.53m ²
PERCENTAGE OF SITE AREA	
SITE AREA - SUBDIVISION 2	405.97
INTERIM LANDSCAPING	37.27% 152.08m ²
PERMANENT LANDSCAPING	32.38% 132.34m ²
TOTAL LANDSCAPING	127.71% 514.42m ²
PERCENTAGE OF SITE AREA	

FINISHES:

F1	WALLS - INTERIOR - PRE-PAINTED FC SHEETING CEILING - SUBDIVISION 1 UNIT
F2	FLOORS - 1 & 2 WALLS - PRE-PAINTED FC SHEETING CEILING - SUBDIVISION 2 UNIT
F3	CENTRE HALLWAY WALL - PRE-PAINTED FC CENTRE HALLWAY CEILING - SUBDIVISION 1 UNIT
F4	ROOF & EXTERIOR - PRE-PAINTED FC SHEETING CEILING - 1 TERRACE WALL AND 1 FLAT
F5	BLACK WALLS & CEILING - PRE-PAINTED FC SHEETING - CEILING - SUBDIVISION 2 UNIT
F6	WALLS - INTERIOR - PRE-PAINTED FC CEILING - SUBDIVISION 2 UNIT
F7	ROOF SHEETING - CORRUGATED GALVANEAL CEILING - SUBDIVISION 2 UNIT
F8	WINDOW FRAMES, DOOR FRAMES & CASING DOOR - ALUMINUM ALLOY UPST DOOR - ALUMINUM ALLOY UPST
F9	DOOR - ALUMINUM ALLOY UPST CEILING - SUBDIVISION 2 UNIT
F10	WALLS & CEILING - PRE-PAINTED FC WALLS & CEILING - PRE-PAINTED FC
F11	FINISH TILES CEILING - SUBDIVISION 2 UNIT
F12	FINISH TILES CEILING - SUBDIVISION 2 UNIT

1 PROPOSED WEST ELEVATION
1:1002 PROPOSED NORTH ELEVATION
1:100

NOTES:
1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

DEVELOPMENT APPLICATION

PROJECT: NEW ATTACHED DWELLINGS 15 OCEAN STREET, PORT MACQUARIE		PROPOSED NORTH & WEST ELEVATION		SUBMITTER: RS		SUBMITTER: 2019		SUBMITTER: A3000	
DATE: 08/10/18		DATE: 08/10/18		DATE: 08/10/18		DATE: 08/10/18		DATE: 08/10/18	
DRAWN BY: [Name]		DRAWN BY: [Name]		DRAWN BY: [Name]		DRAWN BY: [Name]		DRAWN BY: [Name]	
CHECKED BY: [Name]		CHECKED BY: [Name]		CHECKED BY: [Name]		CHECKED BY: [Name]		CHECKED BY: [Name]	
APPROVED BY: [Name]		APPROVED BY: [Name]		APPROVED BY: [Name]		APPROVED BY: [Name]		APPROVED BY: [Name]	

SCALE BAR
1:100 @ A1 - 1:200 @ A3
0m 1m 2m 3m 4m 5m

LIQUID
DESIGN
Liquor Design Pty Ltd
15/15 OCEAN STREET, PORT
MACQUARIE, NSW 2513
02 6551 1111
www.liquordesign.com.au

AREA SCHEDULE:

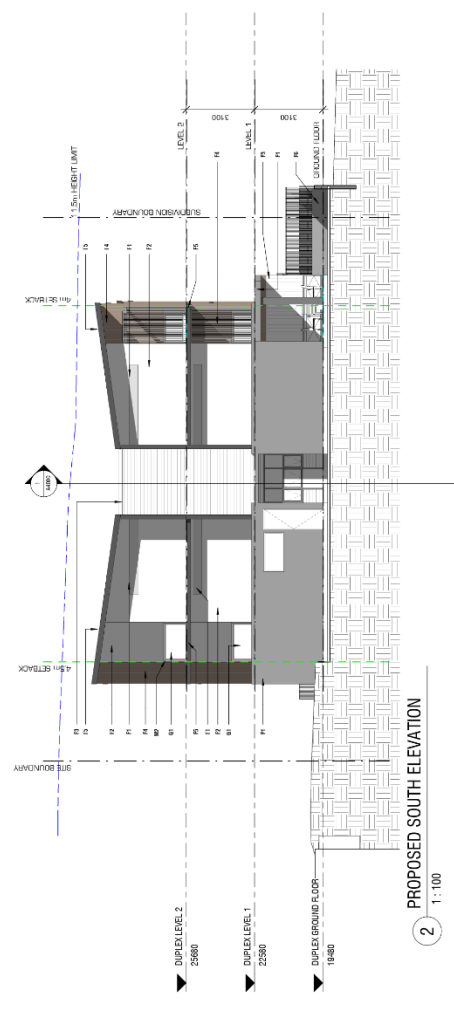
	16A	16B	16C	16D
GROUND LUMI	94.3	94.3	94.3	94.3
LEVEL 1	93.2	93.2	93.2	93.2
LEVEL 2	92.1	92.1	92.1	92.1
TOTAL AREA	101.4	101.4	101.4	101.4
SITE AREA	507.0			492.1
FSR				0.201

LANDSCAPING SCHEDULE:

SITE AREA - SUBDIVISION 1		50m ²
MINIMUM LANDSCAPING DEEP SOIL	31.1m ²	31.1m ²
TOTAL LANDSCAPING (PERCENTAGE OF SITE AREA)	100.0m ²	100.0m ²
SITE AREA - SUBDIVISION 2		492.1m ²
MINIMUM LANDSCAPING DEEP SOIL	31.1m ²	31.1m ²
TOTAL LANDSCAPING (PERCENTAGE OF SITE AREA)	100.0m ²	100.0m ²

FINISHES:

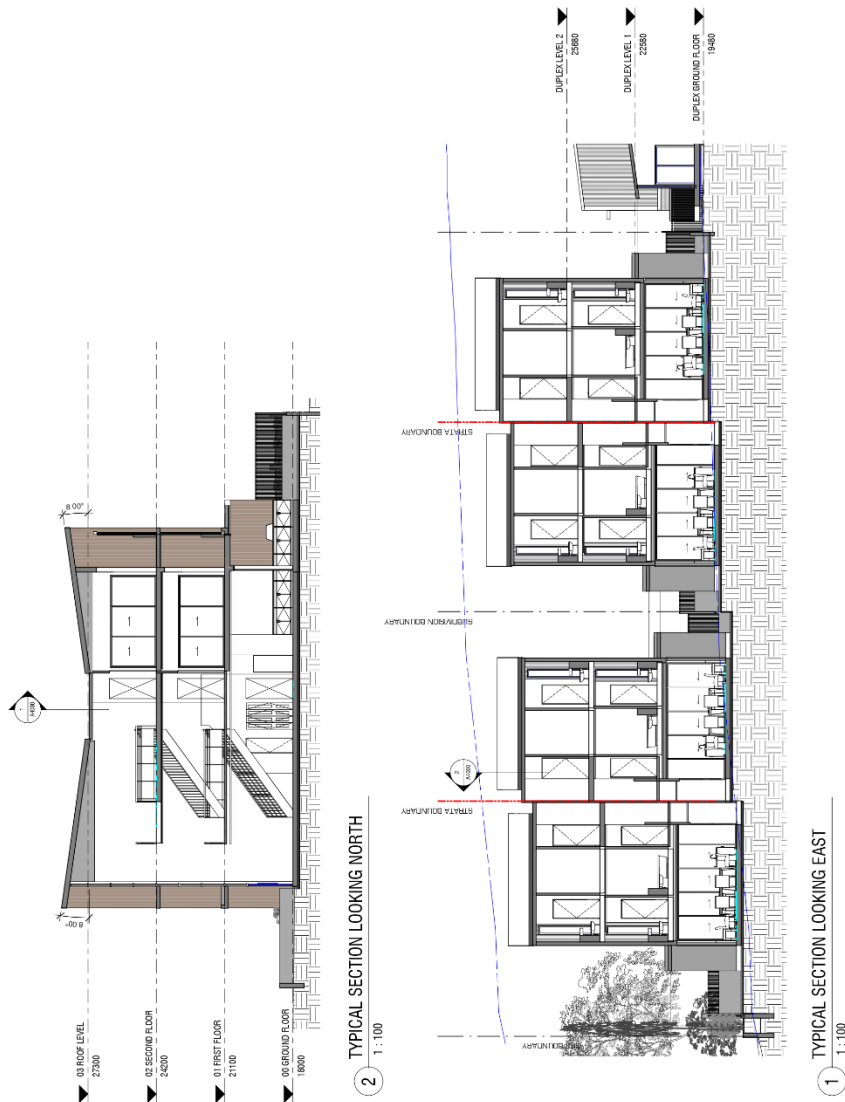
F1	GRANITE WALLS - PRE-FINISHED SHEETING
F2	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F3	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F4	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F5	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F6	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F7	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F8	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F9	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F10	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F11	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F12	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F13	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F14	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F15	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F16	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
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F99	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING
F100	CEILING - 1.8m x 0.6m x 0.1m - PRE-FINISHED FC SHEETING



NOTES:
1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO BE TAKEN FROM THE EXISTING GROUND LEVEL UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO BE TAKEN FROM THE EXISTING GROUND LEVEL UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE TO BE TAKEN FROM THE EXISTING GROUND LEVEL UNLESS OTHERWISE SPECIFIED.
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10. ALL DIMENSIONS ARE TO BE TAKEN FROM THE EXISTING GROUND LEVEL UNLESS OTHERWISE SPECIFIED.

DEVELOPMENT APPLICATION

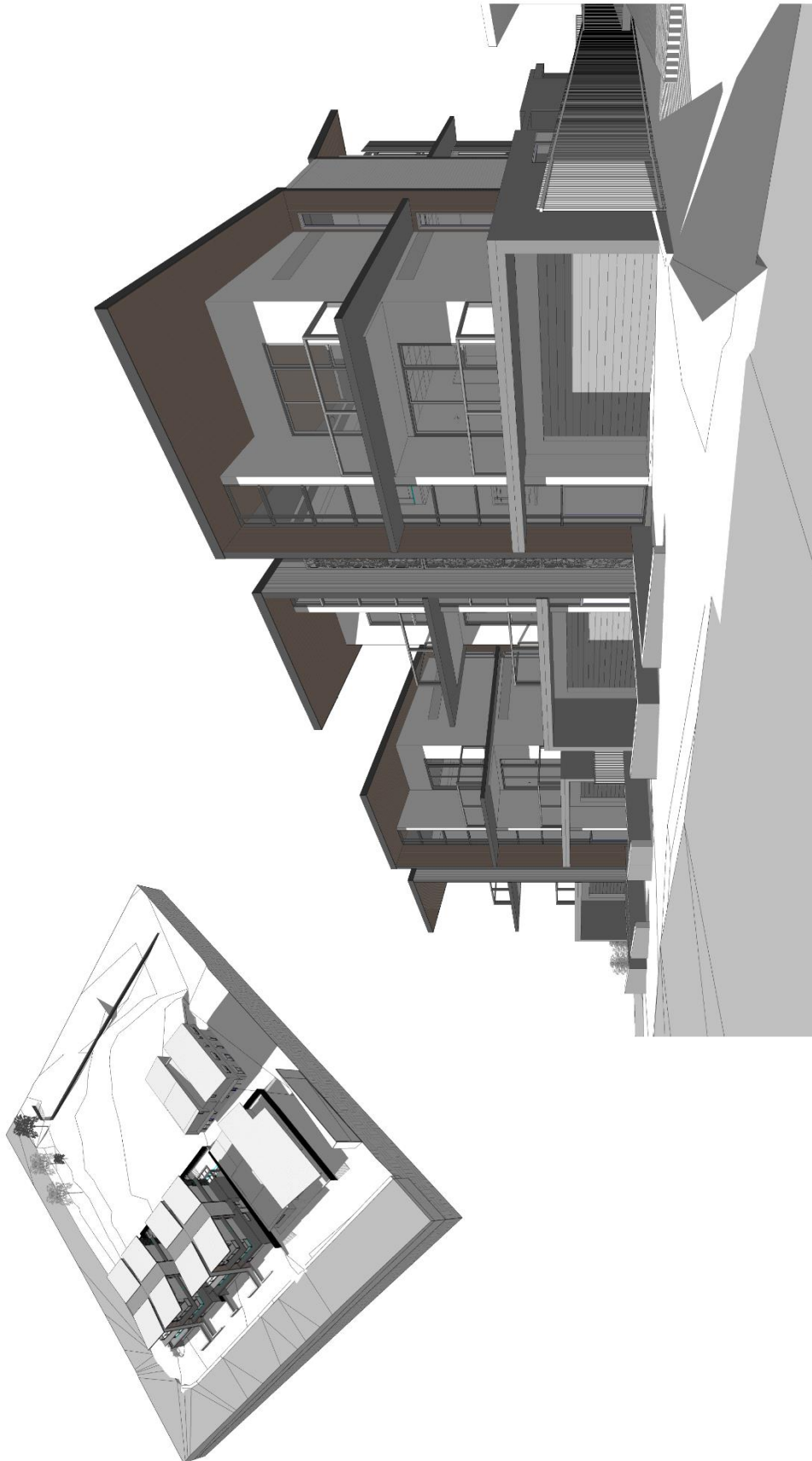
PROJECT NAME NEW ATTACHED DWELLINGS 16 OCEAN STREET, PORT MACQUARIE	PROPOSED SOUTH & EAST ELEVATION	DATE 10/03/18	SCALE As indicated	PROJECT NO. A3001	STATUS D
L I Q U I D D E V E L O P M E N T 16 OCEAN STREET, PORT MACQUARIE NSW 2580 TEL: 02 9333 1000 WWW.LIQUIDDEVELOPMENT.COM.AU					



NOTES:
READ DRAWINGS IN CONJUNCTION WITH SPECIFICATION
SEE A7070 SERIES FOR FINISHES AND SCHEDULES
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

[illegible]



NOTES:
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DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

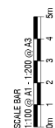
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NOTES:
READ DRAWINGS IN CONJUNCTION WITH SPECIFICATION
SET A7070 SERIES FOR FINISHES AND SCHEDULES
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

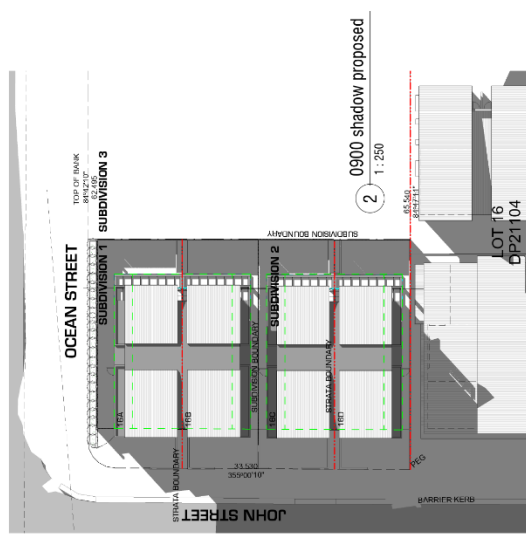
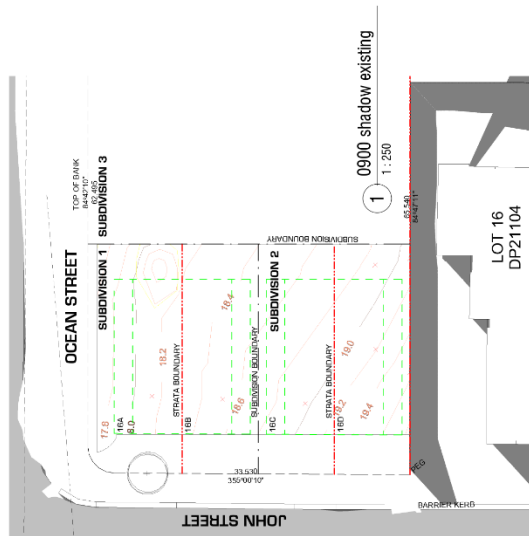
DEVELOPMENT APPLICATION

[illegible]



DEVELOPMENT APPLICATION

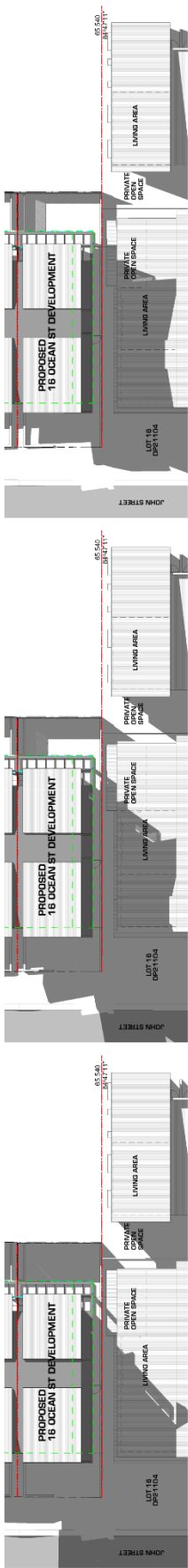
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DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION

LIQUID DESIGN	NAME: NEW ATTACHED DWELLINGS 16 OCEAN STREET, PORT MACQUARIE		DATE: -	CREATED:	PROJECT:	FILE:	PROJECT NAME: SHADOW STUDY		REPORT DATE: 08/08/2019	REPORT TIME: 15:00
	PROJECT: NEW ATTACHED DWELLINGS 16 OCEAN STREET, PORT MACQUARIE		DATE: -	CREATED:	PROJECT:	FILE:	PROJECT NAME: SHADOW STUDY		REPORT DATE: 08/08/2019	REPORT TIME: 15:00



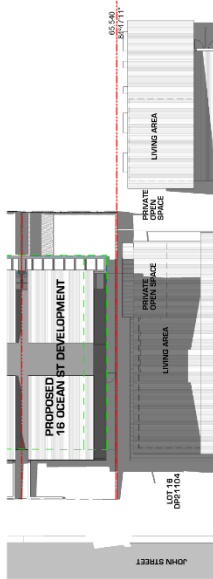
1 0900 DETAILED SHADOWS
1:200



2 1000 DETAILED SHADOWS
1:200



3 1100 DETAILED SHADOWS
1:200



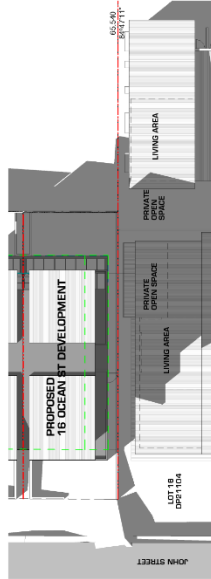
4 1200 DETAILED SHADOWS
1:200



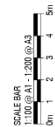
5 1300 DETAILED SHADOWS
1:200



6 1400 DETAILED SHADOWS
1:200



7 1500 DETAILED SHADOWS
1:200



LIQUID
DESIGN

LIQUID DESIGN
10/10/2018
10/10/2018
10/10/2018

NOTES:
RELEVANT INFORMATION NOT FOR CONSTRUCTION
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

Project	Site	Scale	Sheet No.	Project No.
NEW ATTACHED DWELLINGS 18 OCEAN STREET, PORT MACQUARIE	DETAILED SHADOW STUDY	1:200	12/13/18	A9111



NOTES:
RENDERING CALCULATED WITH SUN POSITION
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

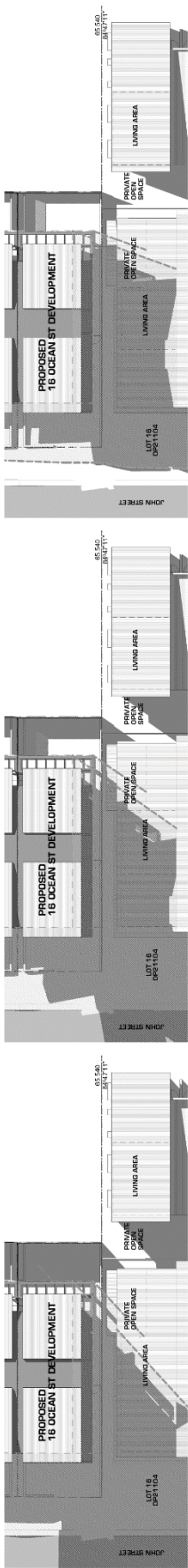
<p>SCALE BAR 1:100 @ A1 - 1:200 @ A3 0m 1 2 3 4 5m</p> <p>LIQUID DESIGN Liquor & Design 10/10/19 10:00 AM 10/10/19 10:00 AM 10/10/19 10:00 AM</p>		<p>Project: NEW ATTACHED DWELLINGS 15 OCEAN STREET, PORT MACQUARIE</p>	<p>Client: -</p>	<p>Consultant: -</p>	<p>Issue Ref: - Date: - Description: -</p>	<p>Drawn: RS Check: RS Date: 12/13/18 Scale: - Project: A9112</p>
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NOTE:
ADDITIONAL
ONE FISH/MALE

GROSS FLOOR AREA	
Basement	0m ²
GROUND FLOOR	171.5m ²
LEVEL 1	225.7m ²
LEVEL 2	225.7m ²
TOTAL AREA	642.9m ²
SITE AREA	570.2m ²
PSR (FLOOR)	1:13.1

LANDSCAPING AREAS		42% LUCP	11% LUCP	29% LUCP	41% SITE LUCP	17% LUCP
DEEP SOIL	114.8 sqm					
PLANTING	34.8 sqm					
PERMEABLE PAVING	93.3 sqm					
TOTAL	243 sqm					
NON PERMEABLE	200 sqm					
SITE AREA	271.0 sqm					

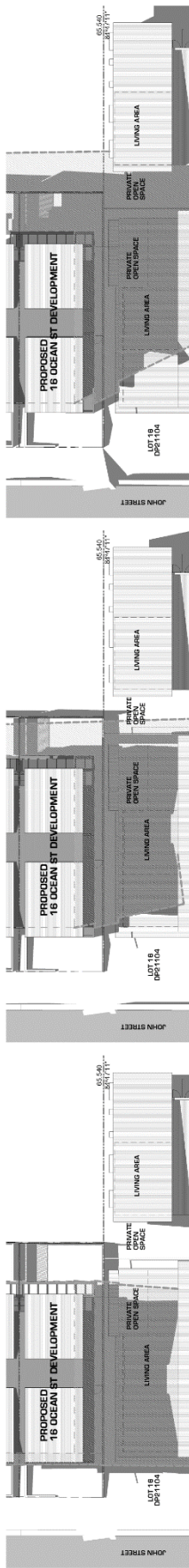
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1 0900 DETAILED SHADOWS 1:200

2 1000 DETAILED SHADOWS 1:200

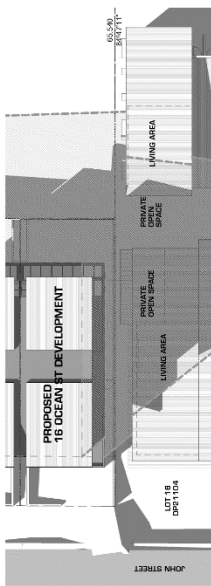
3 1100 DETAILED SHADOWS 1:200



4 1200 DETAILED SHADOWS 1:200

5 1300 DETAILED SHADOWS 1:200

6 1400 DETAILED SHADOWS 1:200



7 1500 DETAILED SHADOWS 1:200

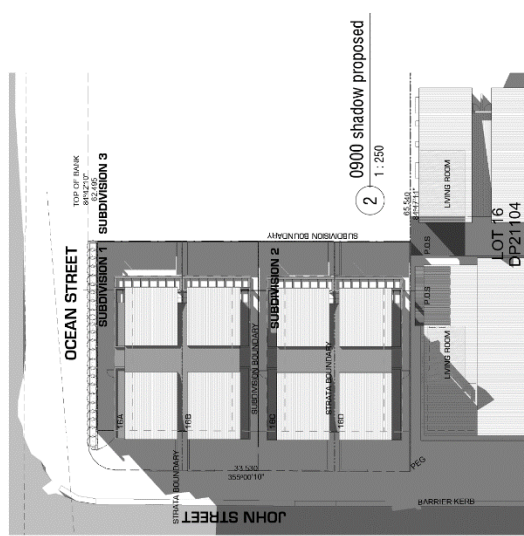
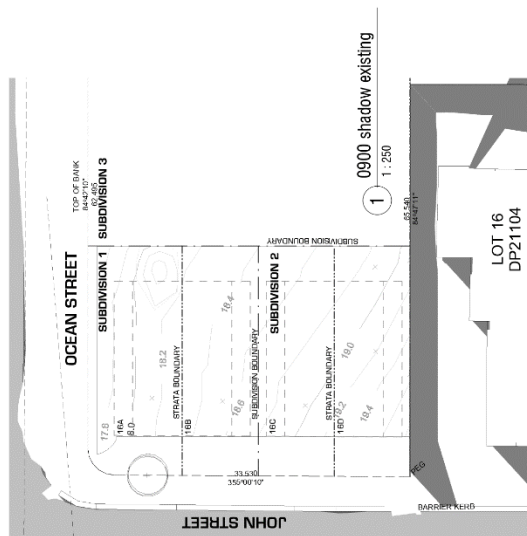
NOTE:
SHADOWING FROM
ADJACENT TOWN LOT

NOTES:
RE: LITIGATION NOTIFICATION FOR CONSTRUCTION
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

SCALE BAR
1:100 @ A1 - 1:200 @ A3
0m 1 2 3 4 5m

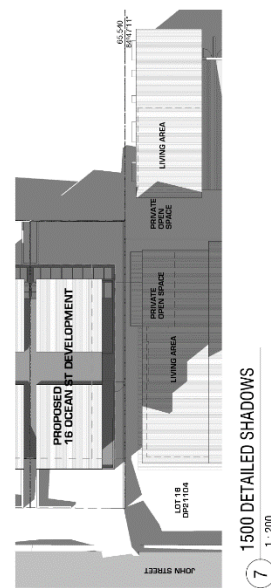
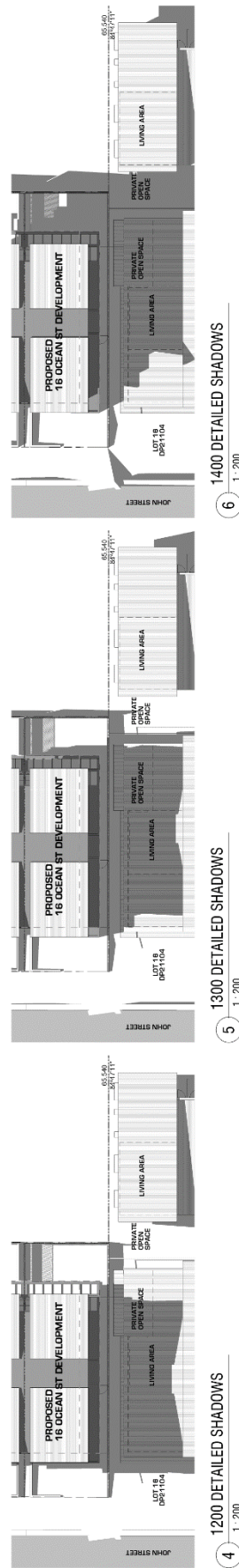
LIQUID DESIGN		Project: NEW ATTACHED DWELLINGS 18 OCEAN STREET, PORT MACQUARIE		Title: DETAILED SHADOW STUDY		Author: RS		Project No: 2103	
Project Manager: [Name]		Client: [Name]		Date: 12/13/18		Scale: 1:200		Sheet: A9111	
Project No: [Number]		Client No: [Number]		Date: 12/13/18		Scale: 1:200		Sheet: A9111	
Project No: [Number]		Client No: [Number]		Date: 12/13/18		Scale: 1:200		Sheet: A9111	



DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION

LIQUID DESIGN	Name of Applicant Mr. J. D. Smith 123 Main Street New York, NY 10001 Tel: 212-555-1234 Fax: 212-555-5678		Name of Agent Mr. A. B. Jones 456 Park Avenue New York, NY 10022 Tel: 212-555-9876 Fax: 212-555-4321		Name of Firm ABC Corporation 789 Wall Street New York, NY 10005 Tel: 212-555-3210 Fax: 212-555-0987	
	Address of Applicant 123 Main Street New York, NY 10001		Address of Agent 456 Park Avenue New York, NY 10022		Address of Firm 789 Wall Street New York, NY 10005	
	City of Applicant New York, NY		City of Agent New York, NY		City of Firm New York, NY	



NOTES:
READ DRAWINGS IN CONJUNCTION WITH SPECIFICATION
SEE A7070 SERIES FOR FINISHES AND SCHEDULES
DOCUMENTATION FOR TENDER NOT FOR CONSTRUCTION

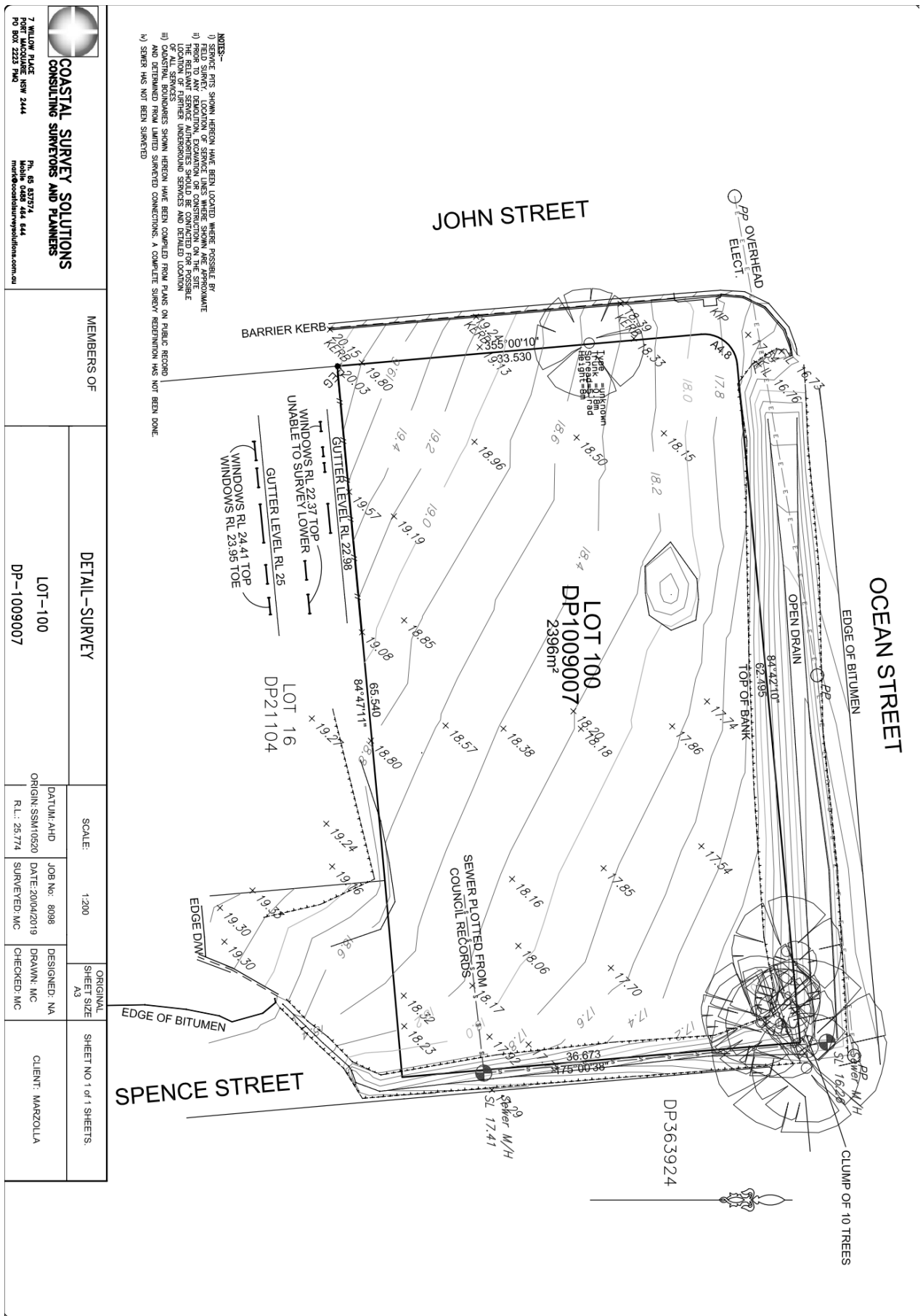
DEVELOPMENT APPLICATION

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DEVELOPMENT APPLICATION

[illegible]



SCHEDULE OF DRAWINGS

SHEET No	DESCRIPTION
COVER	GENERAL NOTES
SW01	SEDIMENT AND EROSION CONTROL PLAN
SW02	GROUND FLOOR DRAINAGE PLAN
SW03	FIRST & SECOND FLOOR DRAINAGE PLAN
SW04	ROOF DRAINAGE PLAN
SW05	STORMWATER SECTIONS AND DETAILS
SW06	STORMWATER PIPE LAYOUT AND DETAILS

DESCRIPTION	
DEMOL ON-SITE DETENTION TANK OR PUMP-OUT TANK	
DEMOL ON-SITE DETENTION BASIN	
DEMOL DISPERSED TRENCH	
DEMOL DISPERSED DOWNSPORE	
DEMOLITES 1.00mm DIA PVC (SEWER GRADE AT 1% MIN. GRADE) 1.0' L	
DEMOLITES 1.00mm DIA PVC (SEWER GRADE AT 1% MIN. GRADE) 1.0' L	
DEMOLITES 2.25mm DIA PVC (SEWER GRADE AT 1% MIN. GRADE) 1.0' L	
DEMOLITES 2.25mm DIA PVC (SEWER GRADE AT 1% MIN. GRADE) 1.0' L	
DEMOL 1/2" AGG LINE	
	
	
	

[illegible]

PIT SIZES AND DESIGN	
DEPTH (mm)	MINIMUM PIT SIZE (mm)
1/8" TO 450mm	450 x 450
450mm TO 600mm	600 x 600 U.N.O.
600mm TO 900mm	900 x 900 U.N.O.
FROM 900mm	900 x 900 (WITH STEP BOND)

CONCRETE PAVEMENT

2. SUBGRADE SHALL BE OBTAINED OR OBTAINED IN EARTHWORKS. PROVIDE JOINTS AT MINIMUM 600 MM INTERVALS OR AS OTHERWISE SPECIFIED IN THE DRAWINGS.
3. SUBGRADE SHALL COMPLY WITH ALL COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS IN ACCORDANCE WITH THE H.P. PAVT. LOCAL AUTHORITY SPECIFICATION.
4. ANY SUB-BASE MATERIAL SHALL BE COMPACTED AS REQUIRED IN EARTHWORKS.
5. COMPACTED IN 15 CM AND 15/17.5 CM SHALL COMPRESS A MINIMUM COMPRESSIVE STRENGTH IN COMPACTED IN WORKS ARE 10 MPa CURED BY 10% OF THE FOR 10 DAYS.
6. USING AN APPROVED COURSE COMPOUNDED FOR A MINIMUM OF 7 DAYS COMMENCING IMMEDIATELY AFTER POURING.

FLEXIBLE PAVEMENT NOTES

- F1. SUBGRADE MATERIAL SHALL BE PREPARED AS OUTLINED IN EARTHWORKS.
- F2. PAVEMENT MATERIAL SHALL BE SUBJECT OF APPROVAL ON APPROVED SUBMITTAL GRADING OF THE CRUSH RATIO AS PER THE RELEVANT CONSULTING AUTHORITY.
- F3. PAVEMENT MATERIAL SHALL BE SPREAD IN LAYERS NOT EXCEEDING 150 AND NOT LESS 75 COMPACT @ 10% MOISTURE.
- F4. PAVEMENT MATERIALS SHALL BE SIZED AND AS A STANDARD OUTLINED IN AS 1414.
- F5. CRUSHED OR BITUMEN SANDSTONE SHALL BE MINIMUM 5% NOMINAL SIZE COMING FROM DELICIOUS MATERIAL.
- F6. PAVEMENT MATERIALS SHALL BE COMPACTED BY SUITABLE MEANS TO SATISFY THE FOLLOWING MINIMUM SPECIFICATIONS AS PER AS 1414.

PIT SIZES AND DESIGN

DEPTH (mm)	MINIMUM PIT SIZE (mm)
0" TO 450mm	450 x 450
450mm TO 600mm	600 x 600 U.F.O
600mm TO 900mm	900 x 900 U.F.O
FROM 900mm	900 x 900 (WITH STEP BOND)

GENERAL NOTES

- [illegible]

EARTHWORKS NOT

- [illegible]

		D	ISSUED FOR DA	15-11-2018	
		C	ISSUED FOR COORDINATION	26-10-2018	
		B	ISSUED FOR COORDINATION	04-10-2018	
		A	ISSUED FOR COORDINATION	24-07-2018	
REVISION			AMENDMENT	ISSUE DATE	

ALPHA
ENGINEERING & DEVELOPMENT

Phone: (02) 9745 5202
Fax: (02) 8604 7461
E-mail: info@alphaengineering.com.au
Address: 24M Burrell St,
Burwood NSW 2134
Website: www.alphaengineering.com.au

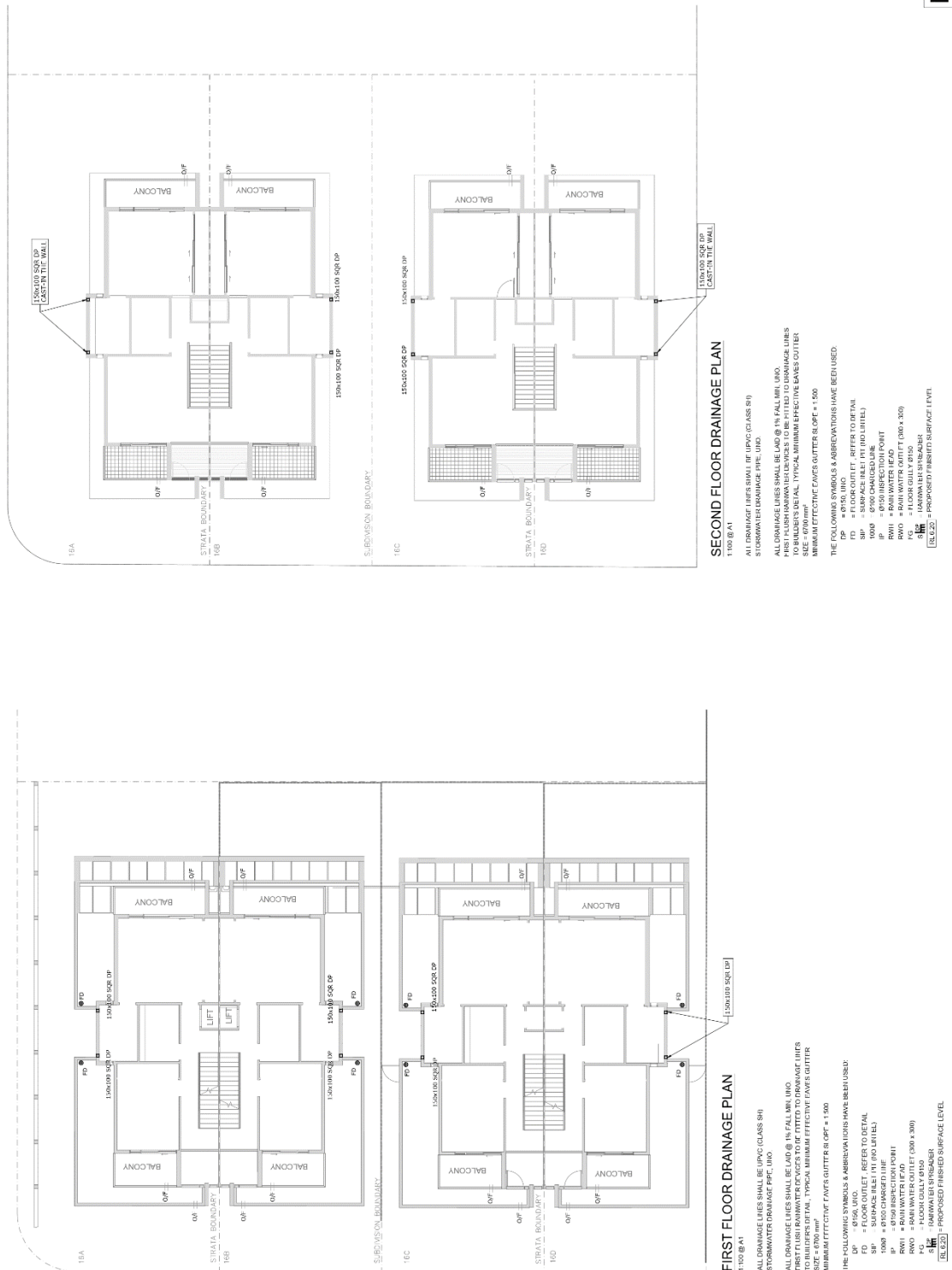
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PROJECT	PROPOSED DEVELOPMENT 16 OCEAN STREET, PORT MACQUARIE	DRAWING TITLE															
		GENERAL NOTES															
		<table><tr><td>SCALES</td><td>DESIGNED</td><td>DRAFTED</td></tr><tr><td>AS SHOWN</td><td>MD</td><td>SH</td></tr><tr><td>DRAWING NO.</td><td>APPROVED</td><td>REVISION</td></tr><tr><td>A8263 - COVER</td><td>JM</td><td>D</td></tr></table>				SCALES	DESIGNED	DRAFTED	AS SHOWN	MD	SH	DRAWING NO.	APPROVED	REVISION	A8263 - COVER	JM	D
		SCALES	DESIGNED	DRAFTED													
AS SHOWN	MD	SH															
DRAWING NO.	APPROVED	REVISION															
A8263 - COVER	JM	D															

ARCHITECT

LIQUID
DESIGN

11441 Chapel Hill Rd
Suite 117, North Hollywood, CA 91605, USA
T: +1 818 707 0000
F: +1 818 707 0000
A: 888 788 777 3670



DRAWING TITLE	
FIRST & SECOND FLOOR DRAINAGE PLAN	
SCALES	DRAFTED
AS SHOWN	SH
DRAWING NO.	REVISION
A8263 - SW03	D

PROJECT
PROPOSED DEVELOPMENT
16 OCEAN STREET, PORT
MACQUARIE

ARCHITECT

LIQUID
DESIGN

10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90212
T 310 277 1111 F 310 277 1112
E info@liquiddesign.com
W www.liquiddesign.com
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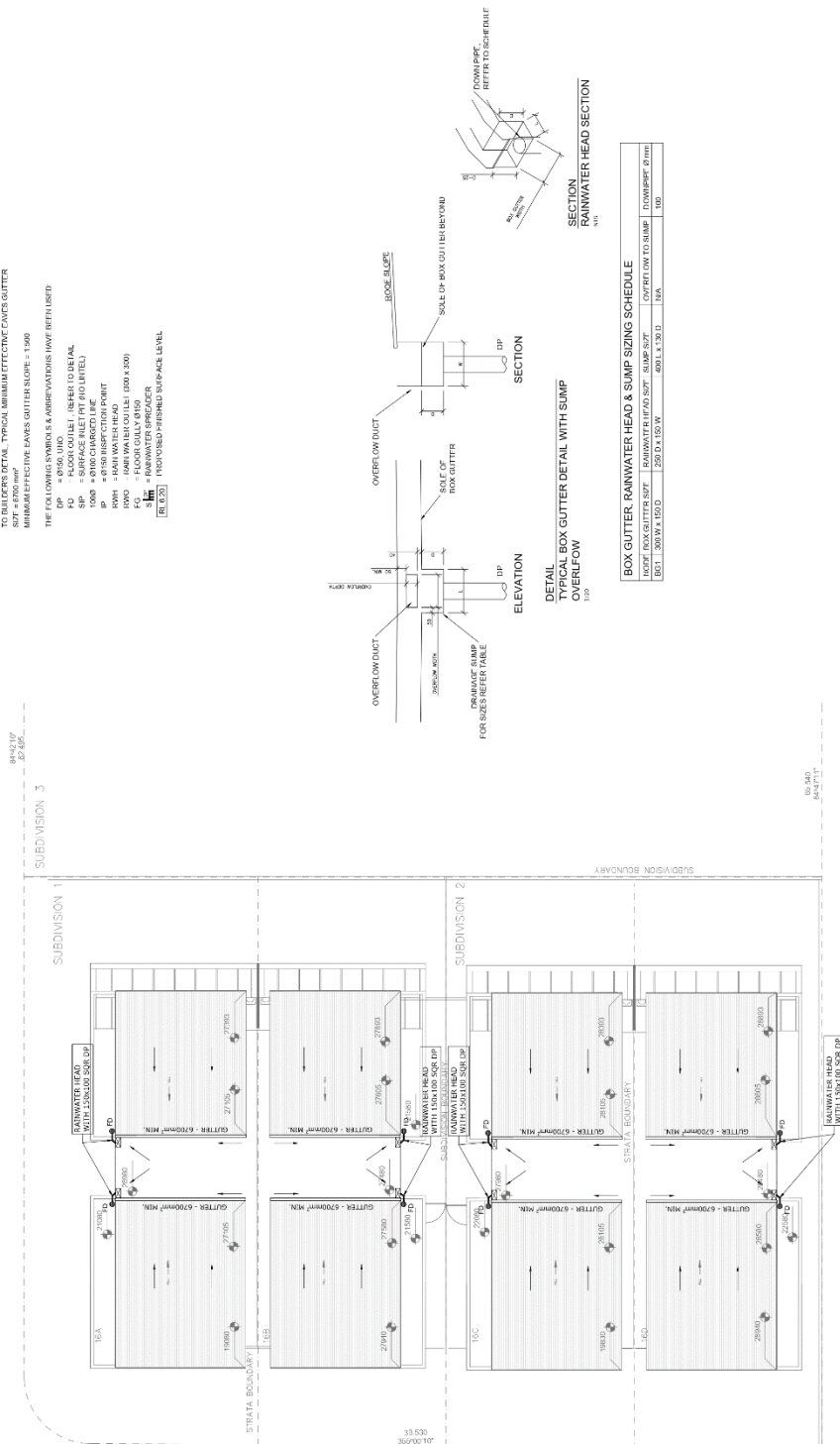
Phone: (02) 9745 5202
Fax: (02) 8004 7461
Email: info@alphaengineering.com.au
Address: 24A Bursfield St,
Burwood NSW 2134
Website: www.alphaengineering.com.au



ALPHA
ENGINEERING & DEVELOPMENT

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ROOF DRAINAGE PLAN

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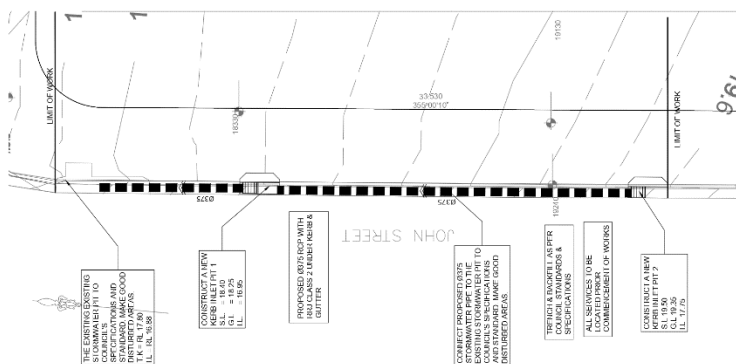
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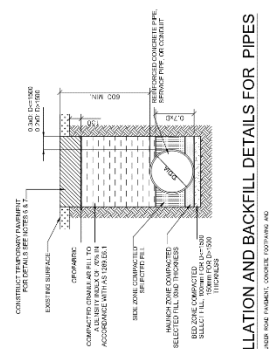
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PROPOSED PIPE LAYOUT PLAN
1:100



INSTALLATION AND BACKFILL DETAILS FOR PIPES

ASPH. ROAD PAVEMENT, CONCRETE FOOTPATH AND

ALPHA
ENGINEERING & DEVELOPMENT

Phone: (02) 9745 5202
Fax: (02) 8004 7461
Email: info@alphageng.com
Address: 24A Burleigh St.
Burwood NSW 2159
Website: www.alphageng.com

COMPETENCE: THE SHANNON/HEARN
CONSTRUCTION GROUP
ENGINEERING & DEVELOPMENT
AND THE BOUTAL GROUP

Phone: (02) 9745 5202
Fax: (02) 8004 7461
Email: info@alphaengineering.com.au
Address: 24A Burrell St,
Burwood NSW 2134
Website: www.alphaengineering.com.au

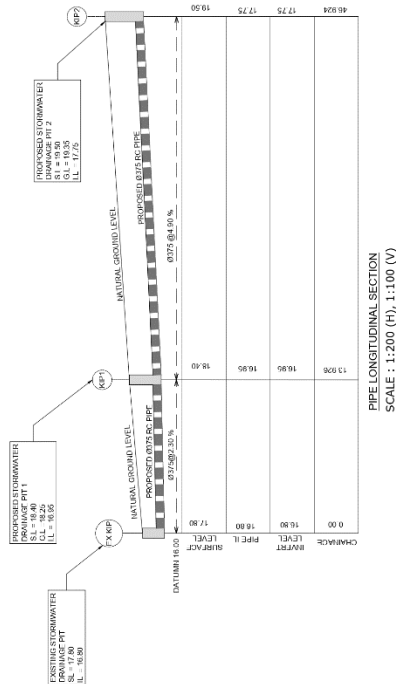
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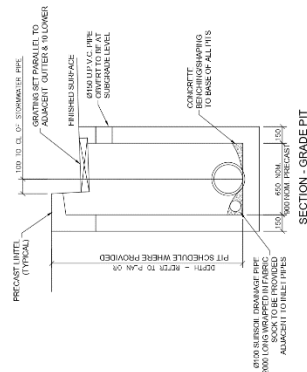
PROJECT
PROPOSED DEVELOPMENT
16 OCEAN STREET, PORT
MACQUARIE

DRAWING TITLE

DRAWING NO. A8263 - SW06	DESIGNED MD	DRAWN S
	APPROVED JM	REVIEWED D

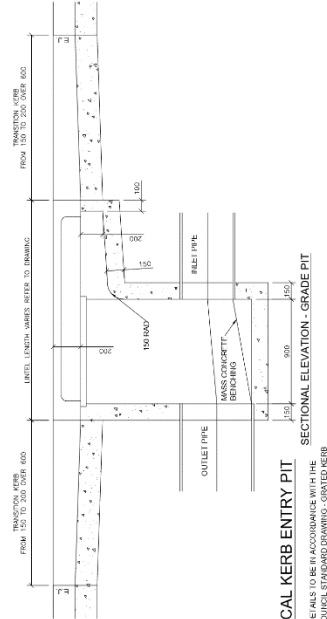


PIPE LONGITUDINAL SECTION
SCALE: 1:200 (H), 1:100 (V)



TYPICAL KERB ENTRY PIT

SECTIONAL ELEVATION - GRADE PIT



TYPICAL KERB ENTRY PIT

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ISSUE FOR DA

Developer Charges - Estimate

Applicants Name: All About Planning
 Property Address: 16 Ocean Street, Port Macquarie
 Lot & Dp: Lot(s): 100, DP(s): 1009007
 Development: Staged Torrens Title Subdivision and Multi Dwelling Housing with Strata Title Subdivision



Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000.
 Other contributions are levied under Section 7.11 of the Environmental Planning and Assessment Act and Council's Contribution Plans.

Levy Area	Units	Cost	Estimate
1 Water Supply	3	\$10,190.00 Per ET	\$30,570.00
2 Sewerage Scheme Port Macquarie	4	\$3,866.00 Per ET	\$15,464.00
3 Since 1.7.04 - Major Roads - Port Macquarie - Per ET	3.6	\$7,638.00 Per ET	\$27,496.80
4 Since 31.7.18 - Open Space - Port Macquarie - Per ET	3.6	\$5,628.00 Per ET	\$20,260.80
5 Commenced 3 April 2006 - Com, Cul and Em Services CP - Port Macquarie	3.6	\$4,621.00 Per ET	\$16,635.60
6 Com 1.3.07 - Administration Building - All areas	3.6	\$910.00 Per ET	\$3,276.00
7 N/A			
8 N/A			
9 N/A			
10 N/A			
11 N/A			
12 N/A			
13 N/A			
14 N/A			
15 Admin General Levy - Applicable to Consents approved after 11/2/03	2.2% S94 Contribution		\$1,488.70
16			
17			
18			
Total Amount of Estimate (Not for Payment Purposes)			\$115,191.90

NOTES: These contribution rates apply to new development and should be used as a guide only.
 Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).
 DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement.
 Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

2-Oct-2019

Estimate Prepared By Ben Roberts

This is an ESTIMATE ONLY - NOT for Payment Purposes

about Planning, 16 Ocean Street, Port Macquarie, 2-Oct-2019.xls

PORT MACQUARIE-HASTINGS COUNCIL

Arborist: Peter Berecny AQF 5 Diploma Arboriculture
Postal Address: 18 Lady Elliot Ct
Office Site: 18 Fernhill Road Port Macquarie NSW 2444
Phone: (02) 6581 1707
Mobile: 0418 683 555
Email: porttreefella@yahoo.com



ARBORIST REPORT

16 Ocean St Port Macquarie

Attached Dwellings Development Proposal

Liquid Design



Assessment Date: 7/2/2019

Tree Survey

		Koala Browse species	DBH	Height
1. Eucalyptus robusta	Swamp Mahogany	Yes- Primary	800mm	18m
2. Cinnamomum camphora	Camphor laurel	Weed species	400mm	10m
3. Melaleuca quinquenervia	Paperbark	Yes- Secondary	250mm	15m
4. Eucalyptus robusta	Swamp mahogany	Yes- Primary	300mm x 2 leaders	15m
5. Cinnamomum camphora x 4	Camphor laurel	Weed Species	200mm-350mm x 4	15m
6. Melaleuca quinquenervia	Paperbark	Yes- Secondary	550mm	15m
7. Melaleuca quinquenervia	Paperbark	Yes- Secondary	400mm	10m

Existing trees



Large Swamp mahogany .

TPZ and SRZ incursion with
proposed footpath and
driveways.

Tree Protection Zone 15
metres.

Structural Root Zone 3.17
metres.

Tree can not be retained with
proposed development.

Any Development on this
block will damage tree.

Remove and compensatory
replant.

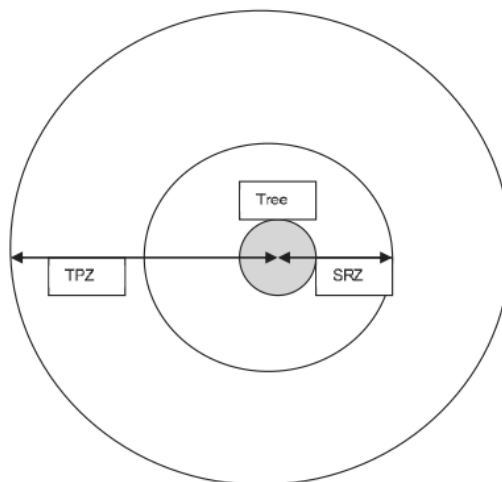
APPENDIX A

TPZ & SRZ Tree Protection during Earthworks & Construction AS4970-2009

Since August 2009, a new Australian Standard, *AS 4970-2009 Protection of trees on development sites*, has been approved and is now an important part of how trees are assessed in regard to proposed developments near existing trees. This standard requires (page 11, section 3).

That a **Tree Protection Zone (TPZ)** be established by applying a formula (p.12) to the trees Diameter @ Breast Height (DBH). There are numerous prohibited practises within the TPZ and protective fencing is to be erected prior to any construction work commencing (page 15 section 4). Fencing is to comply with AS 4687.

That a **Structural Root Zone (SRZ)** be established by measurement of the trees diameter at the base of the trunk just above any Buttress roots (page 12, section 3.3.5). *"The SRZ is the area required for tree stability. A larger area is required to maintain a viable tree. The SRZ only needs to be calculated when major encroachment into a TPZ is proposed"*.



The Australian Standard *AS 4970-2009 Protection of trees on development sites* on pages 21 to 23 sets out the role of the "Project Arborist" on development sites, this includes monitoring, supervising and issuing final Certification Certificates at the completion of tree works on development sites. Project Arborists are to have a minimum AQF Level 5 Diploma in Arboriculture qualification. The Project Arborist should be engaged prior to the start of any construction works for monitoring and certification (written statement of compliance) of the following stages;

- (1) Initial Tree pruning as per Arborist Report and Council conditions of consent
- (2) Establish / delineate TPZ of retained trees and confirm clearance
- (3) Inspect the TPZ Protective Fencing at installation and the removal at completion stage
- (4) Inspect all retained trees.
- (5) Issue Final Compliance Certificate

Disclaimer

This tree report has been compiled on the information gathered on the day of the tree inspections: 7/2/2019

This report is not a prediction of what will happen in the future. The information contained in the report is not to be used by a third party without the written consent of the author. This report has been prepared for the clients and may be submitted to Port Macquarie ~ Hastings Council for their consideration.

The author accepts no responsibility for any use of the contents of this report by third parties and further that not all defects and faults have been listed due to the factors of natural change in trees and adverse environmental factors such as extreme storms and windy weather. The author accepts no responsibility for damage caused by the trees in this report to persons or property now and in the future – trees are living organisms and change with time and environmental conditions.

While some faults may have been detected on site, it is not possible to detect all bio-mechanical structural faults, both internally and in the higher canopy of the tree, as well as the underground root system. Further, it is not known by the Author if any structural roots have been severed or cut previously, particularly for the installation of underground services such as electrical wiring, sewer pipe installation, stormwater pipe installation, drainage lines, underground water tanks, telephone lines & cables, underground gas lines, swimming pools and their associated pipe work and electrical installation, and for structural landscaping. Trees and their root systems can suffer a lot of damage yet it may not be visible to the naked eye.

Similarly, the detection of internal wood decay in the branches, trunks and roots is not visible to the naked eye at the time of inspection but requires the use of sophisticated technological equipment such as the 'Resistograph', the 'Picus Tomagraph' or the 'Tree Radar'. The use of these technical devices can be expensive and is usually only used where doubt exists to the soundness of a tree after all other methods have been exhausted. None of these devices have been used in this report.

Declaration

It is hereby stated that I, Peter Berecny, Author of this report, am a practising AQF Level 5 Arboricultural Consultant and that I have read and agree to be bound by the *Expert Witness 'Code of Conduct'* as set out in the *Uniform Civil Procedure Rules 2005 ~ Schedule 7* and further...

1. That I have no personal interest in the trees or property contained in this report.
2. That I am independent and have no bias for any of the parties involved including the Clients.
3. That my remuneration for compiling the report is not contingent upon a predetermined favourable outcome for any parties involved including the Clients.
4. I have included all relevant information available to me and have not withheld any significant information that may be useful in determining an outcome.
5. That the facts presented in this report are true to the best of my personal knowledge and that the recommendations expressed are also truly held by me.
6. That I have complied with the professional requirements and codes of practice of my industry and that I have attained Tree Risk Assessor Qualification through the *International Society of Arboriculture* (ISA) and am a professional member of *Arboriculture Australia* (AA).

PORT TREE FELLA

Peter Berecny

Owner / Manager

AQF 5 Diploma Arboriculture

AQF 5 Adv. Dip. Horticulture (Landscape)

AQF 3 Certificate Horticulture

ISA Qualified Tree Risk Hazard Assessor

Member International Society of Arboriculture (ISA) and Arboriculture Australia (AA)



Postal Address: 18 Lady Elliot Court Port Macquarie NSW 2444
Office Site: 18 Fernhill Road Port Macquarie NSW 2444
Phone: (02) 65 81 1707
Mobile Phone: 0418 683 555
Email Address: porttreefella@yahoo.com
ABN: 98 600 211 345

INSURANCES

Professional indemnity Insurance: \$5,000,000 - QBE Insurance

Public Liability Insurance: \$20 million - QBE Insurance

Workers Compensation - QBE Insurance

Item: 06

**Subject: DA2019-254.1 INDUSTRIAL BUILDING AND CARETAKER'S
RESIDENCE - LOT 2 DP 1084479, NO. 3 PRODUCTION DRIVE,
WAUCHOPE.**

Report Author: Development Assessment Planner, Beau Spry

Applicant: Mark Donney C/- Collins W Collins Pty Ltd
Owner: Mark Donney
Estimated Cost: \$430,000
Parcel no: 47840

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA2019 - 254.1 for an Industrial building and caretaker's residence at Lot 2 DP 1084479 No. 3 Production Drive, Wauchope, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for an industrial building and caretaker's residence at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, one (1) submission has been received.

The proposal has been amended during the assessment of application.

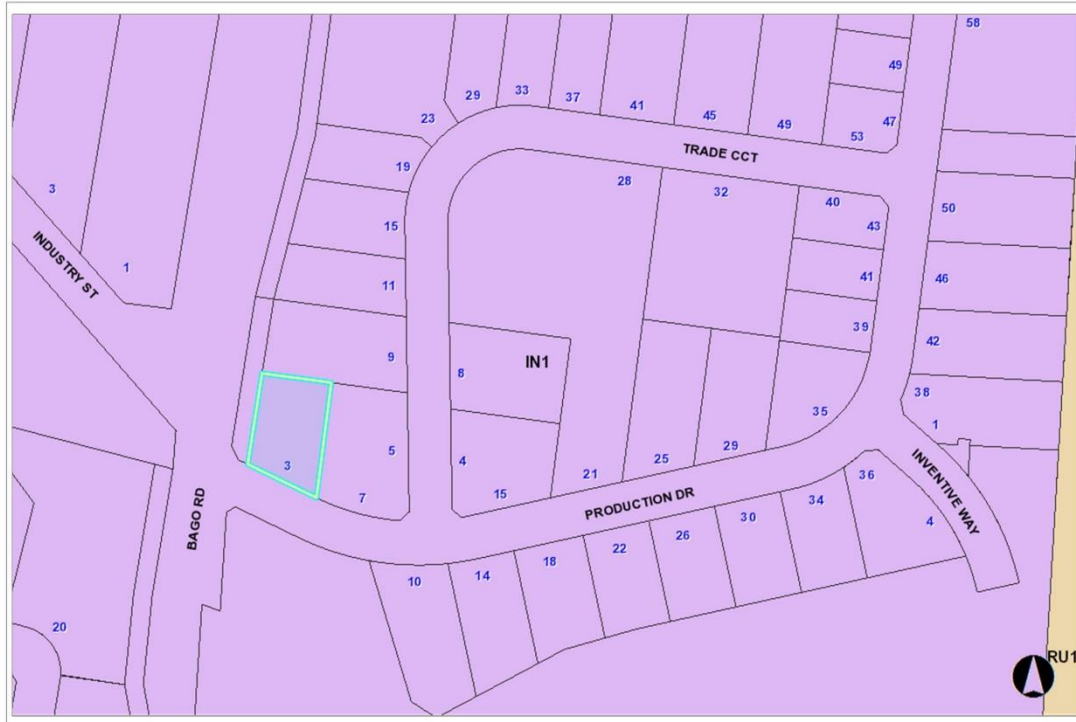
This report recommends that the subject development application be approved subject to the conditions included at Attachment 1.

1. BACKGROUND

Existing Sites Features and Surrounding Development

The site has an area of 2088.123m².

The site is zoned IN1 General Industrial in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The industrial estate precinct comprises of a mix of large and small scale sheds of both single and two storeys.

The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:



2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Industrial building for the manufacture of pre-fabricated structures (i.e. barn-style dwellings) and sheds;
- Open storage areas to accommodate storage containers for the purpose of storing materials to be used for the pre-fabricated structures;
- Caretaker's residence for on-site manager;
- Caretaker's residence incorporates an office and showroom for display purposes only.

Refer to attachments at the end of this report for further details

Application Chronology

- 10 April 2019 - Application lodged
- 11 April 2019 - Application notified
- 29 April 2019 - Submission received
- 14 May 2019 - Site inspection
- 29 May - 13 September - Further information requested and submitted

3. STATUTORY ASSESSMENT**Section 4.15(1) Matters for Consideration**

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) **The provisions (where applicable) of:**
(i) **Any Environmental Planning Instrument**

State Environmental Planning Policy No. 33 - Hazardous and Offensive Development

The subject SEPP was introduced to clarify the definitions for hazardous and offensive industries and to apply guidelines for the assessment of industries that have the potential to create hazards or an offence. In this case, the use of the site is nominated as predominately storage and supply of pre-fabricated barn-style dwellings with an ancillary caretaker's residence dwelling. Given the nature of the proposal it is unlikely that the proposal will create any hazard or offence. The development can be assessed as submitted rather than as a hazardous or offensive industry.

State Environmental Planning Policy No. 44 - Koala Habitat Protection

There is no Koala Plan of Management on the site. Additionally, the site is less than 1ha in area therefore no further investigations are required. The application has demonstrated that no habitat will be removed or modified therefore no further investigations are required.

State Environmental Planning Policy No. 55 – Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

State Environmental Planning Policy No. 62 – Sustainable Aquaculture

Given the nature of the proposed development and proposed stormwater controls, the proposal will be unlikely to have any adverse impact on existing aquaculture industries.

State Environmental Planning Policy (Coastal Management) 2018

The site is not located within a coastal use area or coastal environment area.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate (995669S_02) has been submitted demonstrating that the caretaker's residence proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

State Environmental Planning Policy (Infrastructure) 2007

The proposed development does not trigger any relevant clauses in relation to roads in the SEPP and is unlikely to create any conflict in terms of traffic or noise.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2, the subject site is zoned IN1 General Industrial.
- Clause 2.3(1) and the IN1 zone landuse table - The proposed development for storage and supply of pre-fabricated barn-style dwellings with an ancillary managers residence dwelling is a permissible landuse with consent. While dwellings are normally prohibited, it is considered that dwelling acts as a site office and display example of the product. These reasons coupled with conditions ensures the managers residence will remain ancillary/subordinate use is permissible.
- The objectives of the IN1 zone are as follows:
 - To provide a wide range of industrial and warehouse land uses.
 - To encourage employment opportunities.
 - To minimise any adverse effect of industry on other land uses.
 - To support and protect industrial land for industrial uses.
 - To enable other land uses that provide facilities or services to meet the day-to-day needs of workers in the area.
- Clause 2.3(2) - The proposal is consistent with the zone objectives having regard to the following:
 - The proposal is a permissible landuse;
 - The development is for an industrial use on industrial land;

- The development would encourage employment opportunities;
- The proposal has demonstrated that impacts on other land uses can be satisfactorily managed.
- Clause 4.3 and 4.4 - There is no maximum height or floor space ratio applicable to the site.
- Clause 5.9 - No significant trees listed in Development Control Plan 2013 are proposed to be removed. In addition, site as permitted to be cleared under the subdivision that creates the property.
- Clause 5.10 - The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.13 - Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.

(ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply to the site.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

DCP 2013: Chapter 3.5 - Industrial Development			
DCP Objective	Development Provisions	Proposed	Complies
3.5.3.1	Minimum setbacks are provided as follows: <ul style="list-style-type: none"> • 10m from a classified road; • 7.6m from any other road boundary; • 3m from any secondary road frontage. 	Minimum setback of 35m to Production Drive from industrial shed component. Minimum setback of 17.3m to Production Drive from managers residence component.	Yes
3.5.3.2	Elevations of building which are visible from a public road, reserve or adjacent or adjoining residential areas are to be constructed using: <ul style="list-style-type: none"> • brick, masonry, pre-coloured metal cladding, or • appropriately finished 'tilt-slab' concrete; or • a combination of a number of these materials. 	Pre-coloured metal cladding.	Yes
	Large unrelieved expanses of wall or building mass are not favoured, and as such	Front elevation broken up with door openings and provided with some articulation with managers residence to the	Yes

	should be broken up by the use of suitable building articulation, fenestration or alternative architectural enhancements.	front with balcony.	
3.5.3.3	Material storage/work areas and volumes to be provided with application.	Storage and work areas have been shown. The proposed open storage areas will accommodate storage containers for the purpose of storing materials to be used for the pre-fabricated structures. No work areas are proposed.	Yes
	Open work and storage areas to be located at rear of premises and screen from view by landscaping and/or fencing minimum 2m high.	The proposed development is to be used primarily for the manufacture of pre-fabricated structures (i.e. barn-style dwellings) and sheds. The proposed open storage areas will accommodate storage containers for the purpose of storing materials to be used for the pre-fabricated structures as well as providing open storage area for machinery and vehicles It should be noted that a number of other proposals in the subdivision have some sort of storage to the front. In addition, the development is proposed to be fenced and landscaped along the front boundary.	No but acceptable.
3.5.3.4	Detailed landscaping plan submitted.	Concept landscaping plan submitted.	Yes
	Landscaped strip 3m wide for 2/3 of each road frontage.	3m wide landscaping strip to production Drive boundary. Being first lot in subdivision from the entrance, and also proposing open space to the front, further landscaping has been included.	Yes
	No fencing in front setback unless for display items. High quality fencing and landscaping.	No fence proposed in front setback. 1.8m high metal mesh fence proposed for front boundary.	Yes
3.5.3.5	An onsite recreation area	Outdoor staff recreational area	Yes

	<p>is provided for staff that:</p> <ul style="list-style-type: none"> Includes seating, tables and rubbish bin. If outside, is adequately protected from the weather Is safely accessible to all staff. Is separate private from public areas. Is located away from noisy or odorous activities. 	<p>indicated.</p> <p>There are also facilities located in the ancillary office available for staff use.</p>	
3.5.3.6	Provide onsite facilities for changing, showering and secure bike storage.	<p>2x toilet/change room facilities provided in the industrial component.</p> <p>The manager's residence will also provide for changing/showering facilities.</p>	Yes
3.5.3.7	Development complies with NSW Industrial Noise Policy.	Capable of complying. The site is within an established industrial context and separated from the nearest residential uses by approx. 500m. Condition recommended restricting noise generation.	Yes
	Building openings located to minimise noise impacts if within 400m of residential zone.	Building openings oriented towards adjoining industrial activities.	Yes
	External plant such as generators, air conditioning plant and the like, should be enclosed to minimise noise nuisance and located away from residences.	None proposed.	n/a
	External and security lighting should be directed and shielded to avoid light spillage to adjoining residential areas.	No lighting proposed that is directed at residential receivers. This is recommended to be reinforced via conditions.	n/a
	Driveways should be arranged or screened to avoid headlight glare on residential windows.	Properties opposite the driveway are industrial uses and would not be impacted by headlight glare.	Yes
3.5.3.8	Office space ancillary to the industrial use is permissible with consent,	The caretaker's residence incorporates an office and showroom for display	Yes

	<p>subject to satisfaction of the following matters:</p> <ul style="list-style-type: none"> • That the office component of a proposed development is ancillary to the functions carried out in the factory, warehouse or other industrial use. • That the office area is not leased to a separate company or entity. • That parking facilities are adequate to cater for the size of the office development. 	<p>purposes only to promote the pre-fabricated structures/sheds. The proposal does not include any retailing. The proposed caretaker's residence, office and showroom are ancillary uses to the primary industrial use and are not proposed to be separately leased. Conditions are recommended to reinforce that it is not to be used as a separate business.</p> <p>Parking calculations for the development have accounted for the ancillary components.</p>	
3.5.3.9	The site should be serviced by reticulated water (and dual reticulation where this is available), sewer and telecommunications.	Yes	Yes
3.5.3.10	Garbage storage areas are not visible from a public place.	Garbage is capable of being stored out of public view. Condition recommended confirming this requirement.	Yes
3.5.3.11	Stormwater management strategy prepared.	Conditions recommended to be imposed to address stormwater management.	
	Rainwater tank and dual reticulation for non-potable uses on the site.	Rainwater tank proposed. Dual reticulation not available to the site.	Yes

DCP 2013: General Provisions

DCP Objective	Development Provisions	Proposed	Complies
2.7.2.2	<p>Design addresses generic principles of Crime Prevention Through Environmental Design guideline:</p> <ul style="list-style-type: none"> • Casual surveillance and sightlines • Land use mix and activity generators • Definition of use and ownership • Lighting • Way finding • Predictable routes and entrapment locations 	The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The caretaker's residence provides supervision and casual surveillance of the site.	Yes
2.3.3.1	Cut and fill 1.0m max.	Cut of up to 2m proposed more	No, but

	1m outside the perimeter of the external building walls	than 1m outside the external wall. Considered acceptable having regard to the scale of the building. Conditions recommended requiring engineering certification of the proposed retaining wall and detailed design of stormwater drainage.	acceptable Variation sought below.
2.3.3.2	1m max. height retaining walls along road frontages	None proposed.	Yes
	Any retaining wall >1.0 in height to be certified by structural engineer	Max retaining proposed 2.0m adjacent the northern boundary. Condition recommended confirming this requirement.	Yes
2.3.3.8 onwards	Removal of hollow bearing trees	None proposed to be removed.	Yes
2.6.3.1	Tree removal (3m or higher with 100mm diameter trunk and 3m outside dwelling footprint	No trees proposed to be removed.	n/a
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.	
2.5.3.2	New accesses not permitted from arterial or distributor roads. Existing accesses rationalised or removed where practical	Access to Production Drive.	Yes
	Driveway crossing/s minimal in number and width including maximising street parking.	Single crossing of acceptable width.	Yes
2.5.3.3	Off-street parking in accordance with Table 2.5.1. Industry: 1 space per 70m ² gross floor area Office: 1 space per 30m ² Storage: 1 space per 100m ² Reduction possible if	Proposal includes: Industrial workspace: 478m ² GFA. Storage: 444m ² GFA. Showroom: 1 Managers Residence: 1 Therefore, parking requirements are: Industrial workspace: - 6.8 (7) Storage: - 4.4 (5) Showroom: - 1.0 Managers Residence: - 1.0 Total Required: - 14 spaces	Yes

	supported by parking demand study.	The overall parking demand of the development is therefore 14 spaces. The submitted plan identifies 14 parking spaces, including a shared space, and complies with the minimum requirement.	
2.5.3.7	Customer parking to be easily accessible.	Parking at front of the site and easily accessible.	Yes
	Parking in accordance with AS 2890.1.	Capable of complying. Certification of compliance required prior to Construction Certificate and Occupation Certificate.	Yes
2.5.3.8	Aged and disabled persons and persons wheeling prams or trolleys are provided with suitable access and parking in accordance with AS 2890.1 and AS 2890.2.	One accessible parking space proposed.	Yes
2.5.3.9	Bicycle and motorcycle parking considered and designed generally in accordance with the principles of AS 2890.3	Motorcycles can utilise car spaces and area exists onsite to cater for informal bicycle spaces.	Yes
2.5.3.10	Parking concessions possible for conservation of heritage items	No heritage exists onsite.	Yes
2.5.3.11	Section 94 contributions	Refer to main body of report.	
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Appropriate perimeter landscaping proposed.	Yes
2.5.3.14	Sealed driveway surfaces unless justified	Condition recommended confirming requirement for sealed surface.	Yes
2.5.3.15	Driveway grades for first 6m of 'parking area' shall be 5% grade (Note AS/NZS 2890.1 permits steeper grades)	Capable of complying. Details to be submitted with CC/S138 applications.	Yes
2.5.3.16	Transitional grades min. 2m length	Capable of complying. Details to be submitted with CC/S138 applications.	Yes
2.5.3.17	Parking areas to be designed to avoid concentrations of water runoff on the surface.	Stormwater management plan to be submitted prior to the issue of a Construction Certificate.	Yes
	No direct discharge to K&G or swale drain	Development required to be connected to the piped drainage in Production Place. Stormwater management plan to be	Yes

		submitted prior to the issue of a Construction Certificate.	
2.5.3.19	Off street commercial vehicles facilities are provided in accordance with AS/NZS 2890.2	Capable of complying.	Yes
	<p>Loading bays will be provided in accordance with the following requirements;</p> <ul style="list-style-type: none"> • Minimum dimensions to be 3.5m wide x 6m long. (This may increase according to the size and type of vehicle). • Vertical clearance shall be a minimum of 5m. • Adequate provision shall be made on-site for the loading, unloading and manoeuvring of delivery vehicles in an area separate from any customer car parking area. • A limited number of 'employee only' car parking spaces may be combined with loading facilities. • Loading areas shall be designed to accommodate appropriate turning paths for the maximum design vehicle using the site. • Vehicles are to be capable of manoeuvring in and out of docks without causing conflict with other street or on-site traffic. • Vehicles are to stand wholly within the site during such operations. 	<p>73m² loading bay proposed, approximately 16m x 6m.</p> <p>The submitted plans demonstrate that delivery vehicles are able to manoeuvre within the site and exit driving forwards.</p>	Yes
	Other commercial development shall provide one loading bay	One loading bay proposed.	Yes

	for the first 1,000m ² floor space and one additional bay for each additional 2,000m ² .		
2.5.3.20	The location and design of loading bays should integrate into the overall design of the building and car parking areas.	Satisfactory integration.	Yes
	Where visible from the public domain, loading bays are located behind the building.	Loading bay will be visible from the public road, but is enclosed with a roller door. Landscaping in the site frontage would also screen the loading area to some extent. Considered acceptable.	Yes
2.5.3.21	Plans to confirm vehicular access, circulation and manoeuvring in accordance with AUSTROADS and AS 2890.	Submitted plans demonstrate that satisfactory circulation and manoeuvring areas are available.	Yes
	Adequate area provided for loading/unloading and manoeuvring of B-Doubles where access is available from approved B-Double routes.	B-Double access not proposed. Proposal is for 1 industrial shed, and it is unlikely that B-doubles will utilise the site.	n/a
	Ingress and egress in a forward direction.	Site allows ingress and egress of vehicles in a forward direction.	Yes
	Driveways >6m from tangent point of kerb radius and >1.5m from common side boundary with another lot.	Driveway design acceptable.	Yes
	Driveways not located within intersection or restricted areas, and adequate sight distance available.	Driveway location acceptable.	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development

	Requirements	Proposed	Complies
3.2.2.2	Front setback (Residential not R5 zone): <ul style="list-style-type: none"> • Min. 6.0m classified road • Min. 4.5m local road or within 20% of adjoining 	Minimum 17.3m front setback to caretaker's residence.	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development

	Requirements	Proposed	Complies
	dwelling if on corner lot <ul style="list-style-type: none"> Min. 3.0m secondary road Min. 2.0m Laneway		
3.2.2.5	Side setbacks: <ul style="list-style-type: none"> Ground floor = min. 0.9m First floors & above = min. 3m setback or where it can be demonstrated that overshadowing not adverse = 0.9m min. Building wall set in and out every 12m by 0.5m 	First floor setback minimum 3m.	Yes
3.2.2.6	35m ² min. private open space area including a useable 4x4m min. area which has 5% max. Grade and directly accessible from ground floor living area.	Proposed caretaker's residence is located at ground floor level and has a private open space of approximately 37m ² and is therefore considered acceptable for the proposed use. The on-site manager to provide 24/7 surveillance of the open storage area and premises generally. It should be noted that the office/managers residence is considered ancillary to the primary use of the site.	Yes
3.2.2.10	Privacy: <ul style="list-style-type: none"> Direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent dwellings. ie. 1.8m fence or privacy screening which has 25% max. openings and is permanently fixed Privacy screen required if floor level > 1m 	Privacy adequately addressed through building design and separation. Primary living spaces located on the ground floor, with site boundaries fenced at 1.8m high and site landscaping proposed.	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development

	Requirements	Proposed	Complies
	height, window side/rear setback (other than bedroom) is less than 3m and sill height less than 1.5m • Privacy screens provided to balconies/verandahs etc. which have <3m side/rear setback and floor level height >1m		

The proposal seeks to vary Development Provision Clause 2.3.3.1 relating to maximum recommended cut levels outside the building.

The relevant objectives are: To ensure that design of any building or structure integrates with the topography of the land to:

- *Minimise the extent of site disturbance caused by excessive cut and fill to the site.*
- *Ensure there is no damage or instability to adjoining properties caused by excavation or filling.*
- *Ensure that there is no adverse alteration to the drainage of adjoining properties.*
- *Ensure the privacy of adjoining dwellings and private open space are protected.*
- *Ensure that adequate stormwater drainage is provided around the perimeter of buildings and that overflow paths are provided.*

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The subject site has an approximate 3.5m fall from north to south. The proposed cut is required to achieve compliant grades for vehicle access and car parking.
- The proposal includes the construction of a retaining wall of varying heights with the maximum height being 2.0m adjacent the northern boundary. This has been reviewed by Council's engineering staff and conditioned for engineering certification taking note of any potential risk to neighbouring properties.
- The proposal incorporates stormwater drainage measures via a stormwater drainage plan which has been reviewed by Council's Engineering staff and conditions recommended accordingly.

Based on the above assessment, the variations proposed to the provisions of the DCP are considered acceptable and the relevant objectives have been satisfied. Cumulatively, the variations do not amount to an adverse impact or a significance that would warrant refusal of the application.

- (iiiia) **Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4**

No planning agreement has been offered or entered into relating to the site.

iv) Any matters prescribed by the Regulations

None prescribed.

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

Context and Setting

The site has a general easterly street frontage orientation to Production Drive. The site is located within an industrial area that will eventually be surrounded by similar industrial uses and adjoining the site to the north, east, south and west are further IN1 General Industrial zoned premises of a similar building type.

- The proposal will be unlikely to have any adverse impacts to existing adjoining properties and satisfactorily addresses the public domain.
- The proposal does not have a significant adverse impact on existing view sharing.
- The proposal does not have significant adverse lighting impacts.
- There are no significant adverse privacy impacts. Adequate building separation and tenancy is existing.

Roads, Traffic and Transport

The proposal has frontage to Production Drive. Production Drive is a sealed public local road under the care and control of Council. The proposal will be unlikely to have any adverse impacts within the immediate locality in terms access, transport and traffic. The existing road network will satisfactorily cater for any potential increase in traffic generation as a result of the development.

Vehicle access to Lot 2 is proposed via a driveway location fronting Production Drive.

Parking and Manoeuvring

A total of 14 parking spaces have been provided on-site. Parking and driveway widths on site can comply with relevant Australian Standards (AS 2890) and conditions have been imposed to reflect these requirements.

Due to the type of development, car park circulation is required to enable vehicles to enter and exit the site in a forward manner. Site plans show adequate area is available and conditions have been recommended to reflect these requirements. Refer to relevant recommended conditions of consent.

Water Supply Connection

Council records indicate that the development site has an existing sealed water service from the 150 DICL water main on the same side of Bago Road. Each proposed unit requires an individual metered water service. Final water service sizing will need to be determined by a hydraulic consultant to suit the domestic and commercial components of the development, as well as fire service and backflow protection requirements in accordance with AS3500.

Detailed plans will be required to be submitted for assessment with the S.68 application. Refer to relevant recommended conditions of consent.

Sewer Connection

Council records indicate that the development site is connected to sewer via junction to the existing sewer line that runs along the southern property boundary. The site may discharge all sewage to this existing point of connection. Details are to be shown on the engineering plans.

Detailed plans will be required to be submitted for assessment with the S.68 application. Refer to relevant recommended conditions of consent.

Stormwater

The site naturally grades towards the Production Drive street frontage and is currently un-serviced. Along the street frontage within the road reserve there is the existing public piped system.

The legal point of discharge for the proposed development is defined as a direct connection to Council's stormwater pipeline within Production Drive.

A detailed site stormwater management plan will be required to be submitted for assessment with the S.68 application and prior to the issue of a CC.

In accordance with Council's AUSPEC requirements, the following must be incorporated into the stormwater drainage plan:

- The design is to make provision for the natural flow of stormwater runoff from uphill/upstream properties and lands. The design must include the collection of such waters and discharge to the Council's drainage system.
- Connection into the existing kerb inlet pit is to be at an angle greater than 45 degrees from the existing pipeline alignment, if this cannot be achieved an extension of the existing system will be required to allow suitable connection of the development site to the piped public system.

Refer to relevant recommended conditions of consent.

Other Utilities

Telecommunication and electricity services are available to the site.

Heritage

Following a site inspection and a search of Council records, no known items of Aboriginal or European heritage significance exist on the property. No adverse impacts anticipated.

Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will be unlikely to have any adverse impacts on water resources and the water cycle.

Soils

The proposed development will be unlikely to have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

Air and microclimate

The construction and/or operations of the proposed development will be unlikely to result in any adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.

Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX or Section J of the Building Code of Australia. No adverse impacts anticipated.

Noise and vibration

No adverse impacts anticipated. Condition recommended to restrict construction to standard construction hours.

Bushfire

The site is identified as being bushfire prone.

The Applicant has submitted a bushfire BAL certificate for the caretaker's dwelling prepared by a Certified Consultant.

An assessment of bushfire risk having regard to section 4.3.5 of Planning for Bushfire Protection 2006 including vegetation classification and slope concludes that a Bushfire Attack Level 19 shall be required.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The increase in housing density will improve natural surveillance within the locality and openings from each dwelling overlook common and private areas.

Social impacts in the locality

Given the nature of the proposed development and its' location the proposal is unlikely to result in any adverse social impacts.

Economic impact in the locality

No adverse impacts. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

Construction

No potential adverse impacts identified to neighbouring properties with the construction of the proposal.

Cumulative Impacts

The proposed development is not expected to have any adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposed development is not expected to have any adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(d) Any submissions made in accordance with this Act or the Regulations

One (1) written submission has been received following public exhibition of the application.

Key issues raised in the submission and comments in response to these issues are provided as follows:

Submission Issue/Summary	Planning Comment/Response
Adjacent property zone of influence and impacts of proposed works on neighbouring properties.	<p>Council's engineers have reviewed the proposal and have addressed the concerns through conditions.</p> <p>Condition B3 requires detailed plans for retaining walls to be submitted prior to issue of Construction Certificate.</p> <p>Condition B39 regards earthworks and requires detailed drawings and specifications to be prepared by a professional engineer prior to issue of Construction Certificate.</p> <p>Condition D11 requires earthworks to be supported during construction.</p>
Impacts of stormwater from upstream properties.	<p>A detailed site stormwater management plan will be required to be submitted for assessment with the S.68 application and prior to the issue of a Construction Certificate.</p> <p>Condition B072 regards stormwater and requires detail design to be submitted and approved by Council prior to the issue of Construction Certificate.</p> <p>This condition also references the need for approved provisions for collection and discharge of natural flow of stormwater runoff from uphill/upstream properties/lands.</p>

(e) The Public Interest

The proposed development satisfies relevant planning controls including justified variations and will not adversely impact on the wider public interest.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- Development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- Development contributions will be required under Section 7.12 of the Environmental Planning and Assessment Act 1979.

5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

Attachments

- 1 [View](#). DA2019 - 254.1 Recommended conditions
- 2 [View](#). DA2019 - 254.1 Plans
- 3 [View](#). DA2019 - 254 - Contributions estimate

**FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF
PROPOSED CONDITIONS - 2011****NOTE: THESE ARE DRAFT ONLY****DA NO: 2019/254****DATE: 27/08/2019****PRESCRIBED CONDITIONS**

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

A – GENERAL MATTERS

- (1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Plans	D4190, Revision M, Sheets 1-14	Collins W Collins	29 August 2019
BASIX	995669S_02	Collins W Collins	2 April 2019
Bushfire Certificate	Lot 2 DP 1084479, 3 Production Drive Wauchope NSW	Krisann Johnson BPD-PD-18578	15 February 2019
SoEE	Lot 2 DP 1084479, 3 Production Drive Wauchope NSW	Collins W Collins	March 2019

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
- the appointment of a Principal Certifying Authority; and
 - the date on which work will commence.
- Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.
- (3) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
- (4) (A009) The development site is to be managed for the entirety of work in the following manner:
- Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 - Appropriate dust control measures;
 - Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work

adjoins the public domain, fencing is to be in place so as to prevent public access to the site;

4. Building waste is to be managed via appropriate receptacles into separate waste streams;
5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
6. Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

- (5) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (6) (A032) The developer is responsible for any costs relating to minor alterations and extensions to ensure satisfactory transitions of existing roads, drainage and Council services for the purposes of the development.
- (7) (A033) The applicant shall provide security to the Council for the payment of the cost of the following:
 - a. making good any damage caused to any property of the Council as a consequence of doing anything to which the consent relates,
 - b. completing any public work (such as road work, kerbing and guttering, footway construction, utility services, stormwater drainage and environmental controls) required in connection with the consent,
 - c. remedying any defects in any such public work that arise within twelve (12) months after the work is completed.

Such security is to be provided to Council prior to the issue of the Subdivision Certificate/Construction Certificate or Section 138 of the Roads Act, 1993.

The security is to be for such reasonable amount as is determined by the consent authority, being an amount that is 10% of the contracted works for Torrens Title subdivision development/the estimated cost plus 30% for building development of public works or \$5000, whichever is the greater of carrying out the development by way of:

- i. deposit with the Council, or
- ii. an unconditional bank guarantee in favour of the Council.

The security may be used to meet any costs referred to above and on application being made to the Council by the person who provided the security any balance remaining is to be refunded to, or at the direction of, that person. Should Council have to call up the bond and the repair costs exceed the bond amount, a separate invoice will be issued. If no application is made to the Council for a refund of any balance remaining of the security within 6 years after the work to which the security relates has been completed the Council may pay the balance to the Chief Commissioner of State Revenue under the Unclaimed Money Act 1995.

- (8) (A057) The applicant is to ensure the proposed development will drain to the existing point of connection to Council's sewerage system.
- (9) Strata subdivision is not approved as part of this consent.

B – PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
- Position and depth of the sewer (including junction)
 - Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location
- (2) (B003) Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
1. Sewerage reticulation.
 2. Water supply plans shall include hydraulic plans for internal water supply services and associated works in accordance with AS 3500, Plumbing Code of Australia and Port Macquarie-Hastings Council Policies.
 3. Retaining walls.
 4. Stormwater systems.
 5. Erosion & Sedimentation controls.
 6. Location of all existing and proposed utility services including:
 - a. Conduits for electricity supply and communication services (including fibre optic cable).
 - b. Water supply
 - c. Sewerage
 7. Detailed driveway profile in accordance with Australian Standard 2890, AUSPEC D1, and ASD 202 & ASD 207, Port Macquarie-Hastings Council current version.
- (4) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.
- Such works include, but not be limited to:
- Civil works
 - Traffic management
 - Work zone areas
 - Hoardings
 - Concrete foot paving (width)
 - Footway and gutter crossing
 - Functional vehicular access
- Where works are proposed on an RMS classified facility, the Road Authority shall obtain RMS concurrence prior to any approval.
- (5) (B010) Payment to Council, prior to the issue of the Construction Certificate of the Section 7.11 contributions set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental

Planning and Assessment Act 1979 as amended, and in accordance with the provisions of the following plans:

- Port Macquarie-Hastings Administration Building Contributions Plan 2007
- Hastings S94 Administration Levy Contributions Plan
- Port Macquarie-Hastings Open Space Contributions Plan 2018
- Hastings S94 Major Roads Contributions Plan
- Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005

The plans may be viewed during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.

- (6) (B011) As part of Notice of Requirements by Port Macquarie-Hastings Council as the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution, prior to the issue of a Construction Certificate, of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with the provisions of the relevant Section 64 Development Servicing Plan towards the following:
- augmentation of the town water supply headworks
 - augmentation of the town sewerage system headworks
- (7) (B024) Submission to Council of an application for water meter hire, which is to be referred to the Water Supply section so that a quotation for the installation can be prepared and paid for prior to the issue of a Construction Certificate. This application is also to include an application for the disconnection of any existing service not required.
- (8) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.
- (9) (B039) Detailed drawings and specifications prepared by a professional engineer for all retaining walls supporting:
- i. earthworks that are more than 600mm above or below ground level (existing); or
 - ii. located within 1m of the property boundaries; or
 - iii. earthworks that are more than 1m above or below ground level (existing) in any other location;

are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.

- (10) (B046) The caretaker's dwelling building shall be designed and constructed so as to comply with the Bush Fire Attack (BAL) 19 requirements of Australian Standard 3959 and the specifications and requirements of Planning for Bush Fire Protection. Details shall be submitted to the Principal Certifying Authority with the application for Construction Certificate demonstrating compliance with this requirement.

Please note: Compliance with the requirements of Planning for Bush Fire Protection 2006 to prevail in the extent of any inconsistency with the Building Code of Australia.

- (11) (B042) A certificate from an approved practising chartered professional civil and/or structural engineer certifying the structural adequacy of the proposed retaining walls is to be submitted to Port Macquarie-Hastings Council prior to the release of the Construction Certificate.
- (12) (B072) A stormwater drainage design is to be submitted and approved by Council prior to the issue of a Construction Certificate. The design must be prepared in accordance with Council's AUSPEC Specifications and the requirements of Relevant Australian Standards and make provision for the following:
- a) The legal point of discharge for the proposed development is defined as Council's piped drainage system.
 - b) The design is to be generally in accordance with the stormwater drainage concept plan on Drawing No 4358.02A prepared by Roger G Veness and dated 24-04-2019.
 - c) All allotments must be provided with a direct point of connection to the public piped drainage system. Kerb outlets are not permitted.
 - d) The design is to make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands. The design must include the collection of such waters and discharge to the Council drainage system.
 - e) An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets.
 - f) Stormwater connection into existing kerb inlet pit is to be at an angle greater than 45degrees. If this cannot be achieved then pipe and pit stormwater extension is required in the reserve to achieve connection into pits at angles greater than 45degrees.
- (13) (B053) The design of the carpark and accesses is to be in accordance with Australian Standard 2890 (including AS 2890.1, AS 2890.2 and AS 2890.6). Certification of the design by a suitably qualified consultant is to be provided to the Principal Certifying Authority prior to release of the Construction Certificate.
- (15) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.
- (16) (B195) Council records indicate that the development site has an existing sealed water service from the 150 DI CL water main on the same side of Bago Road. Each proposed unit requires an individual metered water service. Final water service sizing will need to be determined by a hydraulic consultant to suit the domestic and commercial components of the development, as well as fire service and backflow protection requirements in accordance with AS3500.
- (17) (B196) Council records indicate that the development site is connected to Sewer via junction to the existing sewer line that runs along the southern property boundary. The site may discharge all sewage to this existing point of connection. Details are to be shown on the engineering plans.

C – PRIOR TO ANY WORK COMMENCING ON SITE

- (1) (C001) A minimum of one (1) weeks' notice in writing of the intention to commence works on public land is required to be given to Council together with the name of the principal contractor and any major sub-contractors engaged to carry out works. Works shall only be carried out by a contractor accredited with Council.
- (2) (C013) Where a sewer manhole and Vertical Inspection Shaft exists within a property, access to the manhole/VIS shall be made available at all times. Before during and after construction, the sewer manhole/VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.

D – DURING WORK

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
 - a. at completion of installation of traffic management works
 - b. when trenches are open, stormwater/water/sewer pipes and conduits jointed and prior to backfilling;
 - c. before pouring of kerb and gutter;
 - d. prior to the pouring of concrete for sewerage works and/or works on public property;
 - e. prior to sealing and laying of pavement surface course.All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public Infrastructure and any other Council approval, prior to proceeding to the next hold point.
- (2) (D006) A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.
- (3) (D011) Provision being made for support of adjoining properties and roadways during construction.

E – PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE

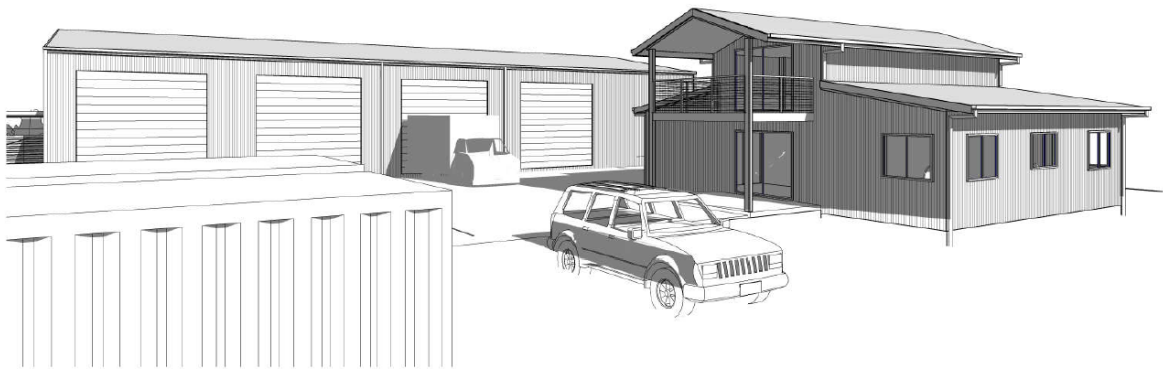
- (1) (E005) Prior to the release of any bond securities held by Council for infrastructure works associated with developments, a formal written application is to be submitted to Council specifying detail of works and bond amount.
- (2) (E030) Vehicle ramps, driveways, turning circles and parking spaces being paved, sealed and line marked prior to occupation or the issue of the Occupation Certificate or commencement of the approved land use.
- (3) (E034) Prior to occupation or the issuing of the Final Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (4) (E036) Certification by a suitably qualified consultant is to be submitted to the Principal Certifying Authority (PCA) confirming that the car park and internal accesses have been constructed in accordance with Port Macquarie-Hastings Development Control Plan 2013 and Australian Standard 2890 (including AS

2890.1, AS 2890.2 and AS 2890.6) prior to occupation or issue of the Occupation Certificate.

- (5) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (6) (E056) A Certificate of Compliance under the provisions of Section 307 of the *Water Management Act* must be obtained prior to the issue of any occupation or subdivision certificate.
- (7) (E066) Ancillary works shall be undertaken at no cost to Council to make the engineering works required by this Consent effective to the satisfaction of Director of Council's Infrastructure Division. Such works shall include, but are not limited to the following:
 - a. The relocation of underground services where required by civil works being carried out.
 - b. The relocation of above ground power and telephone services
 - c. The relocation of street lighting
 - d. The matching of new infrastructure into existing or future design infrastructure

F – OCCUPATION OF THE SITE

- (1) (F001) On site car parking in accordance with the approved plans to be provided in an unrestricted manner at all times during the operations of development for use by both staff and patrons. 14 spaces are to be provided onsite.
- (2) (F003) All loading and unloading operations associated with servicing the site must be carried out within the confines of the site, at all times and must not obstruct other properties/units or the public way.
- (3) (F009) All new and existing essential fire safety measures shall be maintained in working condition at all times.
- (4) (F013) All garbage areas are to be screened from the street, create no adverse odour impact on adjoining properties and be kept free of pests at all times.
- (5) (F015) All work, maintenance and testing of plant and other mechanical equipment shall be carried out within the building.
- (6) (F024) Offensive noise as defined under the Protection of the Environment Operations Act 1997, shall not be generated as a result of the operation of the development
- (7) (F025) Hours of operation of the development are restricted to the following hours:
 - 6am to 6pm - Mondays to Saturdays
 - No work is to be carried out on Sundays and Public Holidays
- (8) (F195) The office and showroom components are to operate ancillary to the industrial use and are not to be a standalone use.
- (9) (F197) All lighting/illumination onsite is to be directed away from any residential receivers and road users.
- (10) (F199) The managers residence cannot be used to sterilise future industrial growth in the area based on noise impacts. In this regard, maintaining acceptable noise levels within the managers residence is the responsibility of the owner/occupier of the site.



NEW COMMERCIAL

LOT No: 2 DP No: 1084479

STREET No: 3

STREET NAME: PRODUCTION DRIVE, WAUCHOPE

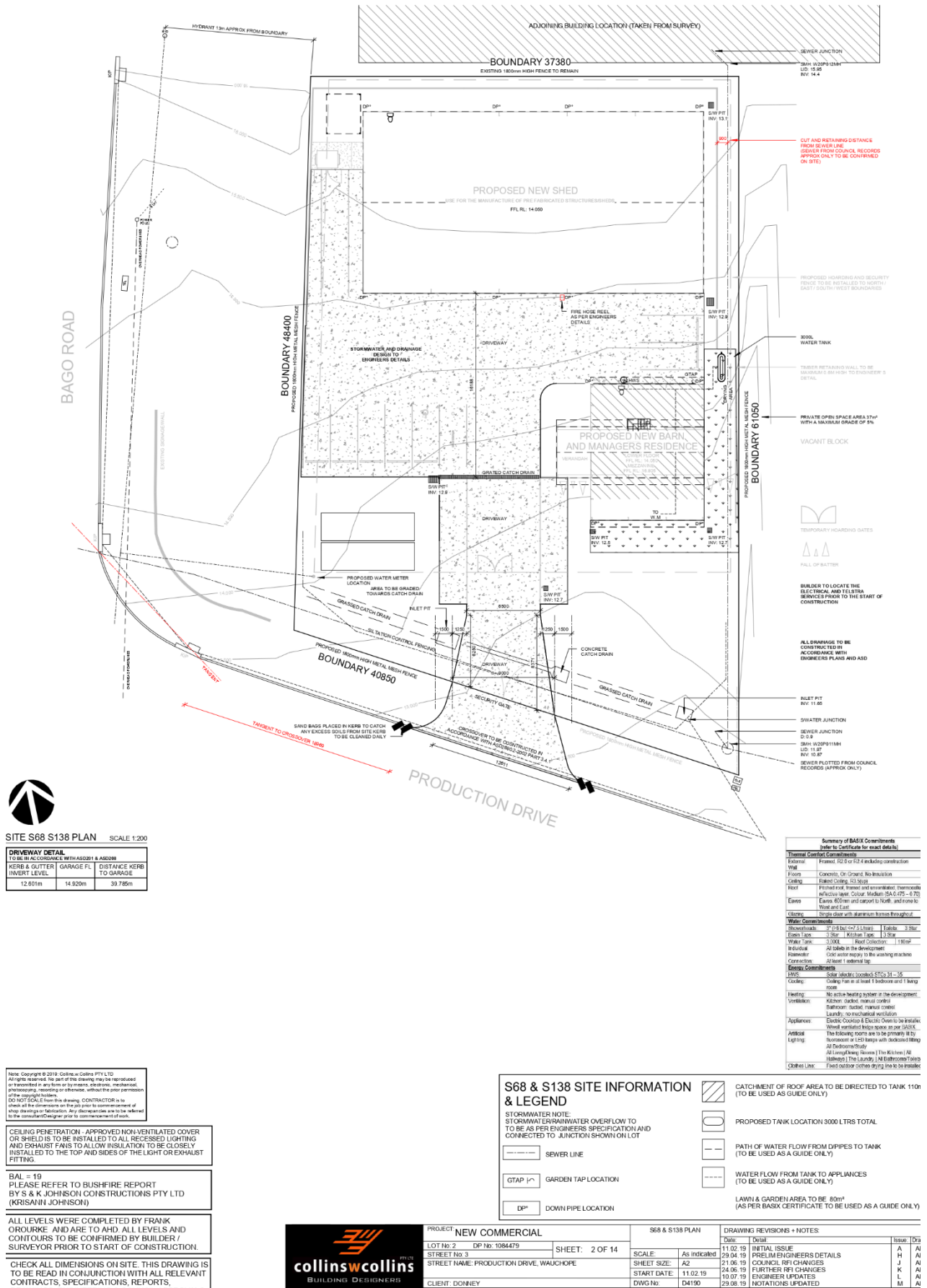
CONTENTS

SHEET SHEET NAME

- 1 SITE PLAN
- 2 S6B & S13B PLAN
- 3 BARN FLOOR PLAN
- 4 BARN MEZ. FLOOR PLAN
- 5 SHED FLOOR PLAN
- 6 ELEVATIONS
- 7 ELEVATIONS
- 8 GLAZING
- 9 ROOF PLAN
- 10 ACCESSIBLE WC
- 11 INDICATIVE LANDSCAPE PLAN
- 12 BAL-19 BUSHFIRE CONSTRUCTION NOTES
- 13 BUILDING SPECIFICATIONS
- 14 WORK SAFETY NOTES - COMMERCIAL







PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

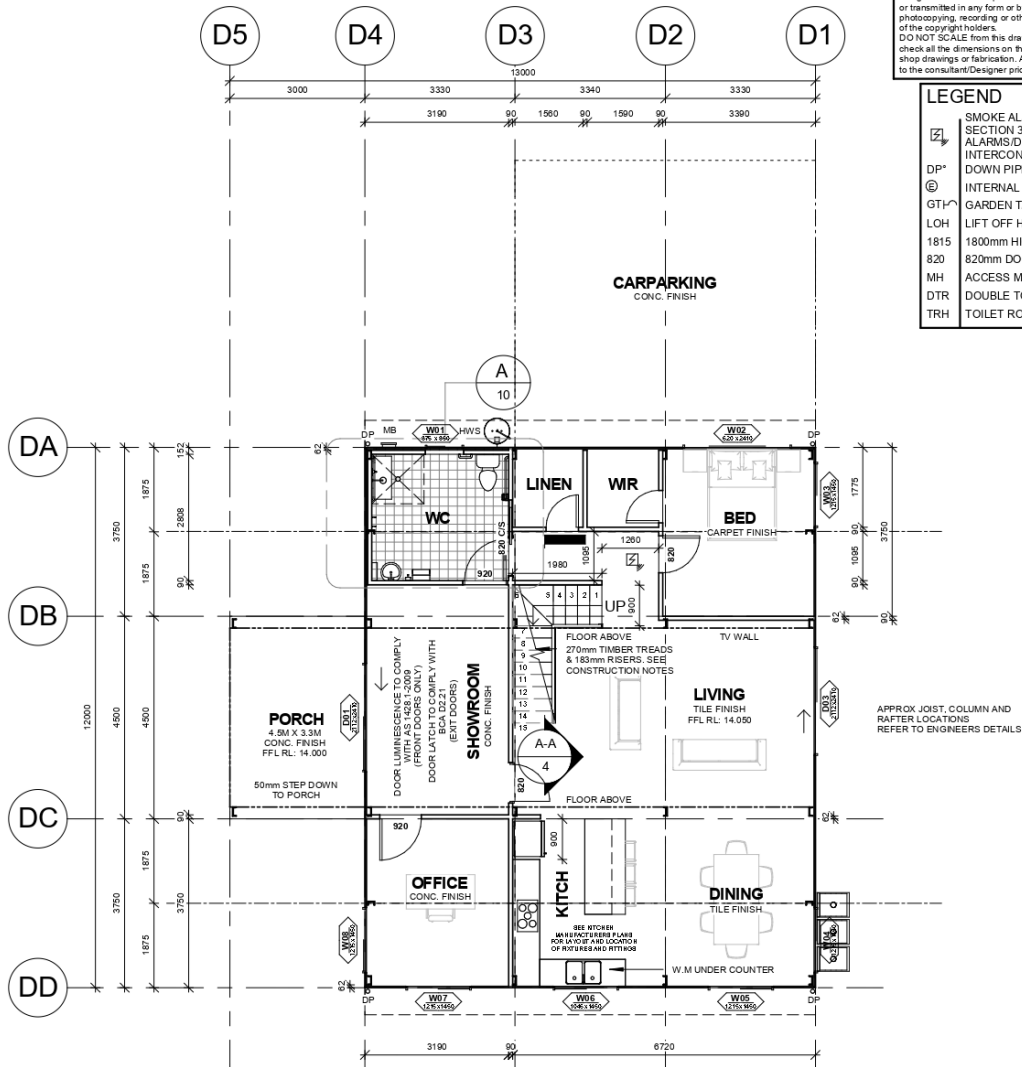
BAL = 19

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LEGEND

- SMOKE ALARMS TO AS 3786 AND SECTION 3.7.2 OF THE BCA. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED
- DOWN PIPE LOCATION TO AS 3500
- INTERNAL VENTILATION TO AS 1668.2
- GARDEN TAP LOCATION
- LIFT OFF HINGE
- 1815 1800mm HIGH x 1500mm WIDE
- 820 820mm DOOR
- MH ACCESS MAN HOLE
- DTR DOUBLE TOWEL RAIL
- TRH TOILET ROLL HOLDER



CONSTRUCTION NOTES:

STAIRS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4 & 3.9.1.1 SLP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4588.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

WINDOW NOTES:
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.5.
WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.5.
BARRIER WITH A HEIGHT OF NOT LESS THAN 885mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.5

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF NO OR HIGHER, ENGAGE PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010

*FLOOR AREA MEASURED FROM EXTERNAL FACE
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS
*ROOF AREA MEASURED AS FOOTPRINT ONLY

AREAS - FLOOR SHED

NAME	AREA
SHED FLOOR AREA	480.9 m ²
TOTAL	480.9 m ²

AREAS - FLOOR BARN

NAME	AREA
BARN OFFICE AREA	12.0 m ²
BARN RESIDENCE AREA	91.4 m ²
BARN SHOWROOM AREA	16.7 m ²
BARN PORCH AREA	13.5 m ²
BARN MEZ. FLOOR AREA	42.7 m ²
BARN VERANDAH AREA	13.2 m ²
TOTAL	189.5 m ²

AREAS - ROOF AREAS

NAME	AREA
BARN ROOF AREA	189.5 m ²
SHED ROOF AREA	480.9 m ²



PROJECT: NEW COMMERCIAL
LOT No: 2 DP No: 1084479 SHEET: 3 OF 14
STREET No: 3
STREET NAME: PRODUCTION DRIVE, WAUCHOPE
CLIENT: DONNEY

BARN FLOOR PLAN

SCALE: 1 : 100
SHEET SIZE: A3
START DATE: 11.02.19
DWG No: D4190

DRAWING REVISIONS & NOTES:

Date:	Detail:	Issue:	Drawn:
11.02.19	INITIAL ISSUE	A	AE
29.04.19	PRELIM ENGINEERS DETAILS	H	AE
21.06.19	COUNCIL RFI CHANGES	J	AE
24.06.19	FURTHER RFI CHANGES	K	AE
10.07.19	ENGINEER UPDATES	L	AE
29.08.19	NOTATIONS UPDATED	M	AE

18A LAMB STREET (PO Box 5667), PERTH MASSACHUSETTS 02444 TEL: 02-6583 4411 FAX: 02-6583 9820 WWW.COLLINSWCOLLINS.COM.AU

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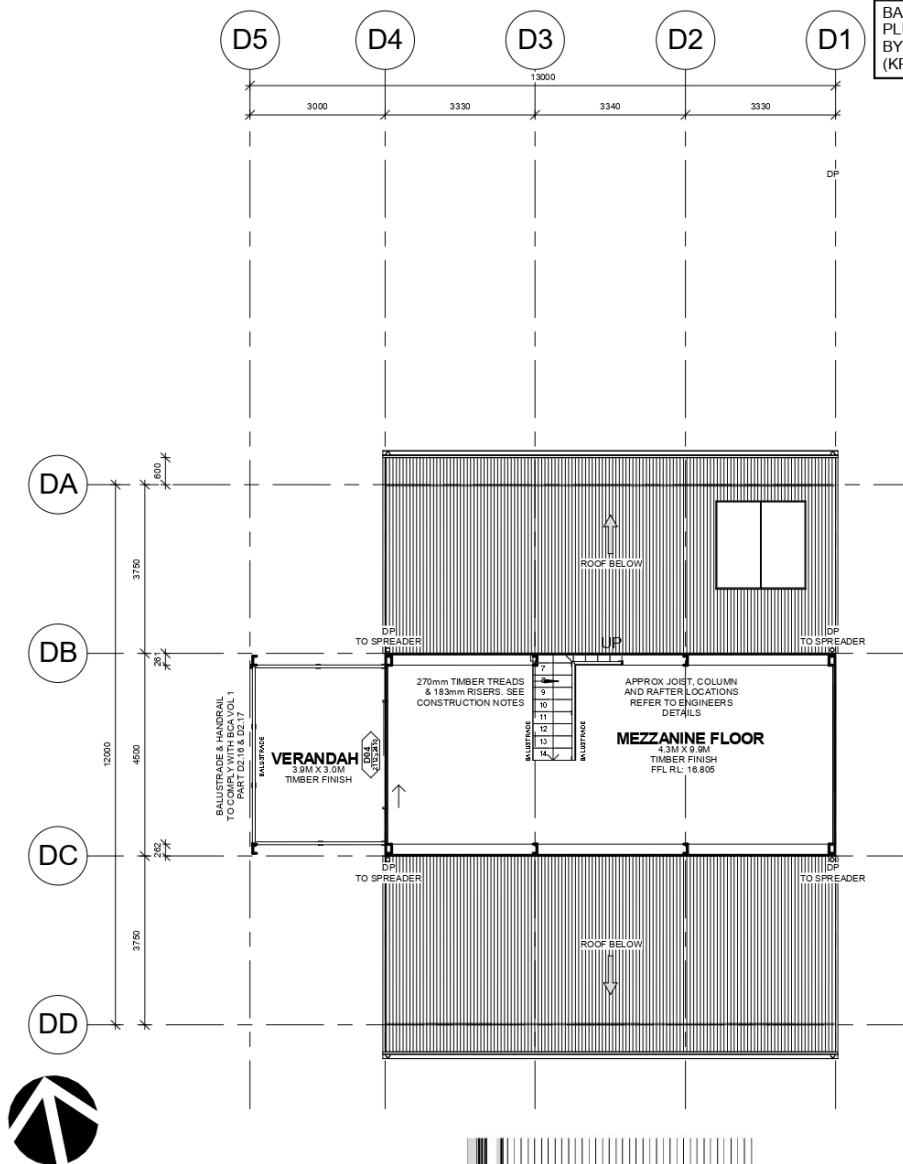
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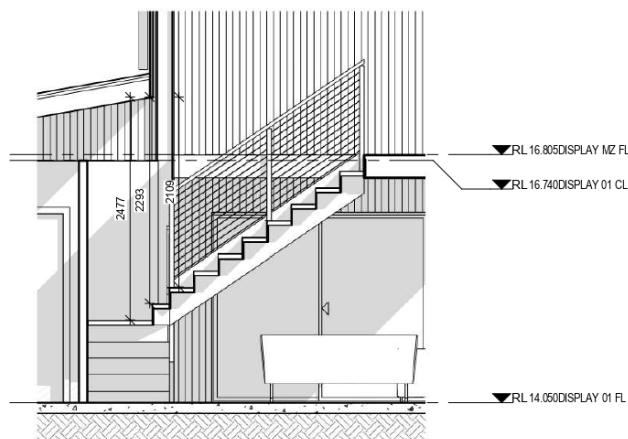
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LEGEND

- SMOKE ALARMS TO AS 3786 AND SECTION 3.7.2 OF THE BCA. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED
- DP* DOWN PIPE LOCATION TO AS 3500
- GT* INTERNAL VENTILATION TO AS 1661
- GARDEN TAP LOCATION
- LOH LIFT OFF HINGE
- 1815 1800mm HIGH x 1500mm WIDE
- 820 820mm DOOR
- MH ACCESS MAN HOLE
- DTR DOUBLE TOWEL RAIL
- TRH TOILET ROLL HOLDER



MEZ. FLOOR PLAN SCALE 1:100



SECTION A-A SCALE 1:50

CONSTRUCTION NOTES:

- STAIRS, HANDRAILS & BALUSTRADE NOTES:**
STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4 & 3.9.1.1 SLP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586
- HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA
- WINDOW NOTES:**
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.5.
- WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.5.
- BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.5
- WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. F42 OR HIGHER, ENGAGED PERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010**

AREAS - FLOOR BARN

*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
BARN OFFICE AREA	12.0 m ²
BARN RESIDENCE AREA	91.4 m ²
BARN SHOWROOM AREA	16.7 m ²
BARN PORCH AREA	13.5 m ²
BARN MEZ. FLOOR AREA	42.7 m ²
BARN VERANDAH AREA	13.2 m ²
TOTAL	189.5 m ²

AREAS - FLOOR SHED

*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
SHED FLOOR AREA	480.9 m ²
TOTAL	480.9 m ²

AREAS - ROOF AREAS

*ROOF AREA MEASURED AS FOOTPRINT ONLY	
NAME	AREA
BARN ROOF AREA	189.6 m ²
SHED ROOF AREA	480.9 m ²



PROJECT: NEW COMMERCIAL
LOT No: 2 DP No: 1084479 SHEET: 4 OF 14
STREET No: 3
STREET NAME: PRODUCTION DRIVE, WAUCHOPE
CLIENT: DONNEY

BARN MEZ. FLOOR PLAN
SCALE: As indicated
SHEET SIZE: A3
START DATE: 11.02.19
DWG No: D4190

DRAWING REVISIONS + NOTES:

Date	Detail	Issue	Draw
11.02.19	INITIAL ISSUE	A	At
29.04.19	PRELIM ENGINEERS DETAILS	H	At
21.06.19	COUNCIL RFI CHANGES	J	At
24.06.19	FURTHER RFI CHANGES	K	At
10.07.19	ENGINEER UPDATES	L	At
29.08.19	NOTATIONS UPDATED	M	At


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LEGEND	SMOKE ALARMS TO AS 3786 AND SECTION 3.7.2 OF THE BCA. ALL ALARMS DETECTORS ARE TO BE INTERCONNECTED
DP*	DOWN PIPE LOCATION TO AS 3500
Ⓢ	INTERNAL VENTILATION TO AS 1681
GT†	GARDEN PLOT LOCATION
LOH	LIFT OFF HINGE
1815	1800mm HIGH x 1500mm WIDE
820	820mm DOOR
M†	ACCESS MAIN HOLE
DTR	DOUBLE TOWEL RAIL
TRH	TOILET ROLL HOLDER

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(KRISANIN JOHNSON)

		PROJECT: NEW COMMERCIAL		SHED FLOOR PLAN		DRAWING REVISIONS + NOTES:	
LOT No. 2	DP No: 1084479	SHEET: 5 OF 14		Date:	Detail:	Issue:	Date:
SHEET No. 3				21.02.19	INITIAL ISSUE	A	A
STREET NAME: PRODUCTION DRIVE, WAUCHOPE		SCALE: 1 : 100		21.06.19	COUNCIL ENGINEERS DETAILS	A	A
		SHEET SIZE: A3		21.06.19	COUNCIL RFI CHANGES	A	A
		START DATE: 11.02.19		24.06.19	FURTHER RFI CHANGES	J	J
				25.06.19	ENGINEER UPDATES	K	K
CLIENT: DONNEY		DWG No: D4190		25.06.19	REVISIONS UPDATES	M	M



GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE WFO UW & SHOW WINDOWS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE REFER TO NUMBERS CERTIFICATE (ON DETAILS).

STANDARD GLAZING SINGLE CLEAR GLAZING WITH 10% LOW E, 10% TINT, 10% IR REJECTION ABOUT 10% TINT.

WEATHER STOPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE ALL GLAZING IN BATHROOMS, KITCHENS, LIVING ROOMS, DINING ROOMS, WITH PART 38.4.5 OF THE BCA

INTERIOR WINDOWS - WHERE THE LEVEL OF A ROOM IS MORE THAN ABOVE THE SURFACE OF THE TERRACE, 2 PART 3.9.2.5

EXTERIOR WINDOWS ARE TO COMPLY WITH PART 3.9.2.5

WINDOWS AND GLAZING TO COMPLY WITH:

AS 1555 - WIND LOADS FOR HOUSING

AS 1288 - GLASS IN BUILDING - SELECTION & INSTALLATION

AS 1562 - WIND LOADS FOR BUILDINGS

AS 3559 - CONSTRUCTION OF BUILDINGS IN BUSHFIRE ZONES

THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCAT THE TIME THE RELEVANT CERTIFICATE WAS ISSUED. THE RELEVANT CERTIFICATE NUMBER AND DATE OF THE CERTIFICATE APPEAR IN THE

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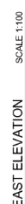
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ALL LEVELS WERE COMPLETED BY FRANK
OROURKE AND ARE TO AHD. ALL LEVELS AND
CONTOURS TO BE CONFIRMED BY BUILDER /
SURVEYOR PRIOR TO START OF CONSTRUCTION

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[illegible]

[illegible]

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	PROJECT: NEW COMMERCIAL		ELEVATIONS		DRAWING REVISIONS + NOTES		
	LOT No.2	DP No. 103479	SHEET 7 OF 14		Date:	Issue:	
	STREET No.3		SCALE	1 : 100	11.02.19	INITIAL ISSUE	
	STREET NAME PRODUCTIONLINE, WAUCHOPE		SHEET SIZE	A2	29.04.19	PRELIM ENGINEERS DETAILS	
	CLIENT: DOONEY		START DATE	11.02.19	24.05.19	FURTHER REFIN CHANGES	
			DWG No.	104190	10.07.19	ENGINEER UPDATES	
					29.08.19	NOTATIONS UPDATED	
						1	AE
						2	AE
					3	AE	
					4	AE	

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(KRISIAN JOHNSON)

ALL LEVELS WERE COMPLETED BY FRANK
OURRUE AND ARE TO AHD. ALL LEVELS AND
CONTOURS TO BE CONFIRMED BY BUILDER/
SURVEYOR PRIOR TO START OF CONSTRUCTION.

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NOTES, SPECIFICATIONS AND BEARS
CONTRACT NO. 2007/001240. CONTRACTOR: KRONENBERG PTY LTD

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DOOR GLAZING SCHEDULE

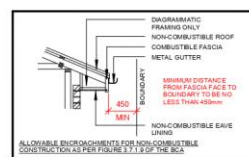
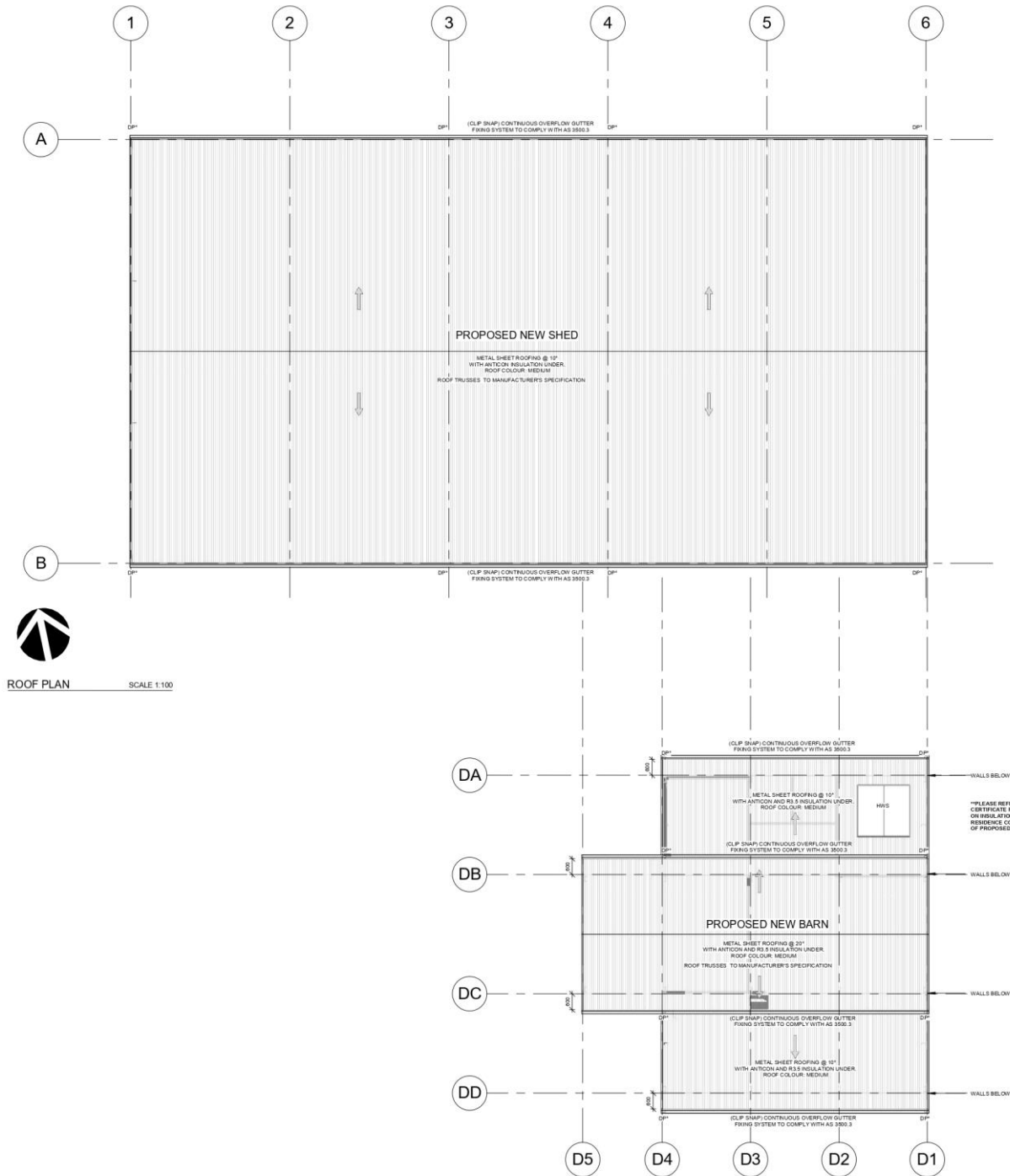
DOOR GLAZING SCHEDULE						
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONSTRUCTION
D01	DISPLAY 01 FL	SHOWROOM	2112	2410	SLIDING DOOR	STD ALUMINIUM
D03	DISPLAY 01 FL	LIVING	2112	2410	SLIDING DOOR	STD ALUMINIUM
D04	DISPLAY ME FL	MEZZANINE FLOOR	2112	2410	SLIDING DOOR	STD ALUMINIUM

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CONTRACTS, SPECIFICATIONS, REPORTS,
DRAWINGS, ENGINEERING & COUNCIL APPROVALS



PROJECT: NEW COMMERCIAL

LOT No: 2 DP No: 1084479 SHEET: 9 OF 14

STREET No: 3

STREET NAME: PRODUCTION DRIVE, WAUCHOPE

CLIENT: DOWNEY

ROOF PLAN

SCALE: As indicated

SHEET SIZE: A2

START DATE: 11.02.19

DWG No: D4190

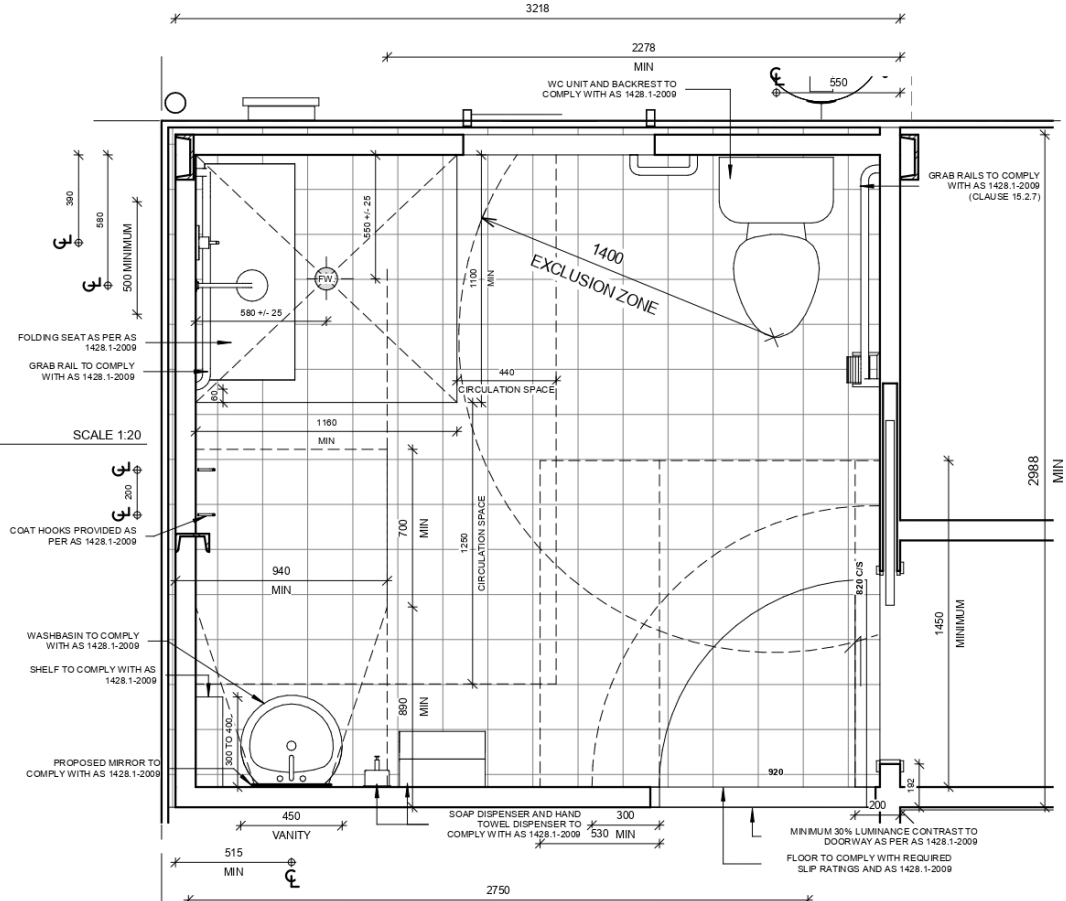
DRAWING REVISIONS + NOTES

Date	Detail	Issue	Drawn
11.02.19	INITIAL ISSUE	A	AE
29.04.19	PRELIM ENGINEERS DETAILS	H	AE
21.05.19	COUNCIL RFI CHANGES	J	AE
24.06.19	FURTHER RFI CHANGES	K	AE
10.07.19	ENGINEERS UPDATES	L	AE
29.08.19	NOTATIONS UPDATED	M	AE



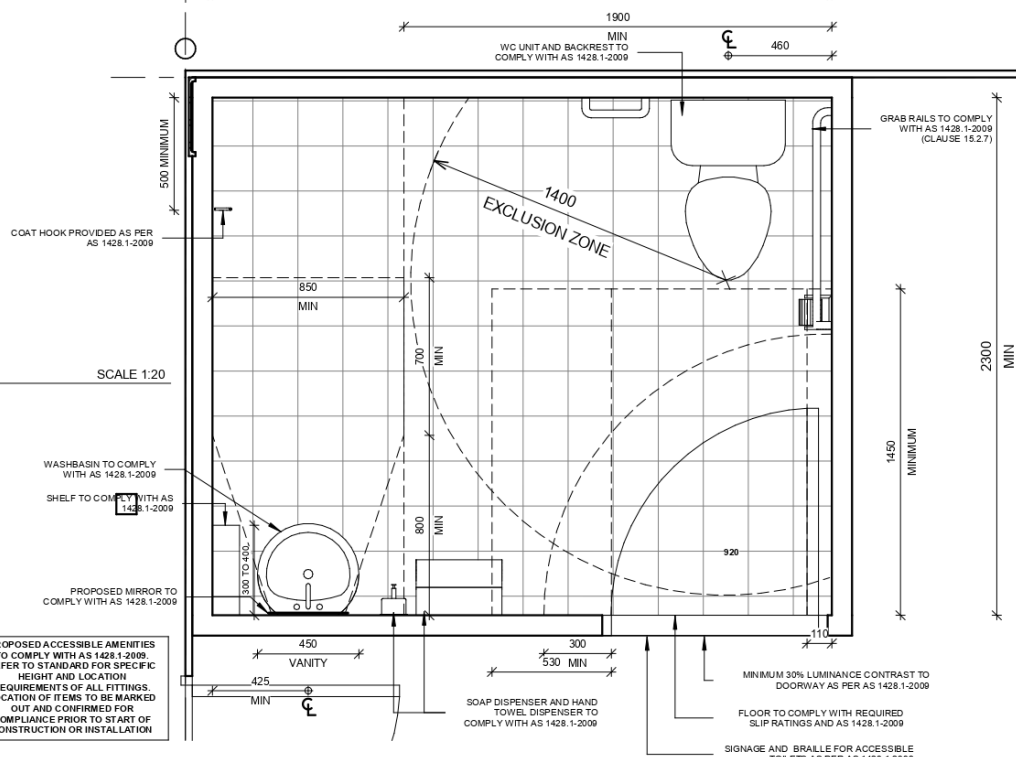
DETAIL A

SCALE 1:20



DETAIL B

SCALE 1:20



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BUILDING DESIGNERS

PROJECT: NEW COMMERCIAL
LOT No: 2 DP No: 1084479 SHEET: 10 OF 14
STREET No: 3
STREET NAME: PRODUCTION DRIVE, WAUCHOPE
CLIENT: DONNEY

ACCESSIBLE WC
SCALE: 1:20
SHEET SIZE: A3
START DATE: 11.02.19
DWG No: D4190

DRAWING REVISIONS + NOTES:

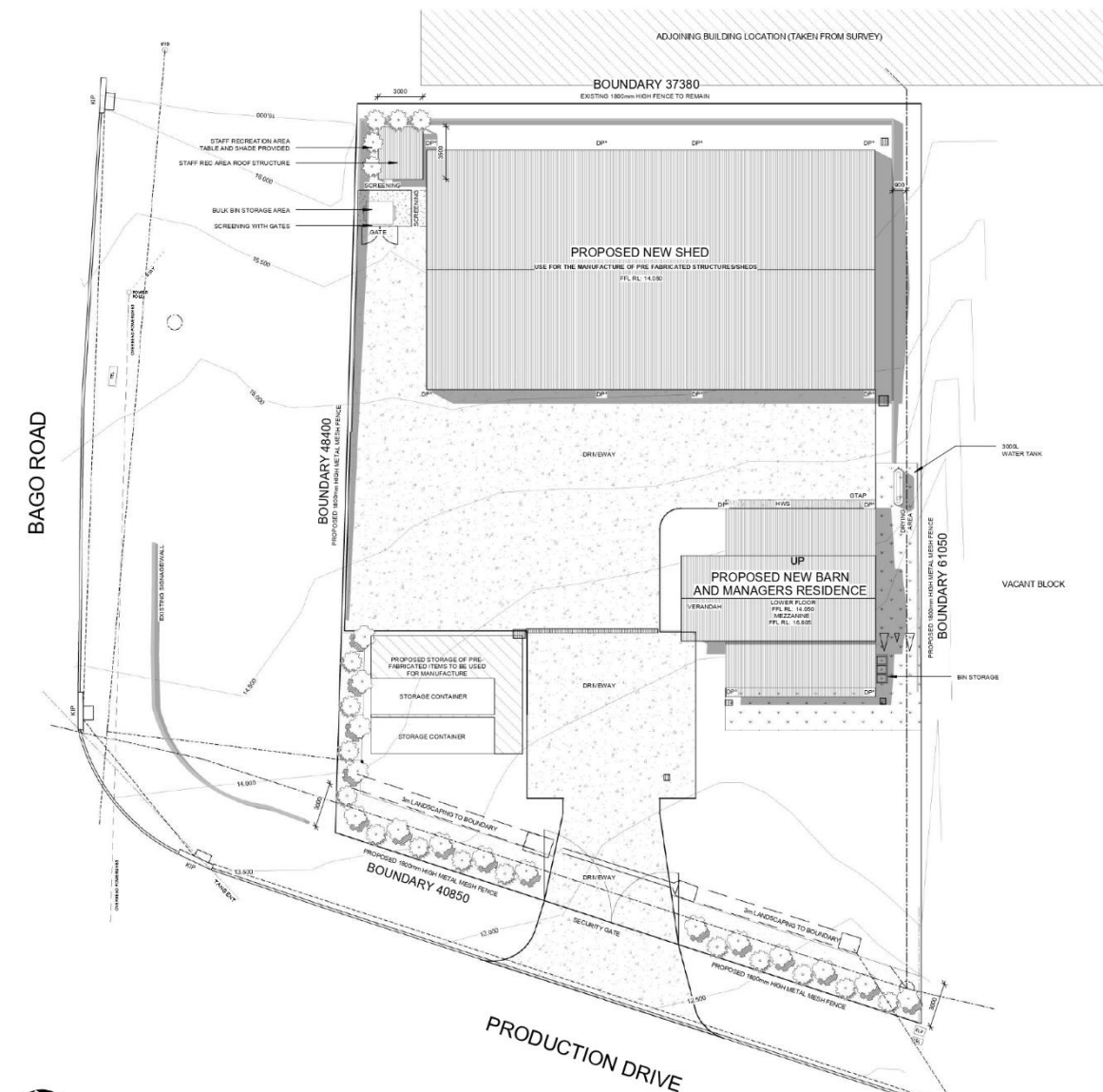
Date:	Detail:	Issue:	Drawn:
11.02.19	INITIAL ISSUE	A	AE
29.04.19	PRELIM ENGINEERS DETAILS	H	AE
21.06.19	COUNCIL RFI CHANGES	J	AE
24.06.19	FURTHER RFI CHANGES	K	AE
10.07.19	ENGINEER UPDATES	L	AE
29.08.19	NOTATIONS UPDATED	M	AE

100-1000 STREET (PO Box 5662), PERTH METROPOLITAN AREA, WA 6000

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F: 08 6583 9820

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LEGEND AND NOTES		INDICATIVE LANDSCAPE PLAN																													
	NEW WARM SEASON TURF GRASS THROUGHOUT		EXISTING NEIGHBOURING VEGETATION TO BE PRESERVED AND PROTECTED THROUGHOUT																												
	HARD SURFACE - PATHS PATHS TO HAVE PERMEABLE SURFACE FINISH		SMALL EVERGREEN NATIVE TREES																												
	HARD SURFACE - DRIVEWAY REFER BUILDING DESIGN FOR DETAILS		FEATURE OR STATEMENT PLANTINGS																												
	HARD SURFACE - PATIOS REFER BUILDING DESIGN FOR DETAILS		NEW SMALL / MEDIUM EVERGREEN SHRUBS																												
			NEW SMALL / MEDIUM EVERGREEN SOFT WOODED PERENNIALS																												
			NEW EVERGREEN PROSTRATE SHRUBS OR GROUND COVER PLANTINGS																												
		<ul style="list-style-type: none"> THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION THIS PLAN IS CONCEPTUAL ONLY AND IS DESIGNED TO HIGHLIGHT VARIOUS LANDSCAPE USES AROUND THE SITE ANY SUGGESTED PLANT LIST OR PLANT LIST IS INDICATIVE ONLY AND THE FINAL SELECTION OF ACTUAL SPECIES WILL BE SITE AND MICRO CLIMATE DEPENDENT ALL HARD-SCAPED SURFACES SHALL BE INSTALLED BY QUALIFIED LANDSCAPE TRADES AND AS PER MANUFACTURERS INSTRUCTIONS TURF SPECIES SHALL CONSIST OF A WARM SEASON SPECIES ONLY SUCH AS, BUFFALO, KIKUYU OR COUCH THE ADVICE AND PLAN FROM A PROFESSIONAL LANDSCAPE DESIGNER IS TO BE SOUGHT PRIOR TO ANY CONSTRUCTION / LANDSCAPE WORKS COMMENCING LANDSCAPE HAS A DOMINANT NORTHERN ASPECT AND SELECTED PLANTS ARE TO BE SUN TO FULL SUN TOLERANT CAPABLE OF WITHSTANDING YEAR ROUND NORTHERN SUN PLANTS ON THE IMMEDIATE SOUTHERN SIDE OF BUILDINGS AND DWELLING MAY NEED SOME SHADE TOLERANCE PLANTINGS ARE TO BE WATER WISE AND DROUGHT TOLERANT ONCE ESTABLISHED 																													
collinswcollins BUILDING DESIGNERS		INDICATIVE LANDSCAPE PLAN PROJECT: NEW COMMERCIAL LOT No: 2 DP No: 1084475 SHEET: 11 OF 14 STREET No: 3 STREET NAME: PRODUCTION DRIVE, WAUCHOPE CLIENT: DOWNEY																													
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Item 06
Attachment 2
Page 126

**THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.
THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS,
OPERATORS, MAINTENORS, DEMOLISHERS.**

**BUILDING SPECIFICATIONS FOR CLASS
1 AND 10 BUILDINGS**

All works to be completed in accordance with the current version of the National Construction Code Series, including Building Code of Australia (BCA), Volume 2 and the Plumbing Code of Australia (PCA), Volume 3 as applicable.
All Australian Standards listed are the versions that have been adopted by the relevant version of the National Construction Code Series at the time of Construction Certificate or Complying Development Certificate Application.

SITE PREPARATION

Earthworks - Earthworks are to be undertaken in accordance with Part 3.1.1 of the BCA.
Drainage - Stormwater drainage is to be undertaken in accordance with AS/NZS 3500.3, or, Section 5 of 3500.5, or the Acceptable Construction Practice as detailed in Part 3.1.2 of the BCA.

Termite Risk Management - Where a primary building element is considered susceptible to termite attack the building shall be protected in accordance with the following:

- a) AS 3600.1, and
- b) A durable notice is permanently fixed to the building in a prominent location, such as in a meter box or the like, including the details listed in Part 3.1.3.2 of the BCA, or
- c) The Acceptable Construction Practice as detailed in accordance with Part 3.1.3 of the BCA.

FOOTINGS AND SLABS

The footing or slab is to be constructed in accordance with AS 2870, except that for the purposes of Clause 5.3.3.1 of AS 2870, a damp-proofing membrane is required to be provided, or, the Acceptable Construction Practice detailed in Part 3.2 of the BCA.

Piled footings are to be designed in accordance with AS 2159.

MASONRY

Unreinforced Masonry - to be designed and constructed in accordance with;

- a) AS 3700; or
 - b) AS 4773 Parts 1 and 2
- Reinforced Masonry - to be designed and constructed in accordance with;
- a) AS 3700; or
 - b) AS 4773 parts 1 and 2

Masonry Accessories - to be constructed and installed in accordance with;

- a) AS 3700; or
 - b) AS 4773 Parts 1 and 2
- Weatherproofing of Masonry
This Part applies to an external wall (including the junction between the wall and any window or door) of a Class 1 Building.
This Part does not apply to any Class 10 building except where its construction contributes to the weatherproofing of the Class 1 building.
The weatherproofing of masonry is to be carried out in accordance with;

- a) AS 3700; or
- b) AS 4773 Part 2 and 2

FRAMING

Structural Software - Must comply with the Australian Building Codes Board (ABCB) Protocol for Structural Software and Part 3.4.0.2 of the BCA.

Sub-Floor Ventilation - Is to comply with the Acceptable Construction Practice of Part 3.4.1 of the BCA.

Steel Framing - is to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.4.2 of the BCA, or, one of the following manuals:

- a) Steel structures: AS 4100.
 - b) Cold-formed steel structures: AS/NZS 4600.
 - c) Residential and low-rise steel framing: NASH Standard.
- Timber Framing - is to be designed and constructed in accordance with the following, as appropriate:

- a) AS 1684.2.
- b) AS 1684.4.

Structural Steel Members - is to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.4.4 of the BCA, or, one of the following manuals:

- a) Steel Structures: AS 4100.
- b) Cold-formed steel structures: AS/NZS 4600.

ROOF AND WALL CLADDING

Roof Cladding - is to comply with the Acceptable Construction Practice of Part 3.5.1 of the BCA, or, one of the following:

- a) Roofing tiles: AS 2049 and AS 2050.
 - b) Metal roofing: AS 1562.1.
 - c) Plastic sheet roofing: AS/NZS 4256 Parts 1, 2, 3 and 5; and AS/NZS 1562.3.
 - d) Corrugated fibre-reinforced cement sheet roofing: AS/NZS 1562.2.
 - e) Asphalt shingles: ASTM D3018-90.
 - f) Pliable membrane and underlay: AS/NZS 4200 Parts 1 and 2.
- Gutters and Downpipes - are to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.5.2 of the BCA, or, AS/NZS 3500.3 - Stormwater drainage, or AS/NZS 3500.5 - Domestic installations, Section 5 - Stormwater drainage.
- Wall Cladding - to be designed and constructed in accordance with Acceptable Construction Practice of Part 3.5.3.1 of the BCA, or, for metal wall cladding if it is designed and constructed in accordance with AS 1562.1.

GLAZING

Glazing - to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.6.1 of the BCA, or, one of the following manuals as applicable:

- a) AS 2047.
- b) AS 1286.

FIRE SAFETY

Fire Separation - to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.7.1 of the BCA.

Smoke Alarms - to be designed, connected and located in accordance with the Acceptable Construction Practice of Part 3.7.2 of the BCA.

Heating Appliances - are to be installed in accordance with the Acceptable Construction Practice of part 3.7.3 of the BCA, or, one of the following manuals:

- a) Domestic solid-fuel burning appliances are installed in accordance with AS/NZS 2918.
- b) Boilers and pressure vessels are installed in accordance with AS/NZS 1200.

BUSHFIRE AREAS

Bushfire Areas - This section relates to:

- a) A Class 1 building; or
- b) A Class 10a building or deck associated with a Class 1 building, if it is constructed in accordance with the following;
- c) AS 3959, except for Section 9 Construction for Bushfire Attack Level FZ (BAL-FZ). Buildings subject to BAL-FZ must comply with specific conditions of development consent for construction at this level; or
- d) The requirements of (c) above as modified by the development consent following consultation with the NSW Rural Fire Service under section 79BA of the Environmental Planning and Assessment Act 1979; or
- e) The requirements of (c) above as modified by the development consent with a bushfire safety authority issued under section 100B of the Rural Fire Act for the purposes of integrated development.

Alpine Areas - to be constructed in accordance with the Acceptable Construction Practice of Part 3.7.5 of the BCA if located in an alpine area, as identified in Figure 3.7.5.2 of the BCA.

HEALTH AND AMENITY

Wet Areas and External Waterproofing - building elements in wet areas within a building must:

- a) Be waterproof or water resistant in accordance with Table 3.8.1.1 of the BCA; and
- b) Comply with AS 3740.

Room Heights - are to be constructed in accordance with the Acceptable Construction Practice of Part 3.8.2 of the BCA.

Facilities - are to be constructed in accordance with Acceptable Practice of Part 3.8.3 of the BCA.

Light - is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.4 of the BCA.

Ventilation - is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.5 of the BCA.

Sound Insulation - (only applies to a separating wall between two or more class 1 buildings) is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.6 of the BCA.

SAFE MOVEMENT AND ACCESS

Safe Movement and Access

Stair Construction - to be constructed and installed in accordance with the Acceptable Construction Practice of Part 3.9.1 of the BCA.

Balustrades and Handrails - to be constructed and installed in accordance with the Acceptable Construction Practice of Part 3.9.2 of the BCA.

Swimming Pool Access - to be designed and installed in accordance with the Swimming Pools Act 1992, Swimming Pool Regulation 2008 and AS 1926 Parts 1 and 2.

Swimming Pool Water recirculation Systems - is to be designed and constructed in accordance with AS1926.3.

ADDITIONAL CONSTRUCTION REQUIREMENTS

High Wind Areas - Applies to a region that is subject to design wind speeds more than N3 or C1 (see table 1.1.1 of the BCA). To be constructed in accordance with one or more of the relevant manuals of Part 3.10.1 of the BCA.

Earthquake Areas - relates to areas subject to seismic activity. To be constructed in accordance with the Acceptable Construction Manuals listed in Part 3.11 of the BCA.

Flood Hazard Areas - applies to areas on a site (weather or not mapped) encompassing the land lower than the flood hazard level (as defined by the BCA) which has been determined by the appropriate authority (statutory authority), are to be constructed in accordance with the ABCB Standard for Construction of Buildings in Flood Hazard Areas.

STRUCTURAL DESIGN MANUALS

Structural Design Manuals - is satisfied by complying with:

- a) 3.11.2, 3.11.3 and 3.11.6 of the BCA, or
- b) the relevant provisions of other Parts of Section 3 of the Housing Provisions of the BCA relating to structural elements, or
- c) any combination thereof.

ENERGY EFFICIENCY

Energy Efficiency - to comply with the measures contained in the relevant BASIX certificate.

PROJECT: NEW COMMERCIAL	BUILDING SPECIFICATIONS	DRAWING REVISIONS + NOTES:			
		Date:	Detail:	Issue:	Drawn:
LOT No: 2 DP No: 1084479 SHEET: 13 OF 14	SCALE: 1 : 100	11.02.19	INITIAL ISSUE	A	AE
STREET No: 3	SHEET SIZE: A3	29.04.19	PRELIM ENGINEERS DETAILS	H	AE
STREET NAME: PRODUCTION DRIVE, WAUCHOPE	START DATE: 11.02.19	21.06.19	COUNCIL RFI CHANGES	J	AE
CLIENT: DONNEY	DWG No: D4190	24.06.19	ENGINEER UPDATES	K	AE
		10.07.19	ENGINEER UPDATES	L	AE
		29.08.19	NOTATIONS UPDATED	M	AE

BA 1080 STREET (PO Box 5662) PO Box 5662, NEW 2444 T: 02 6583 4411 F: 02 6583 9820 WWW.COLLINSWCOLLINS.COM.AU

Developer Charges - Estimate

Applicants Name: Collins W Collins
 Property Address: 3 Production Drive Wauchope
 Lot & Dp: Lot(s):2,DP(s):1084479
 Development: Industrial building and caretakers residence



Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000.
 Other contributions are levied under Section 7.11 of the Environmental Planning and Assessment Act and Council's Contribution Plans.

Levy Area	Units	Cost	Estimate
1 Water Supply	1.788	\$10,190.00 Per ET	\$18,219.70
2 Sewerage Scheme Wauchope	0.988	\$3,866.00 Per ET	\$3,819.60
3 Since 1.7.04 - Major Roads - Wauchope - Per ET	0.67	\$7,138.00 Per ET	\$4,782.40
4 Since 31.7.18 - Open Space - Wauchope - Per ET	0.67	\$5,236.00 Per ET	\$3,508.10
5 Commenced 3 April 2006 - Com, Cul and Em Services CP - Wauchope	0.67	\$4,733.00 Per ET	\$3,171.10
6 Com 1.3.07 - Administration Building - All areas	0.67	\$910.00 Per ET	\$609.70
7 N/A			
8 N/A			
9 N/A			
10 N/A			
11 N/A			
12 Bushfire Additional	0.67	\$505.00 Per ET	\$338.30
13 N/A			
14 N/A			
15 Admin General Levy - Applicable to Consents approved after 11/2/03	2.2% S94 Contribution		\$273.00
16			
17			
18			
Total Amount of Estimate (Not for Payment Purposes)			\$34,721.90

NOTES: These contribution rates apply to new development and should be used as a guide only.
 Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).
 DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement.
 Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

1-Oct-2019

Estimate Prepared By Beau Spry

This is an ESTIMATE ONLY - NOT for Payment Purposes

illins W Collins , 3 Production Drive Wauchope, 1-Oct-2019.xls

PORT MACQUARIE-HASTINGS COUNCIL

Item: 07

**Subject: PROPOSED MEETING DATES FOR 2020 - DEVELOPMENT
ASSESSMENT PANEL**

Presented by: Development and Environment, Melissa Watkins

RECOMMENDATION

That the Development Assessment Panel note the meeting dates for 2020 as follows:

- **22 January**
- **12 February**
- **26 February**
- **11 March**
- **25 March**
- **8 April**
- **22 April**
- **13 May**
- **27 May**
- **10 June**
- **24 June**

REPORT

The below meeting dates are proposed for the Development Assessment Panel up until June 2020.

Development Assessment Panel meetings are held in the Function Room at Council commencing at 2pm.

Attachments

Nil