



Development Assessment Panel

Business Paper

date of meeting: Wednesday 13 November 2019

location: Function Room
Port Macquarie-Hastings Council
17 Burrawan Street
Port Macquarie

time: 2:00pm

Development Assessment Panel

CHARTER

1.0 OBJECTIVES

To assist in managing Council's development assessment function by providing independent and expert determinations of development applications that fall outside of staff delegations.

2.0 KEY FUNCTIONS

- To review development application reports and conditions;
- To determine development applications outside of staff delegations;
- To refer development applications to Council for determination where necessary;
- To provide a forum for objectors and applicants to make submissions on applications before the Development Assessment Panel (DAP);
- To maintain transparency in the determination of development applications.

Delegated Authority of Panel

Pursuant to Section 377 of the Local Government Act, 1993 delegation to:

- Determine development applications under Part 4 of the Environmental Planning and Assessment Act 1979 having regard to the relevant environmental planning instruments, development control plans and Council policies.
- Vary, modify or release restrictions as to use and/or covenants created by Section 88B instruments under the Conveyancing Act 1919 in relation to development applications for subdivisions being considered by the panel.
- Determine Koala Plans of Management under State Environmental Planning Policy 44 - Koala Habitat Protection associated with development applications being considered by the Panel.

Noting the trigger to escalate decision making to Council as highlighted in section 5.2.

3.0 MEMBERSHIP

3.1 Voting Members

- Two independent external members. One of the independent external members to

be the Chairperson.

- Group Manager Development Assessment (alternate - Director Development & Environment or Development Assessment Planner)

The independent external members shall have expertise in one or more of the following areas: planning, architecture, heritage, the environment, urban design, economics, traffic and transport, law, engineering, government and public administration.

3.2 Non-Voting Members

- Not applicable

3.3 Obligations of members

- Members must act faithfully and diligently and in accordance with this Charter.
- Members must comply with Council's Code of Conduct.
- Except as required to properly perform their duties, DAP members must not disclose any confidential information (as advised by Council) obtained in connection with the DAP functions.
- Members will have read and be familiar with the documents and information provided by Council prior to attending a DAP meeting.
- Members must act in accordance with Council's Workplace Health and Safety Policies and Procedures
- External members of the Panel are not authorised to speak to the media on behalf of Council. Council officers that are members of the Committee are bound by the existing operational delegations in relation to speaking to the media.
- Staff members shall not vote on matters before the Panel if they have been the principle author of the development assessment report.

3.4 Member Tenure

- The independent external members will be appointed for the term of four (4) years maximum in which the end of the tenure of these members would occur in a cascading arrangement.

3.5 Appointment of members

- The independent external members (including the Chair) shall be appointed by the General Manager following an external Expression of Interest process.
- Staff members of the Panel are in accordance with this Charter.

4.0 TIMETABLE OF MEETINGS

- The Development Assessment Panel will generally meet on the 1st and 3rd Wednesday each month at 2.00pm at the Port Macquarie offices of Council.
- Special Meetings of the Panel may be convened by the Director Development & Environment Services with three (3) days notice.

5.0 MEETING PRACTICES

5.1 Meeting Format

- At all Meetings of the Panel the Chairperson shall occupy the Chair and preside. The Chair will be responsible for keeping of order at meetings.
- Meetings shall be open to the public.
- The Panel will hear from applicants and objectors or their representatives.
- Where considered necessary, the Panel will conduct site inspections which will be open to the public.

5.2 Decision Making

- Decisions are to be made by consensus. Where consensus is not possible on any item, that item is to be referred to Council for a decision.
- All development applications involving a proposed variation to a development standard greater than 10% under Clause 4.6 of the Local Environmental Plan will be considered by the Panel and recommendation made to the Council for a decision.

5.3 Quorum

- All members (2 independent external members and 1 staff member) must be present at a meeting to form a quorum.

5.4 Chairperson and Deputy Chairperson

- Independent Chair (alternate, second independent member)

5.5 Secretariat

- The Director Development & Environment is to be responsible for ensuring that the Panel has adequate secretariat support. The secretariat will ensure that the business paper and supporting papers are circulated at least three (3) days prior to each meeting. Minutes shall be appropriately approved and circulated to each member within three (3) weeks of a meeting being held.
- The format of and the preparation and publishing of the Business Paper and Minutes shall be similar to the format for Ordinary Council Meetings.

5.6 Recording of decisions

- Minutes will record decisions and how each member votes for each item before the Panel.

6.0 CONVENING OF “OUTCOME SPECIFIC” WORKING GROUPS

Not applicable.

7.0 CONFIDENTIALITY AND CONFLICT OF INTEREST

- Members of the Panel must comply with the applicable provisions of Council’s Code of Conduct. It is the personal responsibility of members to comply with the standards in the Code of Conduct and regularly review their personal circumstances with this in mind.
- Panel members must declare any conflict of interests at the start of each meeting or before discussion of a relevant item or topic. Details of any conflicts of interest should be appropriately minuted. Where members are deemed to have a real or perceived conflict of interest, it may be appropriate they be excused from deliberations on the issue where the conflict of interest may exist. A Panel meeting may be postponed where there is no quorum.

8.0 LOBBYING

- All members and applicants are to adhere to Council’s Lobbying policy. Outside of scheduled Development Assessment Panel meetings, applicants, their representatives, Councillors, Council staff and the general public are not to lobby Panel members via meetings, telephone conversations, correspondence and the like. Adequate opportunity will be provided at Panel inspections or meetings for applicants, their representatives and the general public to make verbal submissions in relation to Business Paper items.

Development Assessment Panel

ATTENDANCE REGISTER

Member	24/07/19	28/08/19	11/09/19	25/09/19	09/10/19	23/10/19
Paul Drake	✓	✓	✓	✓	✓	✓
Robert Hussey		✓	✓		✓	
David Crofts (alternate member)	✓			✓		✓
Dan Croft (Group Manager Development Assessment) (alternates) - Director Development & Environment - Development Assessment Planner	✓	✓	A ✓	✓	A ✓	✓

Key: ✓ = Present

A = Absent With Apology

X = Absent Without Apology

Development Assessment Panel Meeting

Wednesday 13 November 2019

Items of Business

Item	Subject	Page
01	Acknowledgement of Country	<u>8</u>
02	Apologies.....	<u>8</u>
03	Confirmation of Minutes	<u>8</u>
04	Disclosures of Interest.....	<u>16</u>
05	DA2019-254.1 Industrial Building and Caretaker's Residence - Lot 2 DP 1084479, No. 3 Production Drive, Wauchope.....	<u>20</u>
06	DA 2019 - 71.1 for Multi Dwelling Housing and Strata Title Subdivision at LOT: 2 DP: 713669, 11 Kemp Street, Port Macquarie.....	<u>62</u>
07	General Business	

Item: 01**Subject: ACKNOWLEDGEMENT OF COUNTRY**

"I acknowledge that we are gathered on Birpai Land. I pay respect to the Birpai Elders both past and present. I also extend that respect to all other Aboriginal and Torres Strait Islander people present."

Item: 02**Subject: APOLOGIES**

RECOMMENDATION

That the apologies received be accepted.

Item: 03**Subject: CONFIRMATION OF PREVIOUS MINUTES**

RECOMMENDATION

That the Minutes of the Development Assessment Panel Meeting held on 23 October 2019 be confirmed.

PRESENT

Members:

Paul Drake
David Crofts
Dan Croft

Other Attendees:

Pat Galbraith-Robertson
Fiona Tierney
Kerrod Franklin
Grant Burge
Ben Roberts

The meeting opened at 2:00pm

01 ACKNOWLEDGEMENT OF COUNTRY

The Acknowledgement of Country was delivered.

02 APOLOGIES

Nil.

03 CONFIRMATION OF MINUTES

CONSENSUS:

That the Minutes of the Development Assessment Panel Meeting held on 9 October 2019 be confirmed.

04 DISCLOSURES OF INTEREST

There were no disclosures of interest presented.

05 DA2019 - 621 MEDICAL CENTRE - LOT 27 DP 253280, NO 6 BROWALLIA PLACE, PORT MACQUARIE

CONSENSUS:

That DA 2019 - 621 for Medical Centre at Lot 27, DP 253280, No. 6 Browallia Place, Port Macquarie, be determined by granting consent subject to the recommended conditions and as amended below:

- Amend condition B(8) to read: 'The design of the carpark and accesses is to be in accordance with Australian Standard 2890 (including AS 2890.1, AS 2890.2 and AS 2890.6). Certification of the design by a suitably qualified consultant is to be provided to the Principal Certifying Authority prior to release of the Construction Certificate. Note a single width driveway is permitted from the kerb to the property boundary so as to minimise cross over width in the culdesac.'

06 DA2019 - 476.1 CHANGE OF USE FROM MEDICAL CENTRE TO DUAL OCCUPANCY AND TORRENS TITLE SUBDIVISION, LOT 5 DP 226787, 70 HILL STREET, PORT MACQUARIE

Speakers:

Megan Warrington (o)
Rob Beukers (applicant)

CONSENSUS:

That DA 2019 - 476 for a change of use from medical centre to dual occupancy and Torrens title subdivision at Lot 5, DP 226787, No. 70 Hill Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.

07 DA2019 - 203.1 DEMOLITION OF EXISTING BUILDINGS AND CONSTRUCTION OF RESTAURANT AT 24 CLARENCE STREET, PORT MACQUARIE

Speakers:

Craig Smith (o)
Peter Chapman (applicant)
Craig Teasdell (applicant)

CONSENSUS:

That DA2019 - 203.1 for a demolition of existing buildings and construction of restaurant at Lot 1, DP 713378, No. 24 Clarence Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.

08 DA2019 - 400 CONCEPT PROPOSAL FOR STAGED RESIDENTIAL SUBDIVISION (25 TORRENS TITLE LOTS) & STAGED RESIDENTIAL SUBDIVISION (19 TORRENS TITLE LOTS) - 165 JOHN OXLEY DRIVE, PORT MACQUARIE

Speakers:

Susan Perry (o)

Tony Thorne (applicant)

CONSENSUS:

That DA2019 - 400 for a concept proposal for staged residential subdivision (25 Torrens title lots) & staged residential subdivision (19 Torrens title lots) at Lot 3 DP 533058, No. 165 John Oxley Drive, Port Macquarie, be determined by granting consent subject to the recommended conditions and as amended below:

- Amend condition A(1) to read:

'The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Development plans	Sheets 1 to 6	King & Campbell Pty Ltd	4 June 2019 and 4 October 2019
Biodiversity Assessment Report	EC3272	Biodiversity Australia	4 October 2019
Vegetation Management Plan		King & Campbell Pty Ltd	October 2019
Road traffic noise assessment		EMM Consulting	12 November 2018
Aborist reports		Port Tree Fella	28 March 2019

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- Amend condition A(5) to read: 'The development must only proceed in accordance with the approved stages as set out below:
 - Stage 1: Roads 01, 02 and 03 and creation of Lots 1, 2 and 16 to 19 and residue within Stage 1 works development within approved staged concept proposal;
 - Stage 2: Creation of Lots 3 to 5 and 13 to 15 and residue; and
 - Stage 3: Creation of Lots 6 to 12 and residue Future Stage 2 DA.'
- Delete condition A10 (A034)

-
- Amend condition A(14) to read: 'The development will require the retirement of the following ecosystem credits and/or species credits under the Biodiversity Offset Scheme, provisions of the *Biodiversity Conservation Act 2016* to offset the impacts of the development: No 690: Blackbutt - Tallowood moist ferny open forest of the coastal ranges of the NSW North Coast Bioregion 8 Credits and Koala (*Phascolarctos cinereus*) 9 Credits, unless otherwise agreed to by Council.'
 - Amend condition B(2) to read: 'Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
 1. New roads within the subdivision.
 2. Earthworks, including filling of the land for flood protection.
 3. Sewerage reticulation.
 4. Water supply reticulation.
 5. Stormwater systems.
 6. Erosion & Sedimentation controls.
 7. Landscaping/waste management facilities.
 8. Provision of a concrete footpath across the proposed road frontages of the property.'
 - Additional condition in Section A of the consent to read: 'The development site is to be managed for the entirety of work in the following manner:
 1. All construction vehicles are to access the site from John Oxley Drive and not Annabella Drive. Appropriate temporary signage is to be erected within the road reserves to enforce this requirement.
 2. Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 3. Appropriate dust control measures;
 4. Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
 5. Building waste is to be managed via appropriate receptacles into separate waste streams;
 6. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
 7. Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidaysThe builder to be responsible to instruct and control his sub-contractors regarding the hours of work.'
-

- Additional condition in Section A of the consent to read: 'An overland flowpath between the northern end of the proposed cul-de-sac (Road 02) and the downstream stormwater basin shall be provided. The overflow path shall be shaped to safely convey stormwater flows generated within the 1%AEP event from the cul-de-sac to the basin. Long and cross sections of the overland flowpath shall be submitted to the certifying authority in conjunction with the Construction Certificate submission demonstrating that suitable freeboard is provided between the top water level within the overland flowpath and adjoining property ground levels. The overland flowpath shall be contained within a drainage reserve.'
- Amend condition B(3) to read: 'Road network within the subdivision is to be categorised with carriageway width as follows. Prior to release of the Construction Certificate such details are to be illustrated on the submitted plans.'

Road No.	Road Width (Metres)					
	Shareway	Access	Local	Collector	Commercial	Industrial
1			9m			
2			7m terminating at a 9m radius head			
3			8m			

- Amend condition E(3) of the consent to read: Payment to Council, prior to the issue of the Subdivision Certificate of the Section 7.11 contributions set out in the "Notice of Payment – Developer Charges" schedule attached to this consent, unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental Planning and Assessment Act 1979 as amended, in accordance with the provisions of the following plans or as specified by an applicable Planning Agreement:
 - Port Macquarie-Hastings Administration Building Contributions Plan 2007
 - Hastings S94 Administration Levy Contributions Plan
 - Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005

The plans may be viewed during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.'

09 DA2019 - 401.1 - CONCEPT PROPOSAL FOR RESIDENTIAL SUBDIVISION (25 TORRENS TITLE LOTS) & STAGED RESIDENTIAL SUBDIVISION (16 TORRENS TITLE LOTS) AT 153 JOHN OXLEY DRIVE, PORT MACQUARIE

Speakers:

Graham Marks (o)

Tony Thorne (applicant)

CONSENSUS:

That DA2019 - 401.1 for a concept proposal for residential subdivision (25 Torrens title lots) & staged residential subdivision (16 Torrens title lots) at Lot 1 DP 369206, No. 153 John Oxley Drive, Port Macquarie, be determined by granting consent subject to the recommended conditions and as amended below:

- Amend condition B(2) to read: 'Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
 1. New roads within the subdivision.
 2. Earthworks, including filling of the land for flood protection.
 3. Sewerage reticulation.
 4. Water supply reticulation.
 5. Stormwater systems.
 6. Erosion & Sedimentation controls.
 7. Landscaping/waste management facilities.
 8. Provision of a concrete footpath across the proposed road frontages of the property.'
- Amend condition B(3) to read: 'Road network within the subdivision is to be categorised with carriageway width as follows. Prior to release of the Construction Certificate such details are to be illustrated on the submitted plans.

Road No.	Road Width (Metres)					
	Shareway	Access	Local	Collector	Commercial	Industrial
1			9m			
2			7m terminating at a 9m radius head			
3			7m			

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The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.'

- Additional condition in Section E of the consent to read: 'Prior to release of the subdivision certificate the boundary between lots 4 and 5 is to be moved slightly to the north so as to align with the with the southern boundary of the property on Rivergum Drive to the east (i.e. the termination of the respective boundaries are to meet at the same point).'

10 GENERAL BUSINESS

Nil.

The meeting closed at 3:33pm.

Item: 04
Subject: DISCLOSURES OF INTEREST

RECOMMENDATION

That Disclosures of Interest be presented

DISCLOSURE OF INTEREST DECLARATION

Name of Meeting:	
Meeting Date:	
Item Number:	
Subject:	
I, the undersigned, hereby declare the following interest:	
<input type="checkbox"/> Pecuniary: Take no part in the consideration and voting and be out of sight of the meeting.	
<input type="checkbox"/> Non-Pecuniary – Significant Interest: Take no part in the consideration and voting and be out of sight of the meeting.	
<input type="checkbox"/> Non-Pecuniary – Less than Significant Interest: May participate in consideration and voting.	
For the reason that:	
Name: Signed:	Date:
Please submit to the Governance Support Officer at the Council Meeting.	

(Refer to next page and the Code of Conduct)

Pecuniary Interest

- 4.1 A pecuniary interest is an interest that you have in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to you or a person referred to in clause 4.3.
- 4.2 You will not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision you might make in relation to the matter, or if the interest is of a kind specified in clause 4.6.
- 4.3 For the purposes of this Part, you will have a pecuniary interest in a matter if the pecuniary interest is:
 - (a) your interest, or
 - (b) the interest of your spouse or de facto partner, your relative, or your partner or employer, or
 - (c) a company or other body of which you, or your nominee, partner or employer, is a shareholder or member.
- 4.4 For the purposes of clause 4.3:
 - (a) Your "relative" is any of the following:
 - i) your parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - ii) your spouse's or de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - iii) the spouse or de facto partner of a person referred to in paragraphs (i) and (i)
 - (b) "de facto partner" has the same meaning as defined in section 21C of the *Interpretation Act 1987*.
- 4.5 You will not have a pecuniary interest in relation to a person referred to in subclauses 4.3(b) or (c)
 - (a) if you are unaware of the relevant pecuniary interest of your spouse, de facto partner, relative, partner, employer or company or other body, or
 - (b) just because the person is a member of, or is employed by, a council or a statutory body, or is employed by the Crown, or
 - (c) just because the person is a member of, or a delegate of a council to, a company or other body that has a pecuniary interest in the matter, so long as the person has no beneficial interest in any shares of the company or body.

Non-Pecuniary

- 5.1 Non-pecuniary interests are private or personal interests a council official has that do not amount to a pecuniary interest as defined in clause 4.1 of this code. These commonly arise out of family or personal relationships, or out of involvement in sporting, social, religious or other cultural groups and associations, and may include an interest of a financial nature.
- 5.2 A non-pecuniary conflict of interest exists where a reasonable and informed person would perceive that you could be influenced by a private interest when carrying out your official functions in relation to a matter.
- 5.3 The personal or political views of a council official do not constitute a private interest for the purposes of clause 5.2.
- 5.4 Non-pecuniary conflicts of interest must be identified and appropriately managed to uphold community confidence in the probity of council decision-making. The onus is on you to identify any non-pecuniary conflict of interest you may have in matters that you deal with, to disclose the interest fully and in writing, and to take appropriate action to manage the conflict in accordance with this code.
- 5.5 When considering whether or not you have a non-pecuniary conflict of interest in a matter you are dealing with, it is always important to think about how others would view your situation.

Managing non-pecuniary conflicts of interest

- 5.6 Where you have a non-pecuniary conflict of interest in a matter for the purposes of clause 5.2, you must disclose the relevant private interest you have in relation to the matter fully and in writing as soon as practicable after becoming aware of the non-pecuniary conflict of interest and on each occasion on which the non-pecuniary conflict of interest arises in relation to the matter. In the case of members of council staff other than the general manager, such a disclosure is to be made to the staff member's manager. In the case of the general manager, such a disclosure is to be made to the mayor.
- 5.7 If a disclosure is made at a council or committee meeting, both the disclosure and the nature of the interest must be recorded in the minutes on each occasion on which the non-pecuniary conflict of interest arises. This disclosure constitutes disclosure in writing for the purposes of clause 5.6.
- 5.8 How you manage a non-pecuniary conflict of interest will depend on whether or not it is significant.
- 5.9 As a general rule, a non-pecuniary conflict of interest will be significant where it does not involve a pecuniary interest for the purposes of clause 4.1, but it involves:
 - a) a relationship between a council official and another person who is affected by a decision or a matter under consideration that is particularly close, such as a current or former spouse or de facto partner, a relative for the purposes of clause 4.4 or another person from the council official's extended family that the council official has a close personal relationship with, or another person living in the same household
 - b) other relationships with persons who are affected by a decision or a matter under consideration that are particularly close, such as friendships and business relationships. Closeness is defined by the nature of the friendship or business relationship, the frequency of contact and the duration of the friendship or relationship.
 - c) an affiliation between the council official and an organisation (such as a sporting body, club, religious, cultural or charitable organisation, corporation or association) that is affected by a decision or a matter under consideration that is particularly strong. The strength of a council official's affiliation with an organisation is to be determined by the extent to which they actively participate in the management, administration or other activities of the organisation.
 - d) membership, as the council's representative, of the board or management committee of an organisation that is affected by a decision or a matter under consideration, in circumstances where the interests of the council and the organisation are potentially in conflict in relation to the particular matter
 - e) a financial interest (other than an interest of a type referred to in clause 4.6) that is not a pecuniary interest for the purposes of clause 4.1
 - f) the conferral or loss of a personal benefit other than one conferred or lost as a member of the community or a broader class of people affected by a decision.
- 5.10 Significant non-pecuniary conflicts of interest must be managed in one of two ways:
 - a) by not participating in consideration of, or decision making in relation to, the matter in which you have the significant non-pecuniary conflict of interest and the matter being allocated to another person for consideration or determination, or
 - b) if the significant non-pecuniary conflict of interest arises in relation to a matter under consideration at a council or committee meeting, by managing the conflict of interest as if you had a pecuniary interest in the matter by complying with clauses 4.28 and 4.29.
- 5.11 If you determine that you have a non-pecuniary conflict of interest in a matter that is not significant and does not require further action, when disclosing the interest you must also explain in writing why you consider that the non-pecuniary conflict of interest is not significant and does not require further action in the circumstances.
- 5.12 If you are a member of staff of council other than the general manager, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of your manager. In the case of the general manager, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of the mayor.
- 5.13 Despite clause 5.10(b), a councillor who has a significant non-pecuniary conflict of interest in a matter, may participate in a decision to delegate consideration of the matter in question to another body or person.
- 5.14 Council committee members are not required to declare and manage a non-pecuniary conflict of interest in accordance with the requirements of this Part where it arises from an interest they have as a person chosen to represent the community, or as a member of a non-profit organisation or other community or special interest group, if they have been appointed to represent the organisation or group on the council committee.

SPECIAL DISCLOSURE OF PECUNIARY INTEREST DECLARATION

This form must be completed using block letters or typed.

If there is insufficient space for all the information you are required to disclose, you must attach an appendix which is to be properly identified and signed by you.

By <i>[insert full name of councillor]</i>	
In the matter of <i>[insert name of environmental planning instrument]</i>	
Which is to be considered at a meeting of the <i>[insert name of meeting]</i>	
Held on <i>[insert date of meeting]</i>	
PECUNIARY INTEREST	
Address of the affected principal place of residence of the councillor or an associated person, company or body <i>(the identified land)</i>	
Relationship of identified land to councillor <i>[Tick or cross one box.]</i>	<input type="checkbox"/> The councillor has interest in the land (e.g. is owner or has other interest arising out of a mortgage, lease, trust, option or contract, or otherwise). <input type="checkbox"/> An associated person of the councillor has an interest in the land. <input type="checkbox"/> An associated company or body of the councillor has interest in the land.
MATTER GIVING RISE TO PECUNIARY INTEREST¹	
Nature of land that is subject to a change in zone/planning control by proposed LEP <i>(the subject land²)</i> <i>[Tick or cross one box]</i>	<input type="checkbox"/> The identified land. <input type="checkbox"/> Land that adjoins or is adjacent to or is in proximity to the identified land.
Current zone/planning control <i>[Insert name of current planning instrument and identify relevant zone/planning control applying to the subject land]</i>	
Proposed change of zone/planning control <i>[Insert name of proposed LEP and identify proposed change of zone/planning control applying to the subject land]</i>	
Effect of proposed change of zone/planning control on councillor or associated person <i>[Tick or cross one box]</i>	<input type="checkbox"/> Appreciable financial gain. <input type="checkbox"/> Appreciable financial loss.

[If more than one pecuniary interest is to be declared, reprint the above box and fill in for each additional interest]

Councillor's Signature: **Date:**

This form is to be retained by the council's general manager and included in full in the minutes of the meeting

Last Updated: 3 June 2019

Important Information

This information is being collected for the purpose of making a special disclosure of pecuniary interests under clause 4.36(c) of the Model Code of Conduct for Local Councils in NSW (the Model Code of Conduct).

The special disclosure must relate only to a pecuniary interest that a councillor has in the councillor's principal place of residence, or an interest another person (whose interests are relevant under clause 4.3 of the Model Code of Conduct) has in that person's principal place of residence.

Clause 4.3 of the Model Code of Conduct states that you will have a pecuniary interest in a matter because of the pecuniary interest of your spouse or your de facto partner or your relative or because your business partner or employer has a pecuniary interest. You will also have a pecuniary interest in a matter because you, your nominee, your business partner or your employer is a member of a company or other body that has a pecuniary interest in the matter.

"Relative" is defined by clause 4.4 of the Model Code of Conduct as meaning your, your spouse's or your de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child and the spouse or de facto partner of any of those persons.

You must not make a special disclosure that you know or ought reasonably to know is false or misleading in a material particular. Complaints about breaches of these requirements are to be referred to the Office of Local Government and may result in disciplinary action by the Chief Executive of the Office of Local Government or the NSW Civil and Administrative Tribunal.

This form must be completed by you before the commencement of the council or council committee meeting at which the special disclosure is being made. The completed form must be tabled at the meeting. Everyone is entitled to inspect it. The special disclosure must be recorded in the minutes of the meeting.

¹ Clause 4.1 of the Model Code of Conduct provides that a pecuniary interest is an interest that a person has in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to the person. A person does not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision the person might make in relation to the matter, or if the interest is of a kind specified in clause 4.6 of the Model Code of Conduct.

² A pecuniary interest may arise by way of a change of permissible use of land adjoining, adjacent to or in proximity to land in which a councillor or a person, company or body referred to in clause 4.3 of the Model Code of Conduct has a proprietary interest

Item: 05

Subject: DA2019-254.1 INDUSTRIAL BUILDING AND CARETAKER'S RESIDENCE - LOT 2 DP 1084479, NO. 3 PRODUCTION DRIVE, WAUCHOPE.

Report Author: Development Assessment Planner, Beau Spry

Applicant: Mark Donney C/- Collins W Collins Pty Ltd
Owner: Mark Donney
Estimated Cost: \$430,000
Parcel no: 47840

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA2019 - 254.1 for an Industrial building and caretaker's residence at Lot 2 DP 1084479 No. 3 Production Drive, Wauchope, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for an industrial building and caretaker's residence at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, one (1) submission has been received.

The proposal has been amended during the assessment of application.

This report recommends that the subject development application be approved subject to the conditions included at Attachment 1.

This application was previously referred to the Development Assessment Panel on 9 October 2019 and the application was deferred by the DAP to address a number of issues. The DAP resolution and commentary on the applicant's response is provided below:

ITEM: 06 DA2019-254.1 INDUSTRIAL BUILDING AND CARETAKER'S RESIDENCE - LOT 2 DP 1084479, NO. 3 PRODUCTION DRIVE, WAUCHOPE.

Speakers: Derek Collins (applicant)

CONSENSUS:

That the determination by the Development Assessment Panel (DAP) of DA2019 - 254 for an industrial building and caretaker's residence at Lot 2 DP1084479, be deferred to address the following:

1. *The Applicant give consideration to an amended layout which better satisfies section 3.5.3.3 of Development Control Plan 2013 to require open storage areas at the rear.*

Comment:

The proposed layout has been amended to situate open storage and work areas to the rear of the managers residence, and specific landscaping detail is proposed for the site frontage.

2. *The Applicant rationalise the parking layout to be a safe and minimise potential for conflict between workers and customers.*

Comment:

The parking layout has been revised as per the recommendation, the details of which are provided later in this report and in Attachment 2.

3. *The Applicant submit a more detailed landscaping plan inclusive of species of plantings.*

Comment:

A detailed landscaping plan has been submitted as part of the revised application.

4. *The Applicant relocate the parking spaces beside the storage containers*

Comment:

The parking layout has been revised as per the recommendation, the details of which are provided later in this report and in Attachment 2.

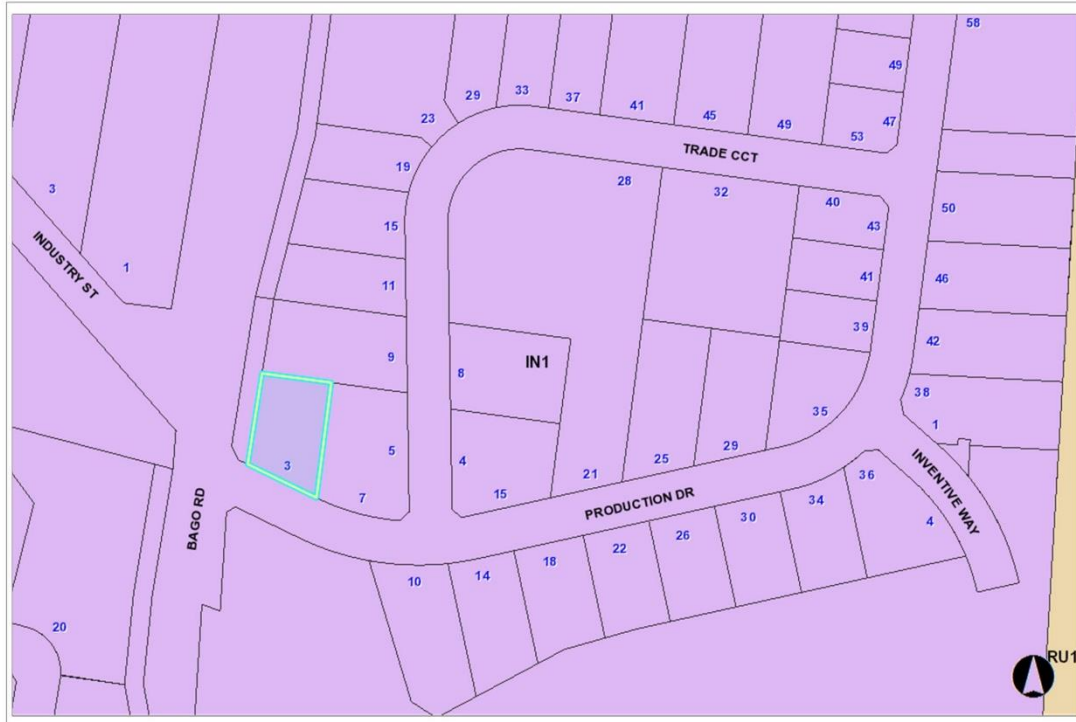
This report considers the amended details as included in Attachment 2 and recommends that the development be approved subject to the conditions included in Attachment 1

1. BACKGROUND

Existing Sites Features and Surrounding Development

The site has an area of 2088.123m².

The site is zoned IN1 General Industrial in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The industrial estate precinct comprises of a mix of large and small scale sheds of both single and two storeys.

The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:



2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Industrial building for the manufacture of pre-fabricated structures (i.e. barn-style dwellings) and sheds;
- Open storage areas to accommodate storage containers for the purpose of storing materials to be used for the pre-fabricated structures;
- Caretaker's residence for on-site manager;
- Caretaker's residence incorporates an office and showroom for display purposes only.

Refer to attachments at the end of this report for further details

Application Chronology

- 10 April 2019 - Application lodged
- 11 April 2019 - Application notified
- 29 April 2019 - Submission received
- 14 May 2019 - Site inspection
- 29 May - 13 September - Further information requested and submitted
- 9 October 2019 - Referred to DAP
- 23 October 2019 - Additional information and amended plans received

3. STATUTORY ASSESSMENT**Section 4.15(1) Matters for Consideration**

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) **The provisions (where applicable) of:**
(i) **Any Environmental Planning Instrument**

State Environmental Planning Policy No. 33 - Hazardous and Offensive Development

The subject SEPP was introduced to clarify the definitions for hazardous and offensive industries and to apply guidelines for the assessment of industries that have the potential to create hazards or an offence. In this case, the use of the site is nominated as predominately storage and supply of pre-fabricated barn-style dwellings with an ancillary caretaker's residence dwelling. Given the nature of the proposal it is unlikely that the proposal will create any hazard or offence. The development can be assessed as submitted rather than as a hazardous or offensive industry.

State Environmental Planning Policy No. 44 - Koala Habitat Protection

There is no Koala Plan of Management on the site. Additionally, the site is less than 1ha in area therefore no further investigations are required. The application has demonstrated that no habitat will be removed or modified therefore no further investigations are required.

State Environmental Planning Policy No. 55 – Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

State Environmental Planning Policy No. 62 – Sustainable Aquaculture

Given the nature of the proposed development and proposed stormwater controls, the proposal will be unlikely to have any adverse impact on existing aquaculture industries.

State Environmental Planning Policy (Coastal Management) 2018

The site is not located within a coastal use area or coastal environment area.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate (995669S_02) has been submitted demonstrating that the caretaker's residence proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

State Environmental Planning Policy (Infrastructure) 2007

The proposed development does not trigger any relevant clauses in relation to roads in the SEPP and is unlikely to create any conflict in terms of traffic or noise.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2, the subject site is zoned IN1 General Industrial.
- Clause 2.3(1) and the IN1 zone landuse table - The proposed development for storage and supply of pre-fabricated barn-style dwellings with an ancillary managers residence dwelling is a permissible landuse with consent. While dwellings are normally prohibited, it is considered that dwelling acts as a site office and display example of the product. These reasons coupled with conditions ensures the managers residence will remain ancillary/subordinate use is permissible.
- The objectives of the IN1 zone are as follows:
 - To provide a wide range of industrial and warehouse land uses.
 - To encourage employment opportunities.
 - To minimise any adverse effect of industry on other land uses.
 - To support and protect industrial land for industrial uses.
 - To enable other land uses that provide facilities or services to meet the day-to-day needs of workers in the area.
- Clause 2.3(2) - The proposal is consistent with the zone objectives having regard to the following:
 - The proposal is a permissible landuse;
 - The development is for an industrial use on industrial land;

- The development would encourage employment opportunities;
- The proposal has demonstrated that impacts on other land uses can be satisfactorily managed.
- Clause 4.3 and 4.4 - There is no maximum height or floor space ratio applicable to the site.
- Clause 5.9 - No significant trees listed in Development Control Plan 2013 are proposed to be removed. In addition, site as permitted to be cleared under the subdivision that creates the property.
- Clause 5.10 - The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.13 - Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.

(ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply to the site.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

DCP 2013: Chapter 3.5 - Industrial Development			
DCP Objective	Development Provisions	Proposed	Complies
3.5.3.1	Minimum setbacks are provided as follows: <ul style="list-style-type: none"> • 10m from a classified road; • 7.6m from any other road boundary; • 3m from any secondary road frontage. 	Minimum setback of 35m to Production Drive from industrial shed component. Minimum setback of 7.6m to Production Drive from caretaker's residence component.	Yes
3.5.3.2	Elevations of building which are visible from a public road, reserve or adjacent or adjoining residential areas are to be constructed using: <ul style="list-style-type: none"> • brick, masonry, pre-coloured metal cladding, or • appropriately finished 'tilt-slab' concrete; or • a combination of a number of these materials. 	Pre-coloured metal cladding.	Yes
	Large unrelieved expanses of wall or building mass are not favoured, and as such	Front elevation broken up with door openings and provided with some articulation with managers residence to the	Yes

	should be broken up by the use of suitable building articulation, fenestration or alternative architectural enhancements.	front with balcony.	
3.5.3.3	Material storage/work areas and volumes to be provided with application.	Storage and work areas have been shown. The proposed storage areas will accommodate storage containers for the purpose of storing materials to be used for the pre-fabricated structures. No work areas are proposed.	Yes
	Open work and storage areas to be located at rear of premises and screen from view by landscaping and/or fencing minimum 2m high.	Onsite storage is proposed to be located behind the managers residence. The proposed development is to be used primarily for the manufacture of pre-fabricated structures (i.e. barn-style dwellings) and sheds. The proposed storage areas will accommodate storage containers for the purpose of storing materials to be used for the pre-fabricated structures as well as providing storage area for machinery and vehicles. The development frontage is proposed to be fenced and landscaped.	Yes
3.5.3.4	Detailed landscaping plan submitted.	A satisfactory landscaping plan submitted including planting species has been provided.	Yes
	Landscaped strip 3m wide for 2/3 of each road frontage.	3m wide landscaping strip to Production Drive boundary.	Yes
	No fencing in front setback unless for display items. High quality fencing and landscaping.	No fence proposed in front setback. 1.8m high metal mesh fence proposed for front boundary.	Yes
3.5.3.5	An onsite recreation area is provided for staff that: <ul style="list-style-type: none"> Includes seating, tables and rubbish bin. If outside, is adequately protected from the weather 	Outdoor staff recreational area indicated. There are also facilities located in the ancillary office available for staff use.	Yes

	<ul style="list-style-type: none"> Is safely accessible to all staff. Is separate private from public areas. Is located away from noisy or odorous activities. 		
3.5.3.6	Provide onsite facilities for changing, showering and secure bike storage.	<p>2x toilet/change room facilities provided in the industrial component.</p> <p>The manager's residence will also provide for changing/showering facilities.</p>	Yes
3.5.3.7	Development complies with NSW Industrial Noise Policy.	Capable of complying. The site is within an established industrial context and separated from the nearest residential uses by approx. 500m. Condition recommended restricting noise generation.	Yes
	Building openings located to minimise noise impacts if within 400m of residential zone.	Building openings oriented towards adjoining industrial activities.	Yes
	External plant such as generators, air conditioning plant and the like, should be enclosed to minimise noise nuisance and located away from residences.	None proposed.	n/a
	External and security lighting should be directed and shielded to avoid light spillage to adjoining residential areas.	No lighting proposed that is directed at residential receivers. This is recommended to be reinforced via conditions.	n/a
	Driveways should be arranged or screened to avoid headlight glare on residential windows.	Properties opposite the driveway are industrial uses and would not be impacted by headlight glare.	Yes
3.5.3.8	<p>Office space ancillary to the industrial use is permissible with consent, subject to satisfaction of the following matters:</p> <ul style="list-style-type: none"> That the office component of a proposed development is ancillary to the functions carried out in 	<p>The caretaker's residence incorporates an office and showroom for display purposes only to promote the pre-fabricated structures/sheds. The proposal does not include any retailing.</p> <p>The proposed caretaker's residence, office and showroom are ancillary uses to</p>	Yes

	<p>the factory, warehouse or other industrial use.</p> <ul style="list-style-type: none"> • That the office area is not leased to a separate company or entity. • That parking facilities are adequate to cater for the size of the office development. 	<p>the primary industrial use and are not proposed to be separately leased. Conditions are recommended to reinforce that it is not to be used as a separate business.</p> <p>Parking calculations for the development have accounted for the ancillary components.</p>	
3.5.3.9	The site should be serviced by reticulated water (and dual reticulation where this is available), sewer and telecommunications.	Yes	Yes
3.5.3.10	Garbage storage areas are not visible from a public place.	Garbage is capable of being stored out of public view. Condition recommended confirming this requirement.	Yes
3.5.3.11	Stormwater management strategy prepared.	Conditions recommended to be imposed to address stormwater management.	
	Rainwater tank and dual reticulation for non-potable uses on the site.	Rainwater tank proposed. Dual reticulation not available to the site.	Yes

DCP 2013: General Provisions

DCP Objective	Development Provisions	Proposed	Complies
2.7.2.2	<p>Design addresses generic principles of Crime Prevention Through Environmental Design guideline:</p> <ul style="list-style-type: none"> • Casual surveillance and sightlines • Land use mix and activity generators • Definition of use and ownership • Lighting • Way finding • Predictable routes and entrapment locations 	The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The caretaker's residence provides supervision and casual surveillance of the site.	Yes
2.3.3.1	Cut and fill 1.0m max. 1m outside the perimeter of the external building walls	Cut of up to 2m proposed more than 1m outside the external wall. Considered acceptable having regard to the scale of the building. Conditions recommended requiring engineering certification of the proposed retaining wall and	<p>No, but acceptable</p> <p>Variation sought below.</p>

		detailed design of stormwater drainage.	
2.3.3.2	1m max. height retaining walls along road frontages	None proposed.	Yes
	Any retaining wall >1.0 in height to be certified by structural engineer	Max retaining proposed 2.0m adjacent the northern boundary. Condition recommended confirming this requirement.	Yes
2.3.3.8 onwards	Removal of hollow bearing trees	None proposed to be removed.	Yes
2.6.3.1	Tree removal (3m or higher with 100mm diameter trunk and 3m outside dwelling footprint	No trees proposed to be removed.	n/a
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.	
2.5.3.2	New accesses not permitted from arterial or distributor roads. Existing accesses rationalised or removed where practical	Access to Production Drive.	Yes
	Driveway crossing/s minimal in number and width including maximising street parking.	Single crossing of acceptable width.	Yes
2.5.3.3	Off-street parking in accordance with Table 2.5.1. Industry: 1 space per 70m2 gross floor area Office: 1 space per 30m2 Storage: 1 space per 100m2 Reduction possible if supported by parking demand study.	Proposal includes: Industrial workspace: 478m ² GFA. Storage: 444m ² GFA. Showroom: 1 Managers Residence: 1 Therefore, parking requirements are: Industrial workspace: 6.8 (7) Storage: 4.4 (5) Showroom: 1.0 Managers Residence: 1.0 Total Required: 14 spaces The overall parking demand of the development is therefore 14 spaces. The submitted plan identifies 14 parking spaces and complies with the minimum requirement.	Yes

2.5.3.7	Customer parking to be easily accessible.	Parking at front of the site and easily accessible.	Yes
	Parking in accordance with AS 2890.1.	Capable of complying. Certification of compliance required prior to Construction Certificate and Occupation Certificate.	Yes
2.5.3.8	Aged and disabled persons and persons wheeling prams or trolleys are provided with suitable access and parking in accordance with AS 2890.1 and AS 2890.2.	One accessible parking space proposed.	Yes
2.5.3.9	Bicycle and motorcycle parking considered and designed generally in accordance with the principles of AS 2890.3	Motorcycles can utilise car spaces and area exists onsite to cater for informal bicycle spaces.	Yes
2.5.3.10	Parking concessions possible for conservation of heritage items	No heritage exists onsite.	Yes
2.5.3.11	Section 94 contributions	Refer to main body of report.	
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Appropriate perimeter landscaping proposed.	Yes
2.5.3.14	Sealed driveway surfaces unless justified	Condition recommended confirming requirement for sealed surface.	Yes
2.5.3.15	Driveway grades for first 6m of 'parking area' shall be 5% grade (Note AS/NZS 2890.1 permits steeper grades)	Capable of complying. Details to be submitted with CC/S138 applications.	Yes
2.5.3.16	Transitional grades min. 2m length	Capable of complying. Details to be submitted with CC/S138 applications.	Yes
2.5.3.17	Parking areas to be designed to avoid concentrations of water runoff on the surface.	Stormwater management plan to be submitted prior to the issue of a Construction Certificate.	Yes
	No direct discharge to K&G or swale drain	Development required to be connected to the piped drainage in Production Place. Stormwater management plan to be submitted prior to the issue of a Construction Certificate.	Yes
2.5.3.19	Off street commercial vehicles facilities are provided in accordance with AS/NZS 2890.2	Capable of complying.	Yes
	Loading bays will be	73m ² loading bay proposed,	Yes

	<p>provided in accordance with the following requirements;</p> <ul style="list-style-type: none"> • Minimum dimensions to be 3.5m wide x 6m long. (This may increase according to the size and type of vehicle). • Vertical clearance shall be a minimum of 5m. • Adequate provision shall be made on-site for the loading, unloading and manoeuvring of delivery vehicles in an area separate from any customer car parking area. • A limited number of 'employee only' car parking spaces may be combined with loading facilities. • Loading areas shall be designed to accommodate appropriate turning paths for the maximum design vehicle using the site. • Vehicles are to be capable of manoeuvring in and out of docks without causing conflict with other street or on-site traffic. • Vehicles are to stand wholly within the site during such operations. 	<p>approximately 16m x 6m.</p> <p>The submitted plans demonstrate that delivery vehicles are able to manoeuvre within the site and exit driving forwards.</p>	
	Other commercial development shall provide one loading bay for the first 1,000m ² floor space and one additional bay for each additional 2,000m ² .	One loading bay proposed.	Yes
2.5.3.20	The location and design of loading bays should integrate into the overall	Satisfactory integration.	Yes

	design of the building and car parking areas.		
	Where visible from the public domain, loading bays are located behind the building.	Loading bay will be visible from the public road, but is enclosed with a roller door. Landscaping in the site frontage would also screen the loading area to some extent. Considered acceptable.	Yes
2.5.3.21	Plans to confirm vehicular access, circulation and manoeuvring in accordance with AUSTROADS and AS 2890.	Submitted plans demonstrate that satisfactory circulation and manoeuvring areas are available.	Yes
	Adequate area provided for loading/unloading and manoeuvring of B-Doubles where access is available from approved B-Double routes.	B-Double access not proposed. Proposal is for 1 industrial shed, and it is unlikely that B-doubles will utilise the site.	n/a
	Ingress and egress in a forward direction.	Site allows ingress and egress of vehicles in a forward direction.	Yes
	Driveways >6m from tangent point of kerb radius and >1.5m from common side boundary with another lot.	Driveway design acceptable.	Yes
	Driveways not located within intersection or restricted areas, and adequate sight distance available.	Driveway location acceptable.	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development

	Requirements	Proposed	Complies
3.2.2.2	Front setback (Residential not R5 zone): <ul style="list-style-type: none"> • Min. 6.0m classified road • Min. 4.5m local road or within 20% of adjoining dwelling if on corner lot • Min. 3.0m secondary road Min. 2.0m Laneway	Minimum 17.3m front setback to caretaker's residence.	Yes
3.2.2.5	Side setbacks: <ul style="list-style-type: none"> • Ground floor = min. 	First floor setback minimum 3m.	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development

	Requirements	Proposed	Complies
	0.9m <ul style="list-style-type: none"> First floors & above = min. 3m setback or where it can be demonstrated that overshadowing not adverse = 0.9m min. Building wall set in and out every 12m by 0.5m 		
3.2.2.6	35m ² min. private open space area including a useable 4x4m min. area which has 5% max. Grade and directly accessible from ground floor living area.	<p>Proposed caretaker's residence is located at ground floor level and has a private open space of approximately 37m² and is therefore considered acceptable for the proposed use.</p> <p>The on-site manager to provide 24/7 surveillance of the open storage area and premises generally. It should be noted that the office/managers residence is considered ancillary to the primary use of the site.</p>	Yes
3.2.2.10	Privacy: <ul style="list-style-type: none"> Direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent dwellings. ie. 1.8m fence or privacy screening which has 25% max. openings and is permanently fixed Privacy screen required if floor level > 1m height, window side/rear setback (other than bedroom) is less than 3m and sill height less than 1.5m Privacy screens provided to 	<p>Privacy adequately addressed through building design and separation.</p> <p>Primary living spaces located on the ground floor, with site boundaries fenced at 1.8m high and site landscaping proposed.</p>	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development

	Requirements	Proposed	Complies
	balconies/verandahs etc. which have <3m side/rear setback and floor level height >1m		

The proposal seeks to vary Development Provision Clause 2.3.3.1 relating to maximum recommended cut levels outside the building.

The relevant objectives are: To ensure that design of any building or structure integrates with the topography of the land to:

- *Minimise the extent of site disturbance caused by excessive cut and fill to the site.*
- *Ensure there is no damage or instability to adjoining properties caused by excavation or filling.*
- *Ensure that there is no adverse alteration to the drainage of adjoining properties.*
- *Ensure the privacy of adjoining dwellings and private open space are protected.*
- *Ensure that adequate stormwater drainage is provided around the perimeter of buildings and that overflow paths are provided.*

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The subject site has an approximate 3.5m fall from north to south. The proposed cut is required to achieve compliant grades for vehicle access and car parking.
- The proposal includes the construction of a retaining wall of varying heights with the maximum height being 2.0m adjacent the northern boundary. This has been reviewed by Council's engineering staff and conditioned for engineering certification taking note of any potential risk to neighbouring properties.
- The proposal incorporates stormwater drainage measures via a stormwater drainage plan which has been reviewed by Council's Engineering staff and conditions recommended accordingly.

Based on the above assessment, the variations proposed to the provisions of the DCP are considered acceptable and the relevant objectives have been satisfied. Cumulatively, the variations do not amount to an adverse impact or a significance that would warrant refusal of the application.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into relating to the site.

iv) Any matters prescribed by the Regulations

None prescribed.

- (b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality**

Context and Setting

The site has a general easterly street frontage orientation to Production Drive. The site is located within an industrial area that will eventually be surrounded by similar industrial uses and adjoining the site to the north, east, south and west are further IN1 General Industrial zoned premises of a similar building type.

- The proposal will be unlikely to have any adverse impacts to existing adjoining properties and satisfactorily addresses the public domain.
- The proposal does not have a significant adverse impact on existing view sharing.
- The proposal does not have significant adverse lighting impacts.
- There are no significant adverse privacy impacts. Adequate building separation and tenancy is existing.

Roads, Traffic and Transport

The proposal has frontage to Production Drive. Production Drive is a sealed public local road under the care and control of Council. The proposal will be unlikely to have any adverse impacts within the immediate locality in terms access, transport and traffic. The existing road network will satisfactorily cater for any potential increase in traffic generation as a result of the development.

Vehicle access to Lot 2 is proposed via a driveway location fronting Production Drive.

Parking and Manoeuvring

A total of 14 parking spaces have been provided on-site. Parking and driveway widths on site can comply with relevant Australian Standards (AS 2890) and conditions have been imposed to reflect these requirements.

Due to the type of development, car park circulation is required to enable vehicles to enter and exit the site in a forward manner. The amended site plans submitted after the 9 October DAP meeting show adequate area is available and conditions have been recommended to reflect these requirements.

Refer to relevant recommended conditions of consent.

Water Supply Connection

Council records indicate that the development site has an existing sealed water service from the 150 DICL water main on the same side of Bago Road. Each proposed unit requires an individual metered water service. Final water service sizing will need to be determined by a hydraulic consultant to suit the domestic and commercial components of the development, as well as fire service and backflow protection requirements in accordance with AS3500.

Detailed plans will be required to be submitted for assessment with the S.68 application. Refer to relevant recommended conditions of consent.

Sewer Connection

Council records indicate that the development site is connected to sewer via junction to the existing sewer line that runs along the southern property boundary. The site may discharge all sewage to this existing point of connection. Details are to be shown on the engineering plans.

Detailed plans will be required to be submitted for assessment with the S.68 application. Refer to relevant recommended conditions of consent.

Stormwater

The site naturally grades towards the Production Drive street frontage and is currently un-serviced. Along the street frontage within the road reserve there is the existing public piped system.

The legal point of discharge for the proposed development is defined as a direct connection to Council's stormwater pipeline within Production Drive.

A detailed site stormwater management plan will be required to be submitted for assessment with the S.68 application and prior to the issue of a CC.

In accordance with Council's AUSPEC requirements, the following must be incorporated into the stormwater drainage plan:

- The design is to make provision for the natural flow of stormwater runoff from uphill/upstream properties and lands. The design must include the collection of such waters and discharge to the Council's drainage system.
- Connection into the existing kerb inlet pit is to be at an angle greater than 45 degrees from the existing pipeline alignment, if this cannot be achieved an extension of the existing system will be required to allow suitable connection of the development site to the piped public system.

Refer to relevant recommended conditions of consent.

Other Utilities

Telecommunication and electricity services are available to the site.

Heritage

Following a site inspection and a search of Council records, no known items of Aboriginal or European heritage significance exist on the property. No adverse impacts anticipated.

Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will be unlikely to have any adverse impacts on water resources and the water cycle.

Soils

The proposed development will be unlikely to have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

Air and microclimate

The construction and/or operations of the proposed development will be unlikely to result in any adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.

Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX or Section J of the Building Code of Australia. No adverse impacts anticipated.

Noise and vibration

No adverse impacts anticipated. Condition recommended to restrict construction to standard construction hours.

Bushfire

The site is identified as being bushfire prone.

The Applicant has submitted a bushfire BAL certificate for the caretaker's dwelling prepared by a Certified Consultant.

An assessment of bushfire risk having regard to section 4.3.5 of Planning for Bushfire Protection 2006 including vegetation classification and slope concludes that a Bushfire Attack Level 19 shall be required.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The increase in housing density will improve natural surveillance within the locality and openings from each dwelling overlook common and private areas.

Social impacts in the locality

Given the nature of the proposed development and its' location the proposal is unlikely to result in any adverse social impacts.

Economic impact in the locality

No adverse impacts. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

Construction

No potential adverse impacts identified to neighbouring properties with the construction of the proposal.

Cumulative Impacts

The proposed development is not expected to have any adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposed development is not expected to have any adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(d) Any submissions made in accordance with this Act or the Regulations

One (1) written submission has been received following public exhibition of the application.

Key issues raised in the submission and comments in response to these issues are provided as follows:

Submission Issue/Summary	Planning Comment/Response
Adjacent property zone of influence and impacts of proposed works on neighbouring properties.	<p>Council's engineers have reviewed the proposal and have addressed the concerns through conditions.</p> <p>Condition B3 requires detailed plans for retaining walls to be submitted prior to issue of Construction Certificate.</p> <p>Condition B39 regards earthworks and requires detailed drawings and specifications to be prepared by a professional engineer prior to issue of Construction Certificate.</p> <p>Condition D11 requires earthworks to be supported during construction.</p>
Impacts of stormwater from upstream properties.	<p>A detailed site stormwater management plan will be required to be submitted for assessment with the S.68 application and prior to the issue of a Construction Certificate.</p> <p>Condition B072 regards stormwater and requires detail design to be submitted and approved by Council prior to the issue of Construction Certificate.</p> <p>This condition also references the need for approved provisions for collection and discharge of natural flow of stormwater runoff from uphill/upstream properties/lands.</p>

(e) The Public Interest

The proposed development satisfies relevant planning controls including justified variations and will not adversely impact on the wider public interest.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- Development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- Development contributions will be required under Section 7.12 of the Environmental Planning and Assessment Act 1979.

5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

Attachments

1[View](#). DA2019 - 254.1 Recommended conditions

2[View](#). DA2019 - 254.1 Plans

3[View](#). DA2019 - 254 - Contributions estimate

**FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF
PROPOSED CONDITIONS - 2011****NOTE: THESE ARE DRAFT ONLY****DA NO: 2019/254****DATE: 27/08/2019****PRESCRIBED CONDITIONS**

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

A – GENERAL MATTERS

- (1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Plans	D4190, Revision M, Sheets 1-14	Collins W Collins	29 August 2019
BASIX	995669S_02	Collins W Collins	2 April 2019
Bushfire Certificate	Lot 2 DP 1084479, 3 Production Drive Wauchope NSW	Krisann Johnson BPD-PD-18578	15 February 2019
SoEE	Lot 2 DP 1084479, 3 Production Drive Wauchope NSW	Collins W Collins	March 2019

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
- the appointment of a Principal Certifying Authority; and
 - the date on which work will commence.
- Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.
- (3) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
- (4) (A009) The development site is to be managed for the entirety of work in the following manner:
- Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 - Appropriate dust control measures;
 - Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work

adjoins the public domain, fencing is to be in place so as to prevent public access to the site;

4. Building waste is to be managed via appropriate receptacles into separate waste streams;
5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
6. Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

- (5) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (6) (A032) The developer is responsible for any costs relating to minor alterations and extensions to ensure satisfactory transitions of existing roads, drainage and Council services for the purposes of the development.
- (7) (A033) The applicant shall provide security to the Council for the payment of the cost of the following:
 - a. making good any damage caused to any property of the Council as a consequence of doing anything to which the consent relates,
 - b. completing any public work (such as road work, kerbing and guttering, footway construction, utility services, stormwater drainage and environmental controls) required in connection with the consent,
 - c. remedying any defects in any such public work that arise within twelve (12) months after the work is completed.

Such security is to be provided to Council prior to the issue of the Subdivision Certificate/Construction Certificate or Section 138 of the Roads Act, 1993.

The security is to be for such reasonable amount as is determined by the consent authority, being an amount that is 10% of the contracted works for Torrens Title subdivision development/the estimated cost plus 30% for building development of public works or \$5000, whichever is the greater of carrying out the development by way of:

- i. deposit with the Council, or
- ii. an unconditional bank guarantee in favour of the Council.

The security may be used to meet any costs referred to above and on application being made to the Council by the person who provided the security any balance remaining is to be refunded to, or at the direction of, that person. Should Council have to call up the bond and the repair costs exceed the bond amount, a separate invoice will be issued. If no application is made to the Council for a refund of any balance remaining of the security within 6 years after the work to which the security relates has been completed the Council may pay the balance to the Chief Commissioner of State Revenue under the Unclaimed Money Act 1995.

- (8) (A057) The applicant is to ensure the proposed development will drain to the existing point of connection to Council's sewerage system.
- (9) Strata subdivision is not approved as part of this consent.

B – PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
- Position and depth of the sewer (including junction)
 - Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location
- (2) (B003) Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
1. Sewerage reticulation.
 2. Water supply plans shall include hydraulic plans for internal water supply services and associated works in accordance with AS 3500, Plumbing Code of Australia and Port Macquarie-Hastings Council Policies.
 3. Retaining walls.
 4. Stormwater systems.
 5. Erosion & Sedimentation controls.
 6. Location of all existing and proposed utility services including:
 - a. Conduits for electricity supply and communication services (including fibre optic cable).
 - b. Water supply
 - c. Sewerage
 7. Detailed driveway profile in accordance with Australian Standard 2890, AUSPEC D1, and ASD 202 & ASD 207, Port Macquarie-Hastings Council current version.
- (4) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.
- Such works include, but not be limited to:
- Civil works
 - Traffic management
 - Work zone areas
 - Hoardings
 - Concrete foot paving (width)
 - Footway and gutter crossing
 - Functional vehicular access
- Where works are proposed on an RMS classified facility, the Road Authority shall obtain RMS concurrence prior to any approval.
- (5) (B010) Payment to Council, prior to the issue of the Construction Certificate of the Section 7.11 contributions set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental

Planning and Assessment Act 1979 as amended, and in accordance with the provisions of the following plans:

- Port Macquarie-Hastings Administration Building Contributions Plan 2007
- Hastings S94 Administration Levy Contributions Plan
- Port Macquarie-Hastings Open Space Contributions Plan 2018
- Hastings S94 Major Roads Contributions Plan
- Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005

The plans may be viewed during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.

- (6) (B011) As part of Notice of Requirements by Port Macquarie-Hastings Council as the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution, prior to the issue of a Construction Certificate, of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with the provisions of the relevant Section 64 Development Servicing Plan towards the following:
- augmentation of the town water supply headworks
 - augmentation of the town sewerage system headworks
- (7) (B024) Submission to Council of an application for water meter hire, which is to be referred to the Water Supply section so that a quotation for the installation can be prepared and paid for prior to the issue of a Construction Certificate. This application is also to include an application for the disconnection of any existing service not required.
- (8) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.
- (9) (B039) Detailed drawings and specifications prepared by a professional engineer for all retaining walls supporting:
- i. earthworks that are more than 600mm above or below ground level (existing); or
 - ii. located within 1m of the property boundaries; or
 - iii. earthworks that are more than 1m above or below ground level (existing) in any other location;

are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.

- (10) (B046) The caretaker's dwelling building shall be designed and constructed so as to comply with the Bush Fire Attack (BAL) 19 requirements of Australian Standard 3959 and the specifications and requirements of Planning for Bush Fire Protection. Details shall be submitted to the Principal Certifying Authority with the application for Construction Certificate demonstrating compliance with this requirement.

Please note: Compliance with the requirements of Planning for Bush Fire Protection 2006 to prevail in the extent of any inconsistency with the Building Code of Australia.

- (11) (B042) A certificate from an approved practising chartered professional civil and/or structural engineer certifying the structural adequacy of the proposed retaining walls is to be submitted to Port Macquarie-Hastings Council prior to the release of the Construction Certificate.
- (12) (B072) A stormwater drainage design is to be submitted and approved by Council prior to the issue of a Construction Certificate. The design must be prepared in accordance with Council's AUSPEC Specifications and the requirements of Relevant Australian Standards and make provision for the following:
- a) The legal point of discharge for the proposed development is defined as Council's piped drainage system.
 - b) The design is to be generally in accordance with the stormwater drainage concept plan on Drawing No 4358.02A prepared by Roger G Veness and dated 24-04-2019.
 - c) All allotments must be provided with a direct point of connection to the public piped drainage system. Kerb outlets are not permitted.
 - d) The design is to make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands. The design must include the collection of such waters and discharge to the Council drainage system.
 - e) An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets.
 - f) Stormwater connection into existing kerb inlet pit is to be at an angle greater than 45degrees. If this cannot be achieved then pipe and pit stormwater extension is required in the reserve to achieve connection into pits at angles greater than 45degrees.
- (13) (B053) The design of the carpark and accesses is to be in accordance with Australian Standard 2890 (including AS 2890.1, AS 2890.2 and AS 2890.6). Certification of the design by a suitably qualified consultant is to be provided to the Principal Certifying Authority prior to release of the Construction Certificate.
- (15) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.
- (16) (B195) Council records indicate that the development site has an existing sealed water service from the 150 DICL water main on the same side of Bago Road. Each proposed unit requires an individual metered water service. Final water service sizing will need to be determined by a hydraulic consultant to suit the domestic and commercial components of the development, as well as fire service and backflow protection requirements in accordance with AS3500.
- (17) (B196) Council records indicate that the development site is connected to Sewer via junction to the existing sewer line that runs along the southern property boundary. The site may discharge all sewage to this existing point of connection. Details are to be shown on the engineering plans.

C – PRIOR TO ANY WORK COMMENCING ON SITE

- (1) (C001) A minimum of one (1) weeks' notice in writing of the intention to commence works on public land is required to be given to Council together with the name of the principal contractor and any major sub-contractors engaged to carry out works. Works shall only be carried out by a contractor accredited with Council.
- (2) (C013) Where a sewer manhole and Vertical Inspection Shaft exists within a property, access to the manhole/VIS shall be made available at all times. Before during and after construction, the sewer manhole/VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.

D – DURING WORK

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
 - a. at completion of installation of traffic management works
 - b. when trenches are open, stormwater/water/sewer pipes and conduits jointed and prior to backfilling;
 - c. before pouring of kerb and gutter;
 - d. prior to the pouring of concrete for sewerage works and/or works on public property;
 - e. prior to sealing and laying of pavement surface course.All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public Infrastructure and any other Council approval, prior to proceeding to the next hold point.
- (2) (D006) A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.
- (3) (D011) Provision being made for support of adjoining properties and roadways during construction.

E – PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE

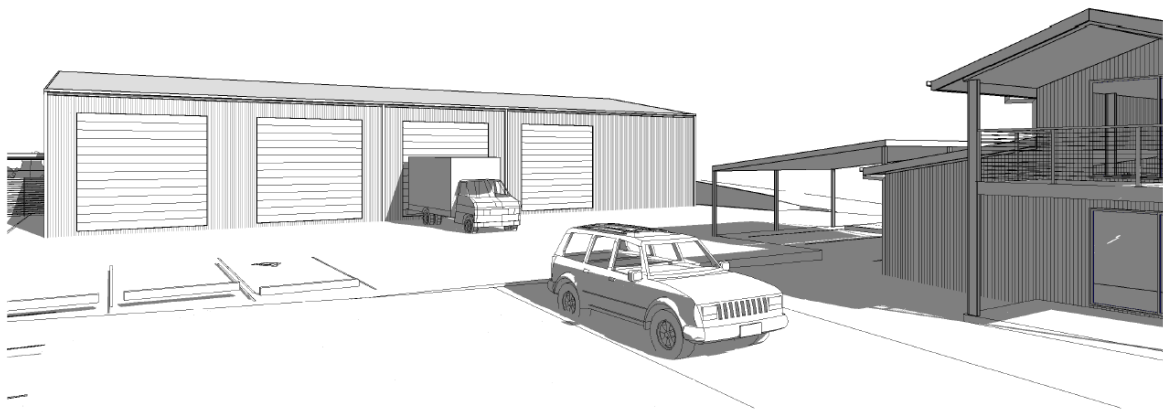
- (1) (E005) Prior to the release of any bond securities held by Council for infrastructure works associated with developments, a formal written application is to be submitted to Council specifying detail of works and bond amount.
- (2) (E030) Vehicle ramps, driveways, turning circles and parking spaces being paved, sealed and line marked prior to occupation or the issue of the Occupation Certificate or commencement of the approved land use.
- (3) (E034) Prior to occupation or the issuing of the Final Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (4) (E036) Certification by a suitably qualified consultant is to be submitted to the Principal Certifying Authority (PCA) confirming that the car park and internal accesses have been constructed in accordance with Port Macquarie-Hastings Development Control Plan 2013 and Australian Standard 2890 (including AS

2890.1, AS 2890.2 and AS 2890.6) prior to occupation or issue of the Occupation Certificate.

- (5) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (6) (E056) A Certificate of Compliance under the provisions of Section 307 of the *Water Management Act* must be obtained prior to the issue of any occupation or subdivision certificate.
- (7) (E066) Ancillary works shall be undertaken at no cost to Council to make the engineering works required by this Consent effective to the satisfaction of Director of Council's Infrastructure Division. Such works shall include, but are not limited to the following:
 - a. The relocation of underground services where required by civil works being carried out.
 - b. The relocation of above ground power and telephone services
 - c. The relocation of street lighting
 - d. The matching of new infrastructure into existing or future design infrastructure

F – OCCUPATION OF THE SITE

- (1) (F001) On site car parking in accordance with the approved plans to be provided in an unrestricted manner at all times during the operations of development for use by both staff and patrons. 14 spaces are to be provided onsite.
- (2) (F003) All loading and unloading operations associated with servicing the site must be carried out within the confines of the site, at all times and must not obstruct other properties/units or the public way.
- (3) (F009) All new and existing essential fire safety measures shall be maintained in working condition at all times.
- (4) (F013) All garbage areas are to be screened from the street, create no adverse odour impact on adjoining properties and be kept free of pests at all times.
- (5) (F015) All work, maintenance and testing of plant and other mechanical equipment shall be carried out within the building.
- (6) (F024) Offensive noise as defined under the Protection of the Environment Operations Act 1997, shall not be generated as a result of the operation of the development
- (7) (F025) Hours of operation of the development are restricted to the following hours:
 - 6am to 6pm - Mondays to Saturdays
 - No work is to be carried out on Sundays and Public Holidays
- (8) (F195) The office and showroom components are to operate ancillary to the industrial use and are not to be a standalone use.
- (9) (F197) All lighting/illumination onsite is to be directed away from any residential receivers and road users.
- (10) (F199) The managers residence cannot be used to sterilise future industrial growth in the area based on noise impacts. In this regard, maintaining acceptable noise levels within the managers residence is the responsibility of the owner/occupier of the site.



NEW COMMERCIAL

LOT No: 2 DP No: 1084479

STREET No: 3

STREET NAME: PRODUCTION DRIVE, WAUCHOPE

CONTENTS

SHEET SHEET NAME

- 1 SITE PLAN
- 2 S6B & S13B PLAN
- 3 BARN FLOOR PLAN
- 4 BARN MEZ. FLOOR PLAN
- 5 SHED FLOOR PLAN
- 6 ELEVATIONS
- 7 ELEVATIONS
- 8 GLAZING
- 9 ROOF PLAN
- 10 ACCESSIBLE WC
- 11 INDICATIVE LANDSCAPE PLAN
- 12 BAL-19 BUSHFIRE CONSTRUCTION NOTES
- 13 BUILDING SPECIFICATIONS
- 14 WORK SAFETY NOTES - COMMERCIAL





PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS.

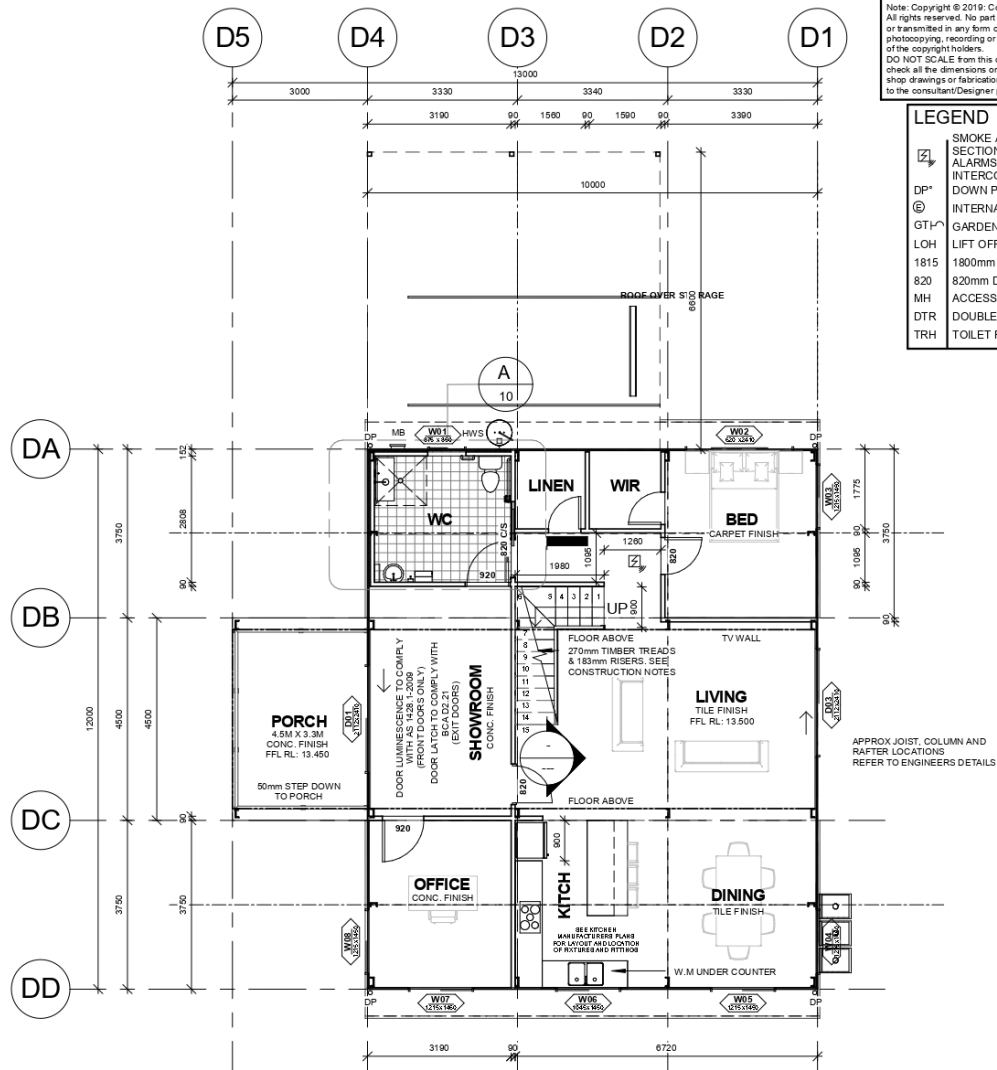
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

BAL = 19
PLEASE REFER TO BUSHFIRE REPORT
BY S & K JOHNSON CONSTRUCTIONS PTY LTD
(KRISANN JOHNSON)

Note: Copyright © 2019: Collins w. Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holder.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the consultant/Designer prior to commencement of work.

LEGEND

- SMOKE ALARMS TO AS 3786 AND SECTION 3.7.2 OF THE BCA. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED
- DOWN PIPE LOCATION TO AS 3500
- INTERNAL VENTILATION TO AS 1668.2
- GARDEN TAP LOCATION
- LIFT OFF HINGE
- 1815 1800mm HIGH x 1500mm WIDE
- 820mm DOOR
- ACCESS MAN HOLE
- DOUBLE TOWEL RAIL
- TOILET ROLL HOLDER



LOWER FLOOR PLAN SCALE 1:100



CONSTRUCTION NOTES:

STAIRS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4688.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

WINDOW NOTES:

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL. 2 BCA PART 3.9.2.5.
WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL. 2 BCA PART 3.9.2.5.
BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL. 2 BCA PART 3.9.2.5.

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF 12 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010

*FLOOR AREA MEASURED FROM EXTERNAL FACE
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS
*ROOF AREA MEASURED AS FOOTPRINT ONLY

AREAS - FLOOR SHED


*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
SHED FLOOR AREA	480.9 m ²
TOTAL	480.9 m ²

AREAS - FLOOR BARN

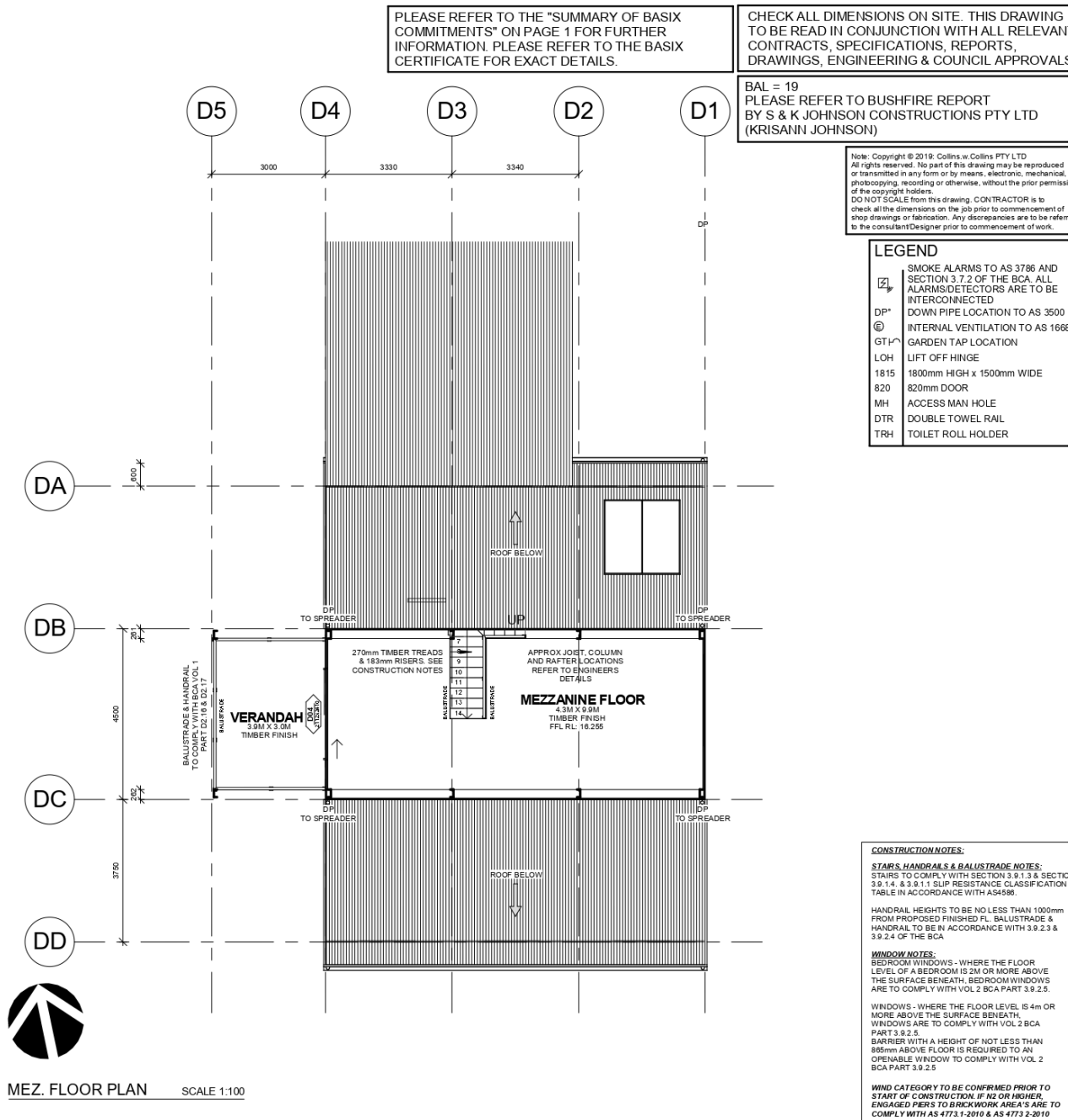
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
BARN OFFICE AREA	Not Enclosed
BARN RESIDENCE AREA	Not Enclosed
BARN SHOWROOM AREA	Not Enclosed
BARN PORCH AREA	13.5 m ²
BARN MEZ. FLOOR AREA	42.7 m ²
BARN VERANDAH AREA	13.2 m ²
TOTAL	69.5 m ²

AREAS - ROOF AREAS

*ROOF AREA MEASURED AS FOOTPRINT ONLY	
NAME	AREA
BARN ROOF AREA	189.0 m ²
SHED ROOF AREA	480.9 m ²

	PROJECT: NEW COMMERCIAL			BARN FLOOR PLAN		DRAWING REVISIONS + NOTES:			
	LOT No: 2	DP No: 1084479	SHEET: 3 OF 14	SCALE:	1: 100	Date:	Detail:	Issue:	Draw:
	STREET No: 3			SHEET SIZE:	A3	29.04.19	PRELIM ENGINEERS DETAILS	H	AE
	STREET NAME: PRODUCTION DRIVE, WAUCHOPE			START DATE:	11.02.19	21.06.19	COUNCIL RFI CHANGES	J	AE
	CLIENT: DONNEY			DWG No:	D4190	24.06.19	FURTHER RFI CHANGES	K	AE
					10.07.19	ENGINEER UPDATES	L	AE	
						29.08.19	NOTATIONS UPDATED	M	AE
						23.10.19	RFI FROM DAP MEETING	N	DC

18A LERO STREET (PO Box 5667), PORT MACQUARIE NSW 2444 T: 02 6583 4411 F: 02 6583 9820 WWW.COLLINSWCOLLINS.COM.AU



AREAS - FLOOR BARN

*FLOOR AREA MEASURED FROM EXTERNAL FACE
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS

NAME	AREA
BARN OFFICE AREA	Not Enclosed
BARN RESIDENCE AREA	Not Enclosed
BARN SHOWROOM AREA	Not Enclosed
BARN PORCH AREA	13.5 m ²
BARN MEZ. FLOOR AREA	42.7 m ²
BARN VERANDAH AREA	13.2 m ²
TOTAL	69.5 m ²

AREAS - FLOOR SHED


*FLOOR AREA MEASURED FROM EXTERNAL FACE
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS

NAME	AREA
SHED FLOOR AREA	480.9 m ²
TOTAL	480.9 m ²

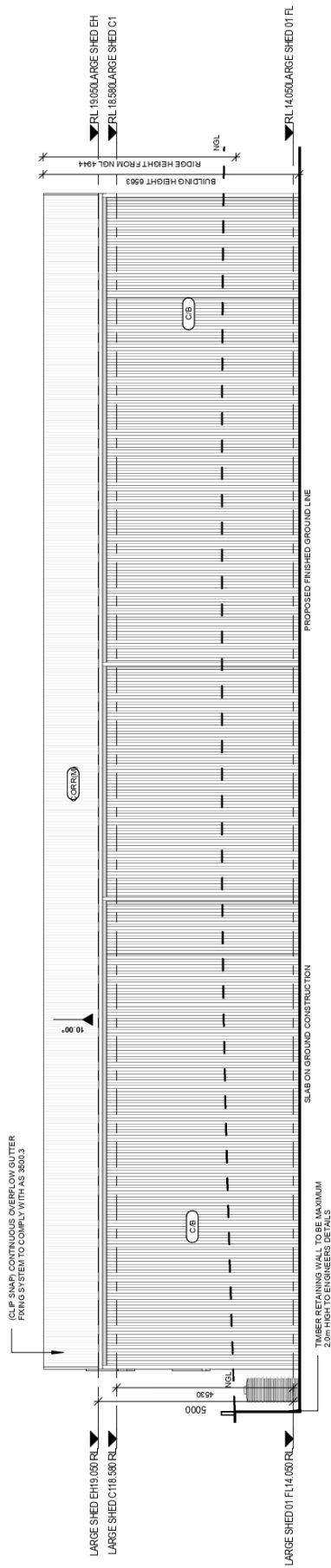
AREAS - ROOF AREAS

*ROOF AREA MEASURED AS FOOTPRINT ONLY

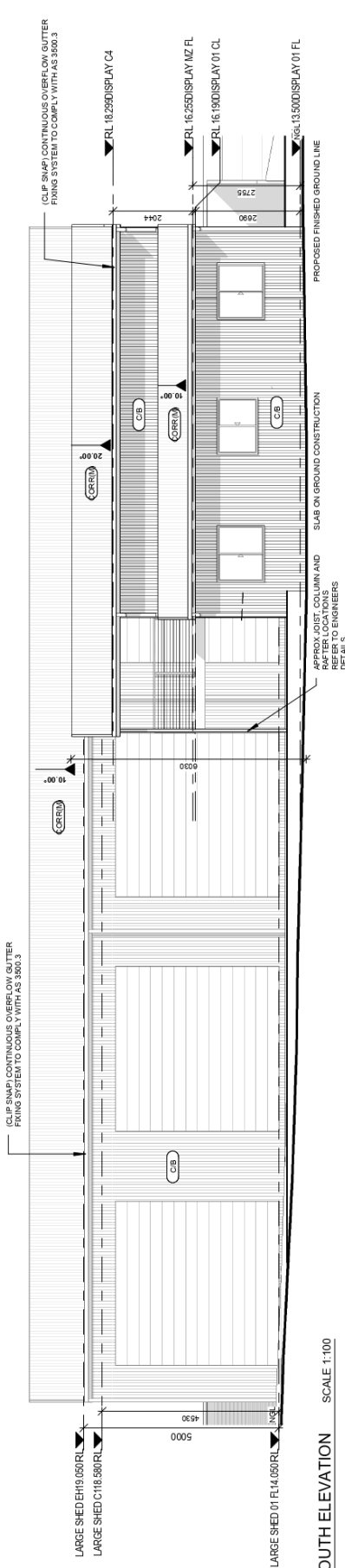
NAME	AREA
BARN ROOF AREA	188.6 m ²
SHED ROOF AREA	480.9 m ²

 <div>collinswcollins BUILDING DESIGNERS</div>	PROJECT: NEW COMMERCIAL			BARN MEZ. FLOOR PLAN		DRAWING REVISIONS + NOTES:				
	LOT No: 2 DP No: 1084479		SHEET: 4 OF 14	SCALE: 1 : 100		Date: Detail:		Issue: Draw		
	STREET No: 3			SHEET SIZE: A3		29.04.19 PRELIM ENGINEERS DETAILS		H AE		
	STREET NAME: PRODUCTION DRIVE, WAUCHOPE			START DATE: 11.02.19		21.06.19 RFI CHANGES		J AE		
	CLIENT: DONNEY			DWG No: D4190		24.06.19 FURTHER RFI CHANGES		K AE		
BBA 1000 STREET (RD Box 5667) Port Macquarie NSW 2444			T: 02 6583 4411		F: 02 6583 9820		10.07.19 ENGINEER UPDATES		L AE	
WWW.COLLINSWCOLLINS.COM.AU			WWW.COLLINSWCOLLINS.COM.AU		WWW.COLLINSWCOLLINS.COM.AU		29.08.19 NOTIFICATIONS UPDATED		M AE	
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NORTH ELEVATION SCALE 1:100



SOUTH ELEVATION SCALE 1:100

GLAZING SPECIFICATIONS:	
WINDOWS SPECIFIED USE NRC UN & SHOWN VALUES AS SPECIFIED OR EQUIVALENT MUST BE USED FOR THIS SITE (REFER TO ENGINEERS CERTIFICATE FOR DETAILS).	
STANDARD GLAZING - SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT.	
WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.	
PLEASE NOTE: ALL GLAZING MATERIALS, GLAZING, SPK ROOMS OR THE LINE TO COMPLY WITH PART 3.6.4.8 OF THE BCA.	
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE OF THE FINISHED FLOOR, WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5.	
WINDOWS AND GLAZING TO COMPLY WITH:	
NS 3040 - GLASS IN BUILDING - SELECTION & INSTALLATION	
NS 3047 - WINDOWS & EXTERNAL DOORS IN BUILDING	
NS 3099 - CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION WAS MADE	

EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
C/B	CORRUGATED METAL SHEET ROOFING (MEDIUM)
STAIRS - HANDRAILS & BALUSTRADE NOTES:	
STARTS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4 & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS 4586.	
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm	
HANDRAILS TO BE IN ACCORDANCE WITH AS 4586	
HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA	

PLEASE REFER TO THE "SUMMARY OF BASIS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIS CERTIFICATE FOR EXACT DETAILS.

BAL = 19


PLEASE REFER TO BUSHFIRE REPORT BY S & K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)

ALL LEVELS WERE COMPLETED BY FRANK OROURKE AND ARE TO AHD. ALL LEVELS AND CONTOURS TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

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DO NOT SCALE from this drawing. CONTRACTOR is to refer to shop drawings or fabrication. Any discrepancies are to be referred to the consultant Designer prior to commencement of work.



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PTY LTD
BUILDING DESIGNERS

PROJECT: NEW COMMERCIAL

LOT No: 2	DP No: 1084479	SHEET: 6 OF 14
STREET NAME: PRODUCTION DRIVE, WAUCHOPE		
CLIENT: DOWNEY		

DRAWING REVISIONS + NOTES:

Date:	Detail:	Issue:	Draw:
29.04.19	PRELIM ENGINEERS DETAILS	H	AE
21.06.19	COUNCIL RFI CHANGES	J	AE
24.06.19	FURTHER RFI CHANGES	K	AE
20.07.19	ENGINEER UPDATES	L	AE
23.08.19	REVISIONS TRACKED	M	AE
23.10.19	REVISIONS TRACKED	N	DC



EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
C.B.	CORRUGATED METAL WALL GLAZING
CORRM	CORRUGATED METAL SHEET ROOFING (METAL)

STAIRS, HANDRAILES & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH SECTION 31.1.8 SECTION 31.1.9 AND 31.2.1.1 OF THE 2003 IBC. BALUSTRADE TABLE IN ACCORDANCE WITH ASHRAE 90.1-2001.
BALUSTRADE HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAILS TO BE IN ACCORDANCE WITH 31.2.3 & 31.2.4 OF THE IBC.

WINDOWS AND GLAZING TO COMPLY WITH:

- 408 UNGLAZED FOR HOLDING
- 426 GLASS IN BUILDING - SELECTION & INSTALLATION
- 507 WINDOWS EXTERNAL DOORS IN BUILDING
- 509 CONSTRUCTION OF BUILDINGS IN BUSH FIRE ZONE
- 510 UNGLAZED FOR HOLDING
- 511 UNGLAZED REFERRED ABOVE ARE THE VERSION ADAPTED BY BCA AT THE TIME THE RELEVANT CERTIFICATE OR COMPLIANCE STATEMENT WAS ISSUED.

BAL = 19
PLEASE REFER TO BUSHFIRE REPORT
BY S & K JOHNSON CONSTRUCTIONS PTY LTD
(KRISIAN JOHNSON)

ALL LEVELS WERE COMPLETED BY FRANK
ORourke AND ARE TO AHD. ALL LEVELS AND
CONTOURS TO BE CONFIRMED BY BUILDER /
SURVEYOR PRIOR TO START OF CONSTRUCTION.

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of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to
check all the dimensions on the job prior to commencement of
shop drawings or fabrication. Any discrepancies are to be referred

PROJECT: NEW COMMERCIAL		ELEVATIONS		DRAWING REVISIONS - NOTES	
LOT NO. 2	DP NO. 108479	SHEET: 7 OF 14	DATE:	DATE:	DATE:
STREET NO. 3		SCALE: 1" = 100'	2/16/19	2/16/19	2/16/19
STREET NAME	PRODUCTION DRIVE WAUCHOPE	SHEET SIZE: A2	2/16/19	2/16/19	2/16/19
START DATE	11/02/19	START DATE: 11/02/19	2/16/19	2/16/19	2/16/19
CLIENT	DOANEY	DWG NO. 04190	2/16/19	2/16/19	2/16/19

DOOR GLAZING SCHEDULE

DOOR GLAZING SCHEDULE						
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONSTRUCTION
D01	DISPLAY 01 FL	SHOWROOM	2112	2410	SLIDING DOOR	STD ALUMINIUM
D03	DISPLAY 01 FL	SHOWROOM	2112	2410	SLIDING DOOR	STD ALUMINIUM
D04	DISPLAY M2 FL	MEZZANINE FLOOR	2112	2410	SLIDING DOOR	STD ALUMINIUM
D05	DISPLAY M2 FL	MEZZANINE FLOOR	2112	2410	SLIDING DOOR	STD ALUMINIUM

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



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BUILDING DESIGNERS
PTY LTD

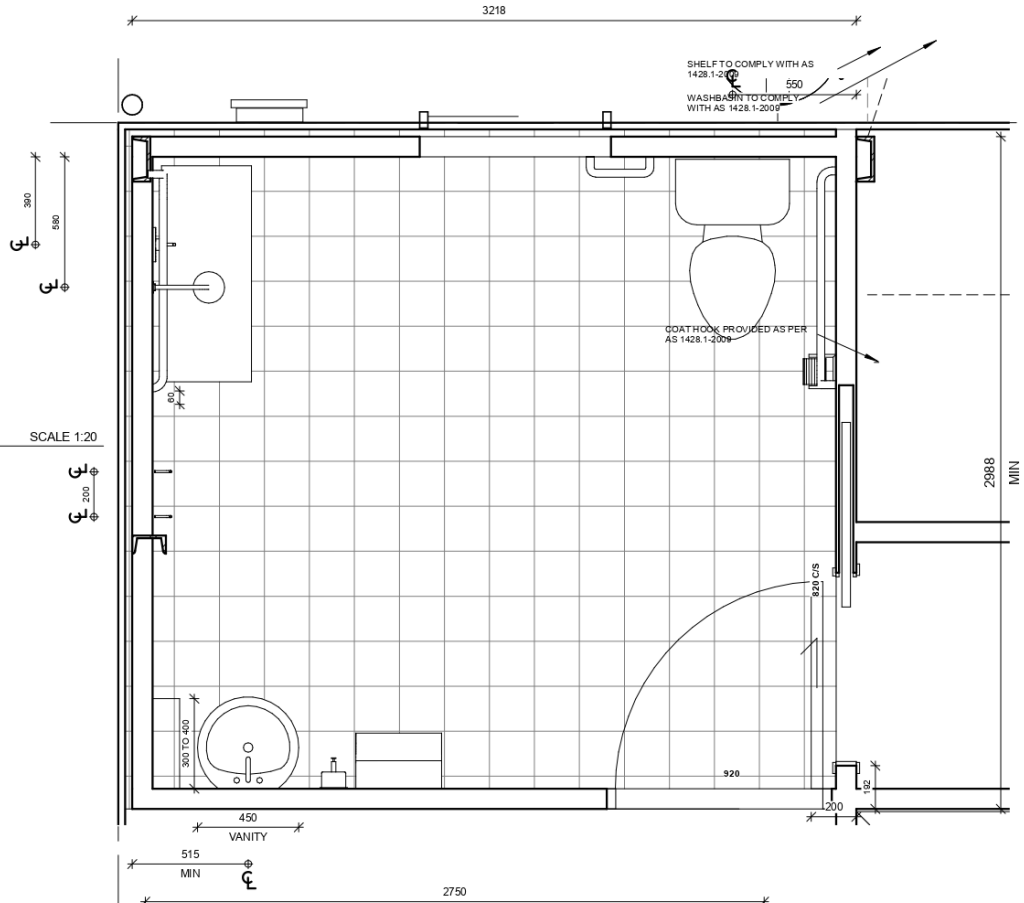






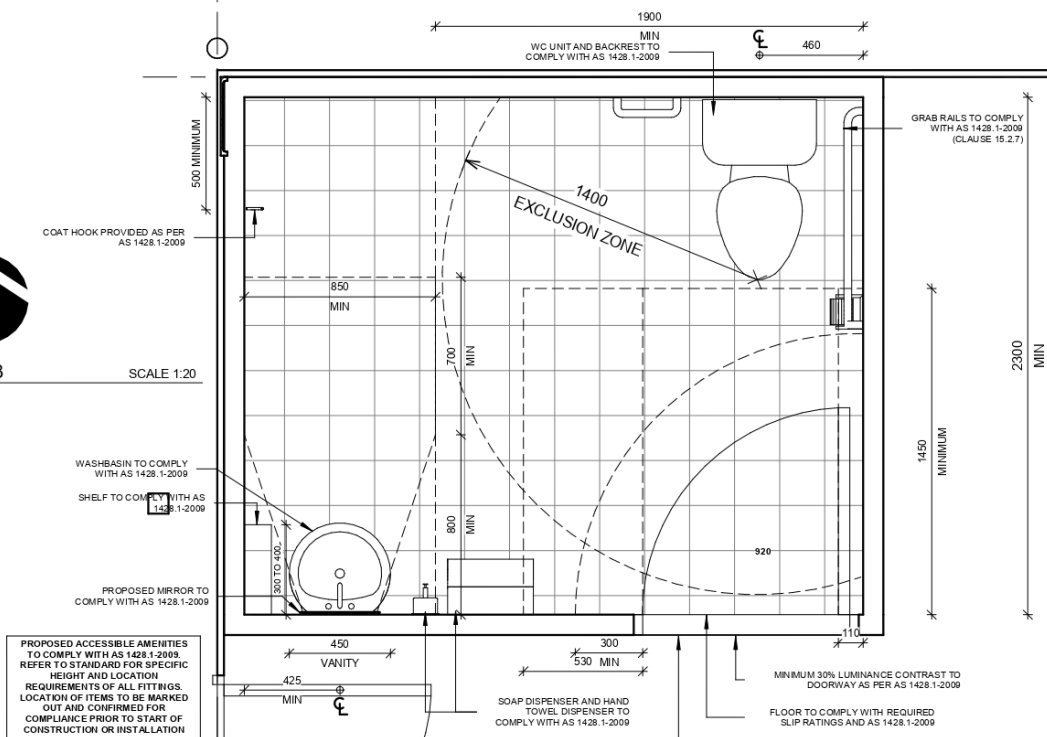
DETAIL A

SCALE 1:20



DETAIL B

SCALE 1:20



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BUILDING DESIGNERS

PROJECT: NEW COMMERCIAL
LOT No: 2 DP No: 1084479 SHEET: 10 OF 14
STREET No: 3
STREET NAME: PRODUCTION DRIVE, WAUCHOPE
CLIENT: DONNEY

ACCESSIBLE WC
SCALE: 1:20
SHEET SIZE: A3
START DATE: 11.02.19
DWG No: D4190

DRAWING REVISIONS + NOTES:

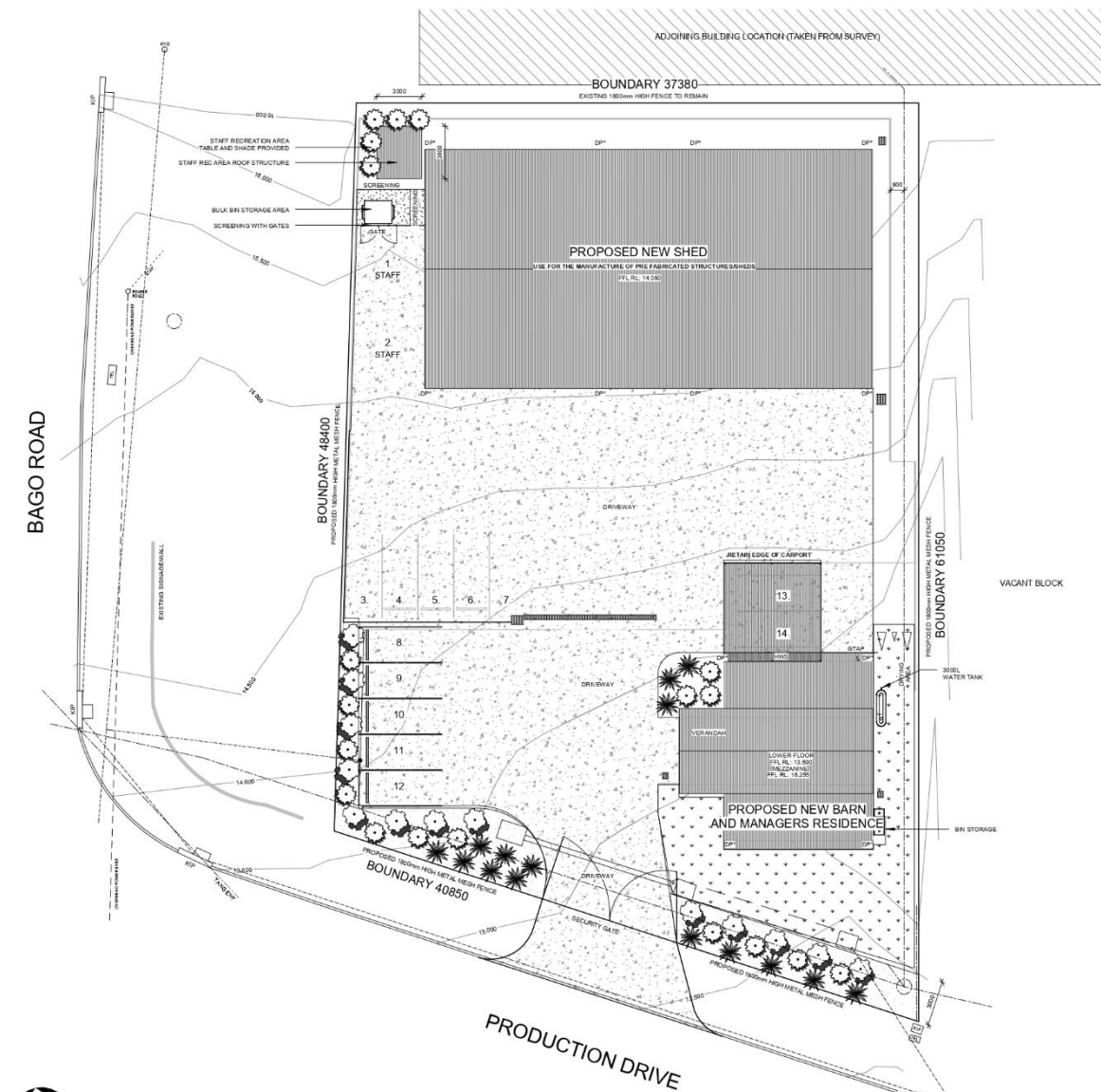
Date:	Detail:	Issue:	Drawn:
29.04.19	PRELIM ENGINEERS DETAILS	H	AE
21.06.19	COUNCIL RFI CHANGES	J	AE
24.06.19	FURTHER RFI CHANGES	K	AE
10.07.19	ENGINEER UPDATES	L	AE
23.08.19	NOTATIONS UPDATED	M	AE
23.10.19	RFI FROM DAP MEETING	N	DC

18A LEROY STREET (PO Box 5667), PORT MACQUARIE NSW 2444

T: 02 6583 4411

F: 02 6583 9820

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INDICATIVE LANDSCAPE PLAN SCALE 1:200

LEGEND AND NOTES		INDICATIVE LANDSCAPE PLAN		DRAWING REVISIONS + NOTES:	
	NEW WARM SEASON TURF GRASS THROUGHOUT		EXISTING NEIGHBOURING VEGETATION TO BE PRESERVED AND PROTECTED THROUGHOUT	Date:	Issue:
	HARD SURFACE - PATHS PATHS TO HAVE PERMEABLE SURFACE FINISH		SMALL EVERGREEN NATIVE TREES (Xanthorrhoea Little Fenda) x 13	29.04.19	H AE
	HARD SURFACE - DRIVEWAY REFER BUILDING DESIGN FOR DETAILS		FEATURE OR STATEMENT PLANTINGS (Velvet Kangaroo Paws) x 14	21.06.19	J AE
	HARD SURFACE - PATIOS REFER BUILDING DESIGN FOR DETAILS		NEW SMALL / MEDIUM EVERGREEN SHRUBS (Acmena Allyn Magic) x 19	24.06.19	K AE
			NEW SMALL / MEDIUM EVERGREEN SOFT WOODED PERENNIALS	10.07.19	L AE
			NEW EVERGREEN PROSTRATE SHRUBS OR GROUND COVER PLANTINGS	29.08.19	M AE
				23.10.19	N DC

PROJECT		INDICATIVE LANDSCAPE PLAN		DRAWING REVISIONS + NOTES:	
LOT No: 2	DP No: 1084479	SHEET: 11 OF 14	SCALE: 1:200	Date:	Issue:
STREET No: 3	STREET NAME: PRODUCTION DRIVE, WAUCHOPE		SHEET SIZE: A2	29.04.19	H AE
CLIENT: DOWNEY			START DATE: 11.02.19	21.06.19	J AE
			DWG No: D4190	24.06.19	K AE
				10.07.19	L AE
				29.08.19	M AE
				23.10.19	N DC

AS 3959-2009 - CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS (BAL - 19)

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

PAGE 51 SECTION 6 CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 19 (BAL-19)

6.1 GENERAL
A building assessed in Section 2 as being BAL-19 shall comply with Section 3 and Clauses 6.2 to 6.8.
NOTE: There are a number of Standards that specify requirements for construction; however where this Standard does not provide construction requirements for a particular element, the other Standards apply.
Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 6.2 to 6.8 (see Clause 3.8).
NOTE: BAL-19 is primarily concerned with protection from ember attack and radiant heat greater than 12.5 kW/m² up to and including 19 kW/m².

NSW RURAL FIRE SERVICE ADDENDUM: APPENDIX 3 7.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—
a. a wall that complies with (Clause 5.4 or 6.4 as appropriate); or
b. a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
c. a combination of items (a) and (b) above.

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—
(i) non-combustible material; or
(ii) of bushfire-resisting timber (see Appendix F); or
(iii) a combination of items (i) and (ii) above.

NOTE: This requirement applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 7.7.1.)

NSW RURAL FIRE SERVICE ADDENDUM: APPENDIX 3 7.3.2 Elevated floors 7.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—
a. a wall that complies with (Clause 5.4 or 6.4 as appropriate); or
b. a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
c. a combination of items (a) and (b) above.

7.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring less than 400 mm above finished ground level, shall be one of the following:

- a. Materials that comply with the following:
(i) Bearers and joists shall be—
A. non-combustible; or
B. bushfire-resisting timber (see Appendix F); or
C. a combination of items (A) and (B) above.
(ii) Flooring shall be—
A. non-combustible; or
B. bushfire-resisting timber (see Appendix F); or
C. timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or
D. a combination of any of items (A), (B) or (C) above.
- b. A system complying with AS 1530.8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.*

6.4 EXTERNAL WALLS

6.4.1 Walls
That part of an external wall surface that is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D), shall be made from—
(a) non-combustible material; or
(b) fibre-cement external cladding, a minimum of 6 mm in thickness; or
(c) bushfire-resisting timber (see Appendix F); or
(d) a timber species as specified in Paragraph E1, Appendix E; or
(e) a combination of any of items (a), (b), (c) or (d) above.

PAGE 52
This Standard does not provide construction requirements for external wall surfaces 400 mm or more from the ground or for external wall surfaces 400 mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D).

6.4.2 Joints
All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm. Alternatively, sarking-type material may be applied over the outer face of the frame prior to fixing any external cladding.

6.4.3 Vents and weepholes
Vents and weepholes in external walls shall be screened with mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where they are less than 3 mm (see Clause 3.8), or are located in an external wall of a subfloor space.

6.5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS

6.5.1 Bushfire shutters
Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from—
(a) non-combustible material; or
(b) a timber species as specified in Paragraph E1, Appendix E; or
(c) bushfire-resisting timber (see Appendix F); or
(d) a combination of any of items (a), (b), or (c) above.
6.5.1A Screens for windows and doors
Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm. The frame supporting the mesh or perforated sheet shall be made from—
(a) metal; or
(b) bushfire-resisting timber (see Appendix F); or
(c) a timber species as specified in Paragraph E2, Appendix E.

6.5.2 Windows
Window assemblies shall comply with one of the following:
(a) They shall be completely protected by a bushfire shutter that complies with Clause 6.5.1.
or
(b) They shall be completely protected externally by screens that comply with Clause 6.5.1A.
or
(c) They shall comply with the following:
(i) For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery, shall be made from one of the following:
(A) Bushfire-resisting timber (see Appendix F).
(B) A timber species as specified in Paragraph E2, Appendix E; or
(C) Metal.

PAGE 53
(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength of the member.
(i) Externally fitted hardware that supports the sash in its functions of opening and closing, shall be metal.
(ii) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), the glazing shall be toughened glass minimum 5 mm, or glass blocks with no restriction on glazing methods.
NOTE: Where double-glazed units are used, the above requirements apply to the external face of the window assembly only.
(i) Where glazing is other than that specified in item (ii) above, annealed glass may be used. Where annealed glass is used, both the fixed and operable portions of windows shall be screened externally with screens that comply with Clause 6.5.1A.
(ii) Where toughened glass is used, it shall be toughened glass of minimum 5 mm and the operable portions of windows shall be screened internally or externally with screens that comply with Clause 6.5.1A.
(iii) Glazed elements that are designed to take internal screens shall use toughened glass of minimum 5 mm and the operable portion shall be screened with screens that comply with Clause 6.5.1A.
6.5.3 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors) Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following:
(a) They shall be protected by a bushfire shutter that complies with Clause 6.5.1.
or
(b) They shall be completely protected externally by screens that comply with Clause 6.5.1A.
or
(c) They shall comply with the following:
(i) Doors shall be—
(A) non-combustible; or
(B) a solid timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
(C) a door, including a hollow core door, with a non-combustible kickplate on the outside for the first 400 mm above the threshold; or
(D) a fully framed glazed door, where the framing is made from materials specified for bushfire shutters (see Clause 6.5.1), or from a timber species as specified in Paragraph E2, Appendix E.
(ii) Where doors incorporate glazing, the glazing shall be toughened glass minimum 5 mm.
(iii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.
(iv) Where the door frame is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix D), the door frame shall be made from one of the following:
(A) Bushfire-resisting timber (see Appendix F).
(B) A timber species as specified in Paragraph E2, Appendix E; or
(C) Metal.
(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.
(v) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.

6.5.4 Doors—Sliding doors
Sliding doors shall comply with one of the following:
(a) They shall be completely protected by a bushfire shutter that complies with Clause 6.5.1.
or
(b) They shall be completely protected externally by screens that comply with Clause 6.5.1A.
or
(c) They shall comply with the following:
(i) Any glazing incorporated in sliding doors shall be toughened glass minimum 5 mm.
(ii) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made of one of the following:
(A) Bushfire-resisting timber (see Appendix F).
(B) A timber species as specified in Paragraph E2, Appendix E; or
(C) Metal.
(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength of the member.
(iii) There is no requirement to screen the operable part of the sliding door. However, if screened, the screens shall comply with Clause 6.5.1A.
NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the operable part of these doors as it is assumed that a sliding door will be closed if occupants are not present or during a bushfire event. Screens of materials other than those specified may not resist ember attack.

PAGE 54
(iv) Sliding doors shall be tight-fitting in the frames.
6.5.5 Doors—Vehicle access doors (garage doors)
The following apply to vehicle access doors:
(a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from—
(i) non-combustible material; or
(ii) bushfire-resisting timber (see Appendix F); or
(iii) fibre-cement sheet, a minimum of 6 mm in thickness; or
(iv) a timber species as specified in Paragraph E1, Appendix E; or
(v) a combination of any of items (i), (ii), (iii) or (iv) above.
(b) Panel lift, lift doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
(c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with non-brush that is in contact with the door (see Figure D4, Appendix D).
(d) Vehicle access doors shall not include ventilation slots.

PAGE 55
(v) Sliding doors shall be tight-fitting in the frames.
6.5.5 Doors—Vehicle access doors (garage doors)
The following apply to vehicle access doors:
(a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from—
(i) non-combustible material; or
(ii) bushfire-resisting timber (see Appendix F); or
(iii) fibre-cement sheet, a minimum of 6 mm in thickness; or
(iv) a timber species as specified in Paragraph E1, Appendix E; or
(v) a combination of any of items (i), (ii), (iii) or (iv) above.
(b) Panel lift, lift doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
(c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with non-brush that is in contact with the door (see Figure D4, Appendix D).
(d) Vehicle access doors shall not include ventilation slots.

PAGE 56
6.6 ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAE, GABLES, GUTTERS AND DOWNPIPES)
6.6.1 General
The following apply to all types of roofs and roofing systems:
(a) Roof sheeting, roof sheets and roof-covering accessories shall be non-combustible.
(b) The roof/wall junction shall be sealed, to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof with the rafters at the line of the wall.
(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
6.6.2 Tiled roofs
Tiled roofs shall be fully sarked. The sarking shall—
(a) have a flammability index of not more than 5, when tested to AS 1530.2;
(b) be located directly below the roof battens;
(c) cover the entire roof area including the ridge; and
(d) be installed so that there are no gaps that would allow the entry of embers where the sarking meets fascias, gutters, valleys and the eke.
6.6.3 Sheet roofs
Sheet roofs shall—
(a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens;
(b) have any gaps greater than 3 mm under corrugations or ribs of sheet roofing and between roof components sealed at the fascia or wall line and at valleys, hips and ridges by—
(i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
(ii) mineral wool; or
(iii) other non-combustible material; or
(iv) a combination of any of items (i), (ii), or (iii) above.
6.6.4 Veranda, carport and awning roofs
The following apply to veranda, carport and awning roofs:
(a) A veranda, carport or awning roof forming part of the main roof space (see Figure D1(a), Appendix D) shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, 6.6.2, 6.6.3, 6.6.5 and 6.6.6.
(b) A veranda, carport or awning roof separated from the main roof by an external wall (see Figures D1(b) and D1(c), Appendix D) complying with Clause 6.4 shall have a non-combustible roof covering.
NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

PAGE 57
6.6.5 Roof penetrations
The following apply to roof penetrations:
(a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, arials, vent pipes and supports for solar collectors shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the penetration shall be non-combustible.
(b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
(c) All eaved glazing shall be Grade A safety glass complying with AS 1288.
(d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm shall be used in the outer pane of the IGU.
(e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index no greater than 5.
(f) Evaporative cooling units shall be fitted with butterfly doors at or near the ceiling level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
6.6.6 Eaves linings, fascias and gables
(a) Gables shall comply with Clause 6.4.
(b) Eaves penetrations shall be protected the same as for roof penetrations, as specified in Clause 6.6.5.
(c) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.
This Standard does not provide construction requirements for fascias, bargeboards and eaves linings.
6.6.7 Gutters and downpipes
This Standard does not provide material requirements for—
(a) gutters, with the exception of box gutters; and
(b) downpipes.
If installed, gutter and valley leaf guards shall be non-combustible.
Box gutters shall be non-combustible and flashed at the junction with the roof with noncombustible material.

NSW RURAL FIRE SERVICE ADDENDUM: APPENDIX 3 7.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS 7.7.1 General

Decking may be sarked.
There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

7.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings
7.7.2.1 Materials to enclose a subfloor space
The subfloor spaces of verandas, decks, steps, ramps and landings are considered to be 'enclosed' when—
a. the material used to enclose the subfloor space complies with (Clause 6.4 or 6.4 as appropriate); and
b. all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

7.7.2.2 Supports
This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.
7.7.2.3 Framing
This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).
7.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings
Decking, stair treads and the trafficable surfaces of ramps and landings shall be—
a. of non-combustible material; or
b. of bushfire-resisting timber (see Appendix F); or
c. a combination of items (a) and (b) above.

7.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings
7.7.3.1 Supports
Support posts, columns, stumps, stringers, piers and poles shall be—
a. of non-combustible material; or
b. of bushfire-resisting timber (see Appendix F); or
c. a combination of items (a) and (b) above.

7.7.3.2 Framing
Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be—
a. of non-combustible material; or
b. of bushfire-resisting timber (see Appendix F); or
c. a combination of items (a) and (b) above.

7.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings
Decking, stair treads and the trafficable surfaces of ramps and landings shall be—
a. of non-combustible material; or
b. of bushfire-resisting timber (see Appendix F); or
c. a combination of items (a) and (b) above.

7.7.4 Balustrades, handrails or other barriers
Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be—
a. of non-combustible material; or
b. bushfire-resisting timber (see Appendix F); or
c. a combination of items (i) and (ii) above.

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements.*
5.8 WATER AND GAS SUPPLY PIPES
Above-ground, exposed water and gas supply pipes shall be metal.


NSW RURAL FIRE SERVICE ADDENDUM: APPENDIX 3 SARKING

Any sarking used shall be:
a. Non-combustible; or
b. Breather-type sarking complying with AS/NZS 4200.1 and with a flammability index of not more than 5 (see AS1530.2) and sarked on the outside of the frame; or
c. An insulation material conforming to the appropriate Australian Standard for that material.

GAS NOTES FOR COMPLYING DEVELOPMENT

Retculated or bottled gas on the lot is installed and maintained in accordance with AS/NZS 1596:2008, 'The storage and handling of LP Gas' and the requirements of relevant authorities (metal piping must be used).

Any gas cylinders on the lot that are within 10m of a dwelling house:
- have the release valves directed away from the dwelling house, and
- are enclosed on the hazard side of the installation, and
- have metal connections to and from the cylinders.
There are no polymer sheathed flexible gas supply lines to gas meter adjacent to the dwelling.

 <div>collinscollins</div> <div>BUILDING DESIGNERS</div>	PROJECT: NEW COMMERCIAL			BAL-19 BUSHFIRE CONSTRUCTION NOTES		DRAWING REVISIONS + NOTES:			
	LOT No: 2 DP No: 1084479		SHEET: 12 OF 14	SCALE: 1 : 100		Date: Detail:			Issue: Draw:
	STREET No: 3			SHEET SIZE: A3		29.04.19	PRELIM ENGINEERS DETAILS	H	AE
	STREET NAME: PRODUCTION DRIVE, WAUCHOPE		START DATE: 11.02.19		21.06.19	COUNCIL RFI CHANGES	J	CG	
	CLIENT: DONNEY		DWG No: D4190		24.06.19	FURTHER RFI CHANGES	K	AE	
					10.07.19	ENGINEER UPDATES	L	AE	
					29.08.19	NOTATIONS UPDATED	M	AE	
				23.10.19	RFI FROM DAP MEETING	N	DC		

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.**THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.****BUILDING SPECIFICATIONS FOR CLASS 1 AND 10 BUILDINGS**

All works to be completed in accordance with the current version of the National Construction Code Series, including Building Code of Australia (BCA), Volume 2 and the Plumbing Code of Australia (PCA), Volume 3 as applicable.

All Australian Standards listed are the versions that have been adopted by the relevant version of the National Construction Code Series at the time of Construction Certificate or Complying Development Certificate Application.

SITE PREPARATION

Earthworks - Earthworks are to be undertaken in accordance with Part 3.1.1 of the BCA.

Drainage - Stormwater drainage is to be undertaken in accordance with AS/NZS 3500.3, or, Section 5 of 3500.5, or, the Acceptable Construction Practice as detailed in Part 3.1.2 of the BCA.

Termite Risk Management - Where a primary building element is considered susceptible to termite attack the building shall be protected in accordance with the following:

- a) AS 3600.1, and
- b) A durable notice is permanently fixed to the building in a prominent location, such as in a meter box or the like, including the details listed in Part 3.1.3.2 of the BCA, or
- c) The Acceptable Construction Practice as detailed in accordance with Part 3.1.3 of the BCA.

FOOTINGS AND SLABS

The footing or slab is to be constructed in accordance with AS 2870, except that for the purposes of Clause 5.3.3.1 of AS 2870, a damp-proofing membrane is required to be provided, or, the Acceptable Construction Practice detailed in Part 3.2 of the BCA.

Piled footings are to be designed in accordance with AS 2159.

MASONRY

Unreinforced Masonry - to be designed and constructed in accordance with;

- a) AS 3700; or
 - b) AS 4773 Parts 1 and 2
- Reinforced Masonry - to be designed and constructed in accordance with;
- a) AS 3700; or
 - b) AS 4773 parts 1 and 2

Masonry Accessories - to be constructed and installed in accordance with;

- a) AS 3700; or
 - b) AS 4773 Parts 1 and 2
- Weatherproofing of Masonry
- This Part applies to an external wall (including the junction between the wall and any window or door) of a Class 1 Building.
- This Part does not apply to any Class 10 building except where its construction contributes to the weatherproofing of the Class 1 building.
- The weatherproofing of masonry is to be carried out in accordance with;

- a) AS 3700; or
- b) AS 4773 Part 2 and 2

FRAMING

Structural Software - Must comply with the Australian Building Codes Board (ABCB) Protocol for Structural Software and Part 3.4.0.2 of the BCA.

Sub-Floor Ventilation - Is to comply with the Acceptable Construction Practice of Part 3.4.1 of the BCA.

Steel Framing - is to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.4.2 of the BCA, or, one of the following manuals:

- a) Steel structures: AS 4100.
 - b) Cold-formed steel structures: AS/NZS 4600.
 - c) Residential and low-rise steel framing: NASH Standard.
- Timber Framing - is to be designed and constructed in accordance with the following, as appropriate:

- a) AS 1684.2.
- b) AS 1684.4.

Structural Steel Members - is to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.4.4 of the BCA, or, one of the following manuals:

- a) Steel Structures: AS 4100.
- b) Cold-formed steel structures: AS/NZS 4600.

ROOF AND WALL CLADDING

Roof Cladding - is to comply with the Acceptable Construction Practice of Part 3.5.1 of the BCA, or, one of the following:

- a) Roofing tiles: AS 2049 and AS 2050.
 - b) Metal roofing: AS 1562.1.
 - c) Plastic sheet roofing: AS/NZS 4256 Parts 1, 2, 3 and 5; and AS/NZS 1562.3.
 - d) Corrugated fibre-reinforced cement sheet roofing: AS/NZS 1562.2.
 - e) Asphalt shingles: ASTM D3018-90.
 - f) Flexible membrane and underlay: AS/NZS 4200 Parts 1 and 2.
- Gutters and Downpipes - are to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.5.2 of the BCA, or, AS/NZS 3500.3 - Stormwater drainage, or AS/NZS 3500.5 - Domestic installations, Section 5 - Stormwater drainage.
- Wall Cladding - to be designed and constructed in accordance with Acceptable Construction Practice of Part 3.5.3.1 of the BCA, or, for metal wall cladding if it is designed and constructed in accordance with AS 1562.1.

GLAZING

Glazing - to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.6.1 of the BCA, or, one of the following manuals as applicable:

- a) AS 2047.
- b) AS 1288.

FIRE SAFETY

Fire Separation - to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.7.1 of the BCA.

Smoke Alarms - to be designed, connected and located in accordance with the Acceptable Construction Practice of Part 3.7.2 of the BCA.

Heating Appliances - are to be installed in accordance with the Acceptable Construction Practice of part 3.7.3 of the BCA, or, one of the following manuals:

- a) Domestic solid-fuel burning appliances are installed in accordance with AS/NZS 2918.

- b) Boilers and pressure vessels are installed in accordance with AS/NZS 1200.

BUSHFIRE AREAS

Bushfire Areas - This section relates to:

- a) A Class 1 building; or
- b) A Class 10a building or deck associated with a Class 1 building, if it is constructed in accordance with the following:
- c) AS 3959, except for Section 9 Construction for Bushfire Attack Level FZ (BAL-FZ). Buildings subject to BAL-FZ must comply with specific conditions of development consent for construction at this level; or
- d) The requirements of (c) above as modified by the development consent following consultation with the NSW Rural Fire Service under section 79BA of the Environmental Planning and Assessment Act 1979; or
- e) The requirements of (c) above as modified by the development consent with a bushfire safety authority issued under section 100B of the Rural Fire Act for the purposes of integrated development.

Alpine Areas - to be constructed in accordance with the Acceptable Construction Practice of Part 3.7.5 of the BCA if located in an alpine area, as identified in Figure 3.7.5.2 of the BCA.

HEALTH AND AMENITY

Wet Areas and External Waterproofing - building elements in wet areas within a building must:

- a) Be waterproof or water resistant in accordance with Table 3.8.1.1 of the BCA; and
- b) Comply with AS 3740.

Room Heights - are to be constructed in accordance with the Acceptable Construction Practice of Part 3.8.2 of the BCA.

Facilities - are to be constructed in accordance with Acceptable Practice of Part 3.8.3 of the BCA.

Light - is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.4 of the BCA.

Ventilation - is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.5 of the BCA.

Sound Insulation - (only applies to a separating wall between two or more class 1 buildings) is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.6 of the BCA.

SAFE MOVEMENT AND ACCESS

Safe Movement and Access

Stair Construction - to be constructed and installed in accordance with the Acceptable Construction Practice of Part 3.9.1 of the BCA.

Balustrades and Handrails - to be constructed and installed in accordance with the Acceptable Construction Practice of Part 3.9.2 of the BCA.

Swimming Pool Access - to be designed and installed in accordance with the Swimming Pools Act 1992, Swimming Pool Regulation 2008 and AS 1926 Parts 1 and 2.

Swimming Pool Water recirculation Systems - is to be designed and constructed in accordance with AS1926.3.

ADDITIONAL CONSTRUCTION REQUIREMENTS

High Wind Areas - Applies to a region that is subject to design wind speeds more than N3 or C1 (see table 1.1.1 of the BCA). To be constructed in accordance with one or more of the relevant manuals of Part 3.10.1 of the BCA.

Earthquake Areas - relates to areas subject to seismic activity. To be constructed in accordance with the Acceptable Construction Manuals listed in Part 3.11 of the BCA.

Flood Hazard Areas - applies to areas on a site (weather or not mapped) encompassing the land lower than the flood hazard level (as defined by the BCA) which has been determined by the appropriate authority (statutory authority), are to be constructed in accordance with the ABCB Standard for Construction of Buildings in Flood Hazard Areas.


STRUCTURAL DESIGN MANUALS

Structural Design Manuals - is satisfied by complying with:

- a) 3.11.2, 3.11.3 and 3.11.6 of the BCA; or
- b) the relevant provisions of other Parts of Section 3 of the Housing Provisions of the BCA relating to structural elements; or
- c) any combination thereof.

ENERGY EFFICIENCY

Energy Efficiency - to comply with the measures contained in the relevant BASIX certificate.

	PROJECT: NEW COMMERCIAL		BUILDING SPECIFICATIONS		DRAWING REVISIONS + NOTES:			
	LOT No: 2	DP No: 1084479			Date:	Detail:	Issue:	Drawn:
	SHEET: 13 OF 14		SCALE:	1 : 100	29.04.19	PRELIM ENGINEERS DETAILS	H	AE
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	CLIENT: DONNEY		DWG No:	D4190	10.07.19	ENGINEER UPDATES	L	AE
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				23.10.19	RFI FROM DAP MEETING	N	DC	

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THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

1. FALLS, SLIPS, TRIPS

A) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier whenever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trees should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trees are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS

Anchor points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchor points.

B) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specific details for the selection of surface finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES BY Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZS 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building, designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rapture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used, and where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located on or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to asbestos 1980 - therefore may contain asbestos 1986 - therefore is likely to contain either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray paints, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic or other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FINISHES

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified: This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

10. OTHER HIGH RISK ACTIVITY

Code All electrical work should be carried out in accordance with of Practice: Managing Electrical Risks at the Workplace, AS/NZ and all licensing requirements. 3012 All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. Code of All work should be carried out in accordance with Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

EXCAVATIONS

1. Excavations The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan. Top soil shall be cut to a depth sufficient to remove all vegetation. Excavations for all footings shall be in accordance with the Engineer's Recommendations or the BCA requirements.

FOUNDATIONS AND FOOTINGS

1. Underfloor Fill Underfloor fill shall be in accordance with the BCA. 2. Termite Risk Management Termite treatment shall be carried out in accordance with the BCA. 3. Vapour Barrier The vapour barrier installed under slab-on-ground construction shall be 0.2mm nominal thickness, high impact resistance polyethylene film installed in accordance with the BCA. 4. Reinforcement Reinforcement shall conform and be placed in accordance with the Engineer's Recommendation and the BCA. Support for all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour. 5. Concrete Structural shall not be less than Grade N20 except otherwise approved by the engineer and in accordance with the BCA. 6. Curing All concrete slabs shall be cured in accordance with AS 3600. 7. Footings and Slabs on Ground Concrete slabs and footings shall not be poured until approval to pour concrete is given by the engineer or the Local Authority. 8. Sub-Floor Ventilation Where required, adequate cross ventilation will be provided to the space under suspended floor. Construction is to meet the requirements of the BCA. No section of the under floor area wall to be constructed in such manner that will hold pockets of still air. 9. Sub-Floor Access If required, access will be provided under suspended floors in accordance with AS 1720 and fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

EFFLUENT DISPOSAL/DRAINAGE

1. Storm Water Drainage Stormwater drainage shall be carried out in accordance with the BCA. The Builder will allow for the supplying and laying of downpipe drains where shown on the site plan. 2. Timber Framing 1. Generally All timber framework sizes, spans, spacing, notching, checking and fixing to all floor, wall and roof structure shall comply with the BCA or AS 1684. Alternative structural framing shall be to structural engineer's details and certification. The work shall be carried out in a proper and trades personal like manner and shall be in accordance with recognised and accepted building practices. 2. Roof Trusses Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions. 3. Bracing Bracing units shall be determined and installed in accordance with AS 1684 as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building. 4. Flooring Floor joists will be covered with strip or sheet flooring as shown on plan with particular regard to ground clearance and installation in wet areas required by the BCA. Thickness of the flooring is to be appropriate for the floor joist spacing. Strip and sheet flooring shall be installed in accordance with AS 1684. When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout. 5. Timber Posts Posts supporting the carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanneal or treated metal post shoes, unless otherwise specified. Posts shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the site. 6. Protection Protection on all metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

STEEL FRAMING

1. Generally Steel floor/roof framing shall be installed in accordance with the manufacturer's recommendations and the BCA. 2. Roofing 1. Tiled Roofing The Builder will cover the roof of the dwelling with approved tiles as selected. The tiles are to be fixed (as required for appropriate design and wind speed) to battens of sizes appropriate to the spacing of rafters/trusses in accordance with the manufacturer's recommendations. The Builder will cover hips and ridges with capping and all necessary accessories including starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so as to minimise water penetration as far as practicable. As roof tiles are made of natural products slight variation in colour is acceptable. 2. Metal Roofing The Builder will provide and install a metal roof together with accessories all in accordance with the manufacturer's recommendations. Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing sheets shall be strictly in accordance with the manufacturer's recommendation as required for the appropriate design and wind speed. Incompatible materials shall not be used for flashings, fasteners or downpipes. 3. Gutters and Downpipes Gutters and downpipes shall be manufactured and installed in accordance with the BCA. Gutters and downpipes are to be compatible with other materials used. 4. Sealing Sarking under roof coverings must comply with and be fixed in accordance with manufacturer's recommendations. Appropriate sealants shall be used where necessary and in accordance with manufacturer's recommendations. 5. Flashings Flashings shall comply with, and be installed in accordance with the BCA.

ROOFING

1. Tiled Roofing The Builder will cover the roof of the dwelling with approved tiles as selected. The tiles are to be fixed (as required for appropriate design and wind speed) to battens of sizes appropriate to the spacing of rafters/trusses in accordance with the manufacturer's recommendations. The Builder will cover hips and ridges with capping and all necessary accessories including starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so as to minimise water penetration as far as practicable. As roof tiles are made of natural products slight variation in colour is acceptable. 2. Metal Roofing The Builder will provide and install a metal roof together with accessories all in accordance with the manufacturer's recommendations. Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing sheets shall be strictly in accordance with the manufacturer's recommendation as required for the appropriate design and wind speed. Incompatible materials shall not be used for flashings, fasteners or downpipes. 3. Gutters and Downpipes Gutters and downpipes shall be manufactured and installed in accordance with the BCA. Gutters and downpipes are to be compatible with other materials used. 4. Sealing Sarking under roof coverings must comply with and be fixed in accordance with manufacturer's recommendations. Appropriate sealants shall be used where necessary and in accordance with manufacturer's recommendations. 5. Flashings Flashings shall comply with, and be installed in accordance with the BCA.

MASONRY

1. Damp Proof Courses All damp proof courses shall comply with the BCA and Clause 1.0.10. The damp proof membrane shall be visible in the external face of the masonry member in which it is placed and shall not be bridged by any applied coatings, render or the like. 2. Cavity Ventilation Open vertical joints (weepholes) must be created in the course immediately above any DPC or flashing at centres not exceeding 1.2m and must be in accordance with the BCA. 3. Mortar and Joining Mortar shall comply with the BCA. Joint tolerances shall be in accordance with AS 3700. 4. Lintels Lintels used to support brickwork opening in walls must be suitable for the purpose as required by the BCA. The Builder will provide one lintel to each wall leaf. The Builder will provide corrosion protection in accordance with the BCA Part 3.4.4 as appropriate for the site environment and location of the lintels in the structure. 5. Cleaning The Builder will clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fixings.

CLADDING AND LININGS

1. External Cladding Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details. Where required in open verandas, porches and eave soffits, materials indicated on the plans shall be installed. 2. Internal Wall and Ceilings Linings The Builder will provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets are to have recessed edges and will be a minimum of 10mm thick. Internal angles in walls from floor to ceiling are to be set. Suitable cornice moulds shall be fixed at the junction of all walls and ceilings or the joint set as required. The lining of wet area and walls shall be constructed in accordance with the BCA. Wet area lining is to be fixed in accordance with the manufacturer's recommendations. The ceiling access hole shall be of similar material to the adjacent ceiling. 3. Waterproofing All internal wet area and balconies over internal habitable rooms are to be waterproofed in accordance with the BCA.

JOINERY

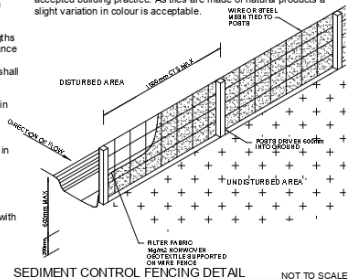
1. General All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices. 2. Door Frames External door frames shall be a minimum of 32mm thick solid rebated 12mm deep to receive doors. Internal jamb linings shall be a minimum of 18mm thick fit with 12mm thick door stops. Metal doorframes shall be installed where indicated on drawings in accordance with the manufacturer's recommendations. 3. Doors and Doorsets All internal and external timber door and door sets shall be installed in accordance with accepted building practices. Unless listed otherwise in the Schedule of Works, doors and door sets shall be manufactured in accordance with AS 2688 and AS 2689. 4. Window and Sliding Doors Sliding and other timber windows and doors shall be manufactured and installed in accordance with AS 2047. Sliding and other aluminium windows and the doors shall be installed in accordance with manufacturer's recommendations and AS 2047. All glazing shall comply with the BCA and any commitments outlined in relevant BASIX Certificate. 5. Stairs, Balustrades and other Barriers The Builder will provide stairs or ramps to any change in levels, and balconies or barriers at least one side of ramps, landings and balconies as per the BCA.

SERVICES

1. Plumbing All plumbing shall comply with the requirements of the relevant supply authority and AS 3500. The work is to be carried out by a licensed plumber. Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's recommendations. Filings, hot water system and any rainwater harvesting facilities shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate. 2. Electrical The Builder will provide all labour and materials necessary for the proper installation of the electricity service by a licensed electrician in accordance with AS/NZS 3000 and the requirements of the relevant supply authority. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply. 3. Gas All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority. 4. Smoke Detectors The Builder will provide and install smoke alarms manufactured in accordance with AS 3786 AS specified or as indicated on the plans and in accordance with the BCA. 5. Thermal Insulation Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the BCA or as outlined in the relevant BASIX Certificate.

TILING

1. Materials Cement mortar and other adhesives shall comply with AS 3598.1 or the manufacturer's recommendation. 2. Installation Installation of tiles shall be in accordance with AS 3598.1, manufacturer's recommendations or accepted building practices. Where practicable, spacing between tiles should be even and regular. The Builder will provide expansion joints where necessary. All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions to be filled with flexible mould resistant sealant. All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice. As tiles are made of natural products a slight variation in colour is acceptable.



PROJECT: NEW COMMERCIAL			WORK SAFETY NOTES - COMMERCIAL		DRAWING REVISIONS + NOTES:		
LOT No: 2	DP No: 1084479	SHEET: 14 OF 14	SCALE:	Date:	Detail:	Issue:	Drawn:
STREET No: 3			As indicated	29.04.19	PRELIM ENGINEERS DETAILS	H	AE
STREET NAME: PRODUCTION DRIVE, WAUCHOPE			SHEET SIZE: A3	21.06.19	COUNCIL RFI CHANGES	J	AE
			START DATE: 11.02.19	24.06.19	FURTHER RFI CHANGES	K	AE
			DWG No: D4190	10.07.19	ENGINEER UPDATES	L	AE
				29.08.19	NOTATIONS UPDATED	M	AE
				23.10.19	RFI FROM DP MEETING	N	DC

18A Leppington Rd, Box 5667, Berrara NSW 2444 T: 02 6583 4411 F: 02 6583 9820 WWW.COLLINSCOLLINS.COM.AU

Developer Charges - Estimate

Applicants Name: Collins W Collins
 Property Address: 3 Production Drive Wauchope
 Lot & Dp: Lot(s):2,DP(s):1084479
 Development: Industrial building and caretakers residence



Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000.
 Other contributions are levied under Section 7.11 of the Environmental Planning and Assessment Act and Council's Contribution Plans.

Levy Area	Units	Cost	Estimate
1 Water Supply	1.788	\$10,190.00 Per ET	\$18,219.70
2 Sewerage Scheme Wauchope	0.988	\$3,866.00 Per ET	\$3,819.60
3 Since 1.7.04 - Major Roads - Wauchope - Per ET	0.67	\$7,138.00 Per ET	\$4,782.40
4 Since 31.7.18 - Open Space - Wauchope - Per ET	0.67	\$5,236.00 Per ET	\$3,508.10
5 Commenced 3 April 2006 - Com, Cul and Em Services CP - Wauchope	0.67	\$4,733.00 Per ET	\$3,171.10
6 Com 1.3.07 - Administration Building - All areas	0.67	\$910.00 Per ET	\$609.70
7 N/A			
8 N/A			
9 N/A			
10 N/A			
11 N/A			
12 Bushfire Additional	0.67	\$505.00 Per ET	\$338.30
13 N/A			
14 N/A			
15 Admin General Levy - Applicable to Consents approved after 11/2/03	2.2% S94 Contribution		\$273.00
16			
17			
18			
Total Amount of Estimate (Not for Payment Purposes)			\$34,721.90

NOTES: These contribution rates apply to new development and should be used as a guide only.
 Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).
 DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement.
 Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

1-Oct-2019

Estimate Prepared By Beau Spry

This is an ESTIMATE ONLY - NOT for Payment Purposes

illins W Collins , 3 Production Drive Wauchope, 1-Oct-2019.xls

PORT MACQUARIE-HASTINGS COUNCIL

Item: 06**Subject: DA 2019 - 71.1 FOR MULTI DWELLING HOUSING AND STRATA
TITLE SUBDIVISION AT LOT: 2 DP: 713669, 11 KEMP STREET, PORT
MACQUARIE****Report Author: Development Assessment Planner, Beau Spry**

Applicant:	11 Kemp Street Pty. Ltd. As Trustee for the Kemp Trust
Owner:	Barry Robert Byrne, Josianne Ohrynowsky, Daniel James Dowd
Estimated Cost:	\$1,080,000
Parcel no:	10745

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA 2019 - 71.1 for Multi Dwelling Housing and Strata Title Subdivision at Lot 2 DP 713669, No. 11 Kemp Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for a multi-dwelling housing and strata title subdivision at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, two (2) submissions were received.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the attached conditions.

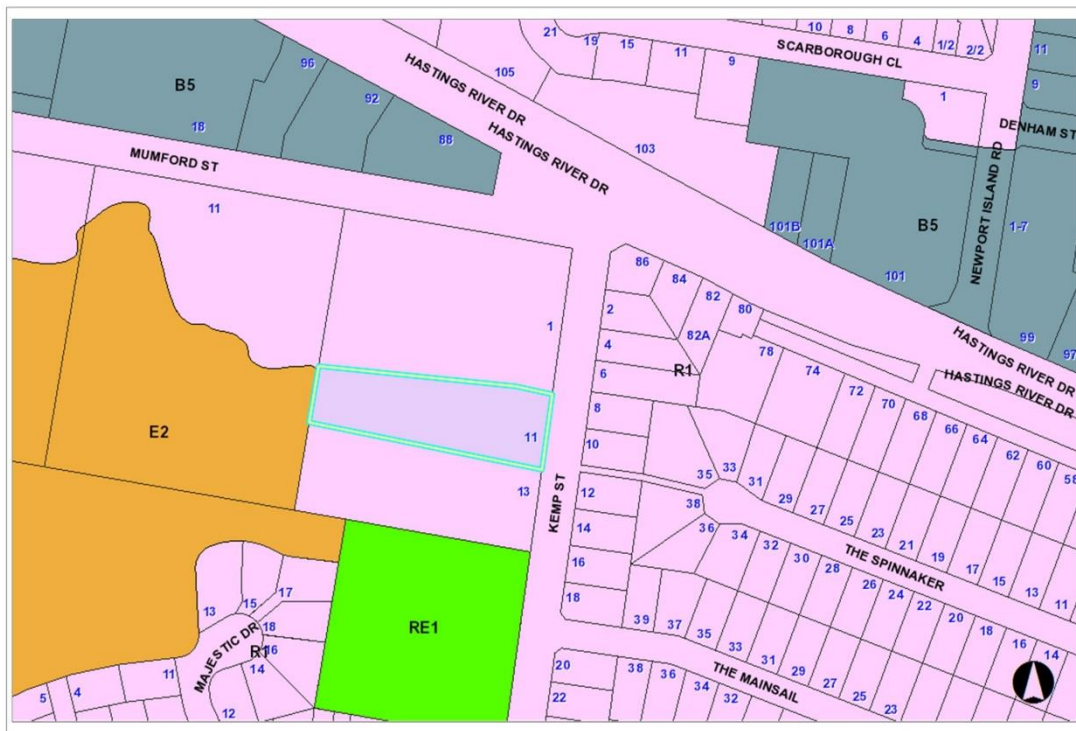
1. BACKGROUND**Existing Sites Features and Surrounding Development**

The site has an area of 4543.78 m².

The site has frontage to Kemp Street and slopes gently towards the west.

There are existing dwellings to the east, a tennis facility and tourist accommodation to the north, church to the south and motor vehicle storage and/or repair facility to the west.

The site is zoned R1 General residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:



2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Filling of site to meet flood planning level requirements;
- Construction of 17x two-bedroom dwellings.

Refer to Attachment 2 at the end of this report for plans of the proposed development.

Application Chronology

- 12 February 2019 - Application lodged
- 15 February 2019 - Public exhibition via neighbour notification
- 12 March 2019 - Additional information request.
- 14 April 2019 - Site inspection
- 18 October 2019 - Additional information received

3. STATUTORY ASSESSMENT

Section 4.15(1) Matters for Consideration

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
 - (i) Any Environmental Planning Instrument

State Environmental Planning Policy No. 44 - Koala Habitat Protection

There is no Koala Plan of Management on the site. Additionally, the site is less than 1ha in area therefore no further investigations are required.

State Environmental Planning Policy No. 55 – Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

State Environmental Planning Policy No. 62 – Sustainable Aquaculture

Given the nature of the proposed development and proposed stormwater controls the proposal will be unlikely to have any adverse impact on existing aquaculture industries.

State Environmental Planning Policy (Coastal Management) 2018 and Clause 5.5 of Port Macquarie-Hastings Local Environmental Plan 2011

The site is located within a coastal use area and coastal environment area.

In accordance with clause 7, this SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.

Having regard to clauses 13 and 14 of the SEPP and clause 5.5 of the Port Macquarie-Hastings LEP 2011 the proposed development is not considered likely to result in any of the following:

- a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;
- b) any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impacts on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- e) any adverse impact on Aboriginal cultural heritage, practices and places;
- f) any adverse impacts on the cultural and built environment heritage;
- g) any adverse impacts the use of the surf zone;
- h) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands, and
- i) overshadowing, wind funnelling and the loss of views from public places to foreshores.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is located within an area zoned for residential purposes.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate (0003576700) has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a

condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 - The subject site is zoned R1 General Residential.
- Clause 2.3(1) and the R1 zone landuse table - The proposed development for a multi-dwelling housing development is a permissible landuse with consent.
- The objectives of the R1 zone are as follows:
 - *To provide for the housing needs of the community.*
 - *To provide for a variety of housing types and densities.*
 - *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- Clause 2.3(2) - The proposal is consistent with the zone objectives having regard to the following:
 - The proposal is a permissible landuse.
 - The proposal provides for suitable alternative housing types;
- Clause 4.3 - Including site filling, the maximum overall height of the building above ground level (existing) is 7.1m which complies with the standard height limit of 8.5m applying to the site.
- Clause 4.4 - The floor space ratio of the proposal is 0.25:1.0 which complies with the maximum 0.65:1 floor space ratio applying to the site.
- Clause 5.5 - Development within the coastal zone (relevant objectives of this clause are addressed by SEPP (Coastal Management) 2018 section - see above).
- Clause 5.10 - The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.1 - The site is mapped as potentially containing class 3 and class 5 acid sulfate soils. The proposed development includes introducing fill across the site to 3.45m AHD and no excavation extending 1m below the natural surface level is proposed, therefore no adverse impacts are expected to occur to potential acid sulphate soils found on site.
- Clause 7.3 - The site is land within a mapped "flood planning area" (Land subject to flood discharge of 1:100 annual recurrence interval flood event (plus the applicable climate change allowance and relevant freeboard). The proposal has been reviewed by Council's Environmental Projects Officer and conditions recommended accordingly. In this regard, the following comments are provided which incorporate consideration of the objectives of Clause 7.3, Council's Flood Policy 2015, the NSW Government's *Flood Prone Lands Policy* and the NSW Government's *Floodplain Development Manual* (2005):
 - The proposal is compatible with the flood hazard of the land taking into account projected changes as a result of climate change;
 - The proposal will not result in a significant adverse affect on flood behaviour that would result in detrimental increases in the potential flood affectation of other development or properties;
 - The proposal incorporates measures to minimise & manage the flood risk to life and property associated with the use of land;

- The proposal is not likely to significantly adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses, and
- The proposal is not likely to result in unsustainable social and economic costs to the community as a consequence of flooding.
- Clause 7.13 - Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, on-site sewage management/sewer infrastructure, stormwater drainage and suitable road access to service the development.

(ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply to the site.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

<i>DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development</i>			
	Requirements	Proposed	Complies
3.2.2.1	Ancillary development: <ul style="list-style-type: none"> • 4.8m max. height • Single storey • 60m² max. area • 100m² for lots >900m² • 24 degree max. roof pitch • Not located in front setback 	The water tanks are appropriately located.	Yes
3.2.2.2	Articulation zone: <ul style="list-style-type: none"> • Min. 3m front setback • An entry feature or portico • A balcony, deck, patio, pergola, terrace or verandah • A window box treatment • A bay window or similar feature • An awning or other feature over a window • A sun shading feature 	No elements within the articulation zone.	N/A
	Front setback (Residential not R5 zone): <ul style="list-style-type: none"> • Min. 6.0m classified road • Min. 4.5m local road or within 20% of adjoining dwelling if on corner lot • Min. 3.0m secondary road • Min. 2.0m Laneway 	The proposal has a minimum setback of 4.90m from the front boundary fronting Kemp Street.	Yes
3.2.2.3	Garage 5.5m min. and 1m behind front façade. Garage door recessed behind building line or eaves/overhangs provided	Single carports are proposed for all units and the majority are setback >1m behind front façades.	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development			
	Requirements	Proposed	Complies
		The carports for units 1 and 17 fronting Kemp Street are setback 50cm, however this is considered acceptable in the context were they are still 5.5m behind the front boundary and where many neighbouring properties have no setback garage setback at all.	
	6m max. width of garage door/s and 50% max. width of building	The single carport widths are approx. max 2.9m and <50% width of the units fronting Kemp Street.	Yes
	Driveway crossover 1/3 max. of site frontage and max. 5.0m width	The proposed driveway crossovers total 11.5m max width and approximately 27% of site frontage.	Acceptable
3.2.2.4	4m min. rear setback. Variation subject to site analysis and provision of private open space	The minimum rear setback is approximately 14.5m at the northern end and 30m towards the southern end.	Yes
3.2.2.5	Side setbacks: <ul style="list-style-type: none"> Ground floor = min. 0.9m First floors & above = min. 3m setback or where it can be demonstrated that overshadowing not adverse = 0.9m min. Building wall set in and out every 12m by 0.5m 	<p>The minimum side setback requirements are complied with.</p> <p>No adverse overshadowing impacts identified to neighbouring property owners having regard to select dwellings having a setback less than 3m to existing side boundaries.</p> <p>The wall articulation of all dwellings are compliant and satisfies the objectives of the</p>	Yes

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development			
	Requirements	Proposed	Complies
		development provision.	
3.2.2.6	35m ² min. private open space area including a useable 4x4m min. area which has 5% max. grade	Each occupancy contains a minimum of 35m ² open space in one area including a useable 4m x 4m area.	Yes
3.2.2.10	Privacy: <ul style="list-style-type: none"> • Direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent dwellings. ie. 1.8m fence or privacy screening which has 25% max. openings and is permanently fixed • Privacy screen required if floor level > 1m height, window side/rear setback (other than bedroom) is less than 3m and sill height less than 1.5m • Privacy screens provided to balconies/verandahs etc which have <3m side/rear setback and floor level height >1m 	The majority of the development will not compromise privacy in the area due to a combination of lack of windows on side/rear boundaries, having high sill windows that face side/rear boundaries, limiting living areas that face adjoining living areas/open space, compliant separation and use of screening/fencing.	Yes

DCP 2013: General Provisions			
	Requirements	Proposed	Complies
2.7.2.2	Design addresses generic principles of Crime Prevention Through Environmental Design guideline	Good casual surveillance is available from the carpark and open space areas. No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes
2.3.3.1	Cut and fill 1.0m max. 1m outside the perimeter of the external building walls	Fill >1m proposed across the site, including 1m outside the perimeter of the external building walls. Fill is required across the site to raise the habitable floor areas above the flood planning level (FPL), grading from a front/east high point to a rear/west low. Approximately 1.6m high fill is required to	No, variation sought below

DCP 2013: General Provisions			
	Requirements	Proposed	Complies
		raise the at the rear/western end of the property. A standard condition is recommended to require engineering certification for all retaining walls proposed.	
2.3.3.2	1m max. height retaining walls along road frontage	None proposed	N/A
	Any retaining wall >1.0 in height to be certified by structure engineer	Retaining walls exceeding 1m proposed. Condition recommended to require engineering certification.	Yes
	Combination of retaining wall and front fence height max 1.8m, max length 6.0m or 30% of frontage, fence component 25% transparent, and splay at corners and adjacent to driveway	No retaining wall front fence combination proposed.	N/A
2.3.3.8	Removal of hollow bearing trees	Ecology report prepared by Biodiversity Australia has concluded no hollow bearing trees were found onsite.	N/A
2.6.3.1	Tree removal (3m or higher with 100mm diameter trunk at 1m above ground level and 3m from external wall of existing dwelling)	Applicant has submitted an arborists report and an ecology report. There are 16 trees identified for removal onsite. Following provisions of amended plans, no koala browse species trees are proposed to be impacted.	Yes
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.	
2.5.3.2	New accesses not permitted from arterial or distributor roads	No new access proposed to arterial or distributor road.	N/A
	Driveway crossing/s minimal in number and width including maximising street parking	Driveway crossings of acceptable width with maximised retention of street parking.	Yes
2.5.3.3	Parking in accordance with Table 2.5-1	Proposal includes: 2 bedroom units: 17	Yes

DCP 2013: General Provisions			
	Requirements	Proposed	Complies
	<u>Multi dwelling</u> 1 space per 1 & 2 bedroom occupancies 1.5 spaces per 3+ bedroom occupancies 0.25 spaces per occupancy for visitor parking.	Therefore, parking requirements are: 2 bedroom units: 17 Visitor parking: 4.25 (5) Total Required: 22 spaces The overall parking demand of the development is therefore 22 spaces. The submitted plan identifies 24 parking spaces and exceeds the minimum requirement.	
2.5.3.11	Section 94 contributions	Contributions apply - refer to ET calc and NOP.	Yes
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Suitable landscaping proposed around driveway/parking locations.	Yes
2.5.3.14	Sealed driveway surfaces unless justified	Sealed driveway areas proposed.	Yes
2.5.3.15 and 2.5.3.16	Driveway grades first 6m or 'parking area' shall be 5% grade with transitions of 2m length	Driveway grades capable of complying. Condition recommended requiring details with the Construction Certificate and Section 138 applications.	Yes
2.5.3.17	Parking areas to be designed to avoid concentrations of water runoff on the surface.	Details of proposed stormwater management have been submitted with the application. See comments under 'Stormwater' later in this report.	Yes

The proposal seeks to vary Development Provision relating to 2.3.3.1

The relevant objectives are: *To ensure that design of any building or structure integrates with the topography of the land to.*

- *Minimise the extent of site disturbance caused by excessive cut and fill to the site;*
- *Ensure there is no damage or instability to adjoining properties caused by excavation or filling;*
- *Ensure that there is no adverse alteration to the drainage of adjoining properties;*
- *Ensure the privacy of adjoining dwellings and private open space are protected;*
- *Ensure that adequate stormwater drainage is provided around the perimeter of buildings and that overflow paths are provided;*

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The site topography slopes gently down from east to west by approximately 2m;
- The site currently has a natural ground level that is lower than its neighbouring properties and below the flood planning level;
- Fill is proposed to raise the ground level above the flood planning level and will be retained by max 1.6m high retaining wall;
- No adverse impacts are identified to neighbouring properties to north and south.

Based on the above assessment, the variation proposed to the provision of the DCP is considered acceptable and the relevant objectives have been satisfied.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into relating to the site

(iv) Any matters prescribed by the Regulations

None prescribed

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality:

The site has a general easterly street frontage orientation to Kemp Street. Adjoining the site to the north is a tourist use and tennis centre, north-west, east and south are R1 General Residential zoned premises with a mix of single and multi-dwelling building types, and to the west is E2 Environmental Conservation.

- The proposal will be unlikely to have any adverse impacts to existing adjoining properties and satisfactorily addresses the public domain.
- The proposal is considered consistent with other residential development in the locality and adequately addresses planning controls for the area.
- There are no adverse impacts on existing view sharing.
- There are no adverse privacy impacts.
- There are no adverse overshadowing impacts. The proposal does not prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June.

Access, Traffic and Transport

The site has road frontage to Kemp Street. Kemp Street is a sealed public local road under the care and control of Council, with a 10.5m road formation within a 20m road reserve. The proposal will not have any adverse impacts within the immediate locality in terms access, transport and traffic. The existing road network will satisfactorily cater for any potential increase in traffic generation as a result of the development. Vehicle access to the site will be via a proposed driveway location fronting Kemp Street. All accesses shall comply with Council AUSPEC and Australian Standards, and conditions have been recommended to reflect these requirements.

Parking and Manoeuvring

A total of 24 parking spaces have been provided on-site. Parking and driveway widths on site can comply with relevant Australian Standards (AS 2890) and conditions have been imposed to reflect these requirements. Due to the type of development, car park circulation is required to enable vehicles to enter and exit the site in a forward manner for all dwellings other than for dwellings 1 and 17 fronting Kemp Street. Site plans show adequate area is available and conditions have been recommended to reflect these requirements.

Water Supply Connection

Council records indicate that the development site has existing potable water service from the 150mm diameter water main on the opposite of Kemp Street.

A hydraulic strategy and plans are required from a hydraulic consultant for the whole of the development on the site. Water service sizing is then to be determined by the hydraulic consultant to suit the proposed development, as well as addressing fire service requirements to AS 2419 and backflow protection requirements.

Detailed plans will be required to be submitted for assessment with the S.68 application.

Refer to relevant recommended conditions of consent.

Sewer Connection

Council records indicate that the development site is connected to sewer via a sideline in the north eastern corner of the site. All units shall drain to a new manhole constructed on the existing sewer main in Kemp Street. The abandoned sewer side line shall be removed and capped off at Council's sewer main.

The hydraulic designer is to confer with Council sewer section prior to submitting sewer design plans. The DA plans have no indication of how the development site will be serviced for sewer. Consideration will need to be given to the fact that the existing sewer main is located at the high end of long development lot.

Detailed plans will be required to be submitted for assessment with the S.68 application.

Refer to relevant recommended conditions of consent.

Stormwater

The site naturally grades towards the west and is currently un-serviced. Current site stormwater discharge is mainly in the form of sheet flows onto the adjoining downstream undeveloped environmental zoned land, before concentrating within an existing gully at the rear of downstream Lot 2 DP601094. The site is also subject to stormwater flows from the adjoining upstream lot at Lot 1 DP 713669.

The legal point of discharge for the proposed development is defined as an onsite system, which is required to limit the rate, volume and frequency of stormwater discharge from the site to be no greater than the pre-developed conditions of the site. The rationale for this arrangement is that there is no formal piped point of connection available, the downstream environmental conditions need to be maintained and protected, and negotiations with the adjoining downstream landowner failed to obtain an easement to do so. Hence, a design was required to mimic that natural flow of discharge from the undeveloped existing site. The design is also required to include a level spreader / energy dissipation arrangement so that flows off the site are in sheet flow consistent with the current conditions of the site.

A stormwater drainage plan has been submitted in support of the development application and includes a large above ground on-site stormwater detention/absorption system at the rear of the site. Calculations submitted with the development application indicate that the system functions to limit the rate of discharge from the site to pre-development rates, indicating that the development will not exacerbate or create any new downstream flooding issues. Further modelling and rainwater storage is required on site above that proposed in order to limit the total volume of runoff to pre-development flow rates however. It is anticipated that this could be achieved by the provision of rainwater storage tanks to service each of the proposed residential units. Refer to relevant conditions of consent.

A detailed site stormwater management plan will be required to be submitted for assessment with the S.68 application and prior to the issue of a Construction Certificate.

In accordance with Council's AUSPEC requirements, the following must also be incorporated into the stormwater drainage plan:

- On site stormwater detention and retention facilities
- Water quality controls
- Level spreader / energy dissipation system outfall.

In addition, the stormwater plan does not include detail of the surface drainage system designed to collect and manage stormwater runoff that is currently directed onto the development site from the adjoining lot to the north. The CC submission will be required to include detail of such systems.

Refer to relevant recommended conditions of consent.

Other Utilities

Telecommunication and electricity services are available to the site.

Heritage

No known items of Aboriginal or European heritage significance exist on the property. No adverse impacts anticipated.

Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

Soils

The proposed development will not have any significant adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition being recommended requiring erosion and sediment controls to be in place prior to and during construction.

Air and microclimate

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Flora and fauna

An arborists and ecology report has been submitted as part of the application. Following amended plans, construction of the proposed development will not require any removal/clearing of any significant native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.

Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

Noise and vibration

No adverse impacts. Condition recommended to restrict construction to standard construction hours.

Bushfire

The site is identified as being bushfire prone.

The Applicant has submitted a bushfire report prepared by a Certified Consultant.

An assessment of bushfire risk having regard to section 4.3.5 of Planning for Bushfire Protection 2006 including vegetation classification and slope concludes that a Bushfire Attack Level 12.5, 19 and 29 as per the Bushfire Assessment dated 17 December 2018 shall be required.

In accordance with Section 100B - *Rural Fires Act 1997* - the application proposes subdivision of bush fire prone land that could lawfully be used for residential purposes. As a result, the applicant has submitted a bushfire report prepared by a Certified Consultant. The report was forwarded to the NSW Rural Fire Service who have since issued a Bushfire Safety Authority, which will be incorporated into the consent.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The increase in housing density will improve natural surveillance within the locality and openings from each dwelling overlook common and private areas.

Social impacts in the locality

Given the nature of the proposed development and its location, the proposal is not considered to have any significant adverse social impacts.

Economic impact in the locality

The proposal is not considered to have any significant adverse economic impacts on the locality. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality.

Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

Cumulative Impacts

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

(d) Any submissions made in accordance with this Act or the Regulations

Two (2) written submissions were received following public exhibition of the application. Copies of the written submissions have been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:

Submission Issue/Summary	Planning Comment/Response
Flooding, stormwater and surface drainage concerns, including nature of the fill proposed.	<p>Amended plans have been submitted to clarify the extent of fill proposed. Council's Engineers and Environmental Project's Officers (flooding) have reviewed the proposal and have addressed the concerns through amended plans and conditions.</p> <p>Condition B072 regards stormwater and requires detail drainage design to be submitted and approved by Council prior to the issue of Construction Certificate</p> <p>Condition E046 references the need for a positive covenant to be created prior to issue of the Occupation Certificate burdening the owner(s) with the requirement to maintain on-site stormwater detention facilities within the site.</p> <p>Condition E048 references the need for a positive covenant to be created prior to issue of the Occupation Certificate burdening the owner(s) with the requirement to maintain the water quality control facilities within the site.</p> <p>Condition B067, E044 and B070 relate to flooding and requires floor level of all habitable areas to be a minimum of 500mm above the 1 in</p>

	<p>100 year flood level including the applicable climate change allowance; that these levels be certified by a registered surveyor prior to issue of the Construction Certificate.</p> <p>Condition B039 require detailed drawings and specifications submitted for retaining walls prior to issue of Construction Certificate.</p>
Impact on character of the street, with the perception that the development is in high contrast to the area's neighbourhood character which can generally be described as one dwelling on large blocks with lots of open space and landscaping	<p>For a new development to be visually compatible with the area surrounding the site comprises a mix of single and two storey development, including mixed-use tourist and visitor accommodation adjacent to the north that comprises a number of two-storey buildings.</p> <p>In this regard, the frontage of the proposal has been designed to reference the cottage-like appearance of existing neighbouring frontages. The proposed building height of 5.5m is compliant with the maximum building height of 8.5m and is reflective of the surrounding neighbourhood that is typically residential of varying bulks and height. The front, rear and side setbacks comply with DCP provisions and is also compatible with nearby development in scale.</p>
Lack of private open space and visual privacy concerns owing to a perceived extreme overdevelopment of this site.	<p>Each occupancy contains a minimum of 35m² open space in one area including a useable 4m x 4m area.</p> <p>The proposed dwellings are 5.5m in height with loft-style accommodation. There are no rear facing windows above 2.4m.</p>

(e) The Public Interest

The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- Development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- Development contributions will be required in accordance with Section 7.11 of the Environmental Planning and Assessment Act 1979 towards roads, open space, community cultural services, emergency services and administration buildings.
 - 1.
- A copy of the contributions estimate is included as Attachment 3.

5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

Attachments

- 1[View](#). DA2019 - 71.1 Plans.
- 2[View](#). DA2019 - 71.1 Recommended Conditions
- 3[View](#). DA2019 - 71.1 Contributions Estimate
- 4[View](#). DA2019 - 71.1 Engineering and Stormwater Management
- 5[View](#). DA2019 - 71.1 Arborist Report
- 6[View](#). DA2019 - 71.1 Bushfire Report
- 7[View](#). DA2019 - 71.1 RFS response and conditions

UNIT PROPOSAL
(AFFORDABLE HOUSING)
AT
11 KEMP STREET
PORT MACQUARIE NSW 2444

AH Design & Drafting ABN 63 840 474 678 Email: andeignanddrafting@gmail.com	WORKING DRAWINGS (CONSTRUCTION ISSUE)	
	Designer/Drafter: ANDREW HOLLIDAY	Date: AUGUST 2019
ISSUE-G		

BOUNDARY FENCE NOTE:
THE PROPOSED BOUNDARY FENCE HAS A MINIMUM HEIGHT OF 1.8M, INCREASING TO A MAXIMUM 2M AS THE SLOPE OF THE SITE FALLS, STEPPING AT VARIOUS POINTS TO REDUCE THE OVERALL SCALE OF THE FENCE.

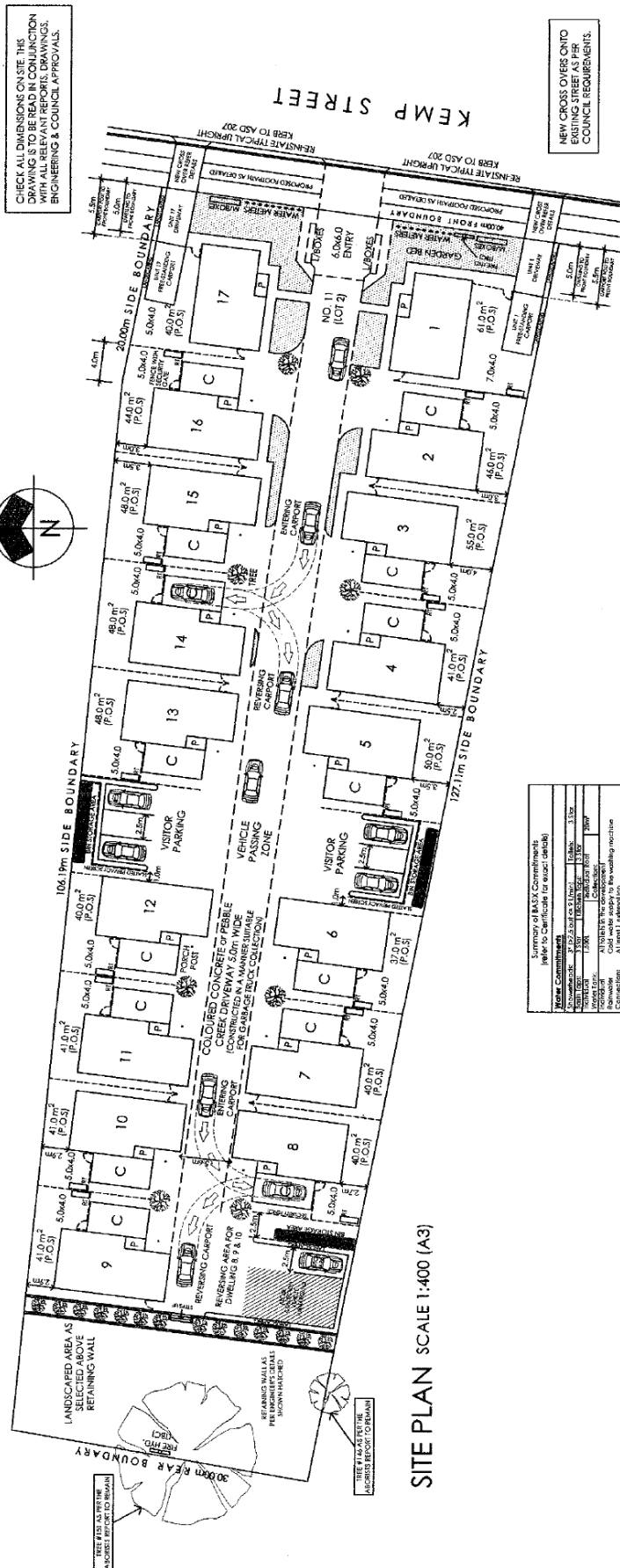
RAINWATER TANK NOTE:
RT - MODULAR RAINWATER STORAGE TANK (3000L MIN.) FOR HOUSEHOLD USE & DRINKING WATER

SITE PLAN NOTES:
PROPOSED STRATA PLAN ZONING - R1
'DEVELOPMENT' - MULTI RESIDENTIAL HOUSING FOR PERMANENT RESIDENTIAL ACCOMMODATION WITH STRATA SUB-DIVISION FOR

PROPOSED FOOTPATH TO BE LAID BY DEVELOPER
- TO MATCH EXISTING NEIGHBOURING FOOTPATH
ARTIFICIAL LAID LAWN 9m² PER DWELLING
COMMON LANDSCAPING AREA 225m²
- SHOWN HATCHED

FLOOR SPACE RATIO - 0.25:1
PERMANENT RESIDENTIAL ACCOMMODATION WITH STRATA SUB-DIVISION FOR

CUT & FILL NOTE:
CUT & FILL TO BLOCK TO REQUIRED FILL LEVELS & AHD LEVELS AS PER COUNCIL REQUIREMENTS



SITE PLAN SCALE 1:400 (A3)

Summary of BASIX Commitments (Refer to Certificate for exact details)	
Water Conservation	Water Conservation: 100% (as per BASIX)
Energy Efficiency	Energy Efficiency: 100% (as per BASIX)
Thermal Comfort	Thermal Comfort: 100% (as per BASIX)
Indoor Air Quality	Indoor Air Quality: 100% (as per BASIX)
Glazing	Glazing: 100% (as per BASIX)
Other	Other: 100% (as per BASIX)

Summary of BASIX Commitments (Refer to Certificate for exact details)	
Water Conservation	Water Conservation: 100% (as per BASIX)
Energy Efficiency	Energy Efficiency: 100% (as per BASIX)
Thermal Comfort	Thermal Comfort: 100% (as per BASIX)
Indoor Air Quality	Indoor Air Quality: 100% (as per BASIX)
Glazing	Glazing: 100% (as per BASIX)
Other	Other: 100% (as per BASIX)

GLAZING SPECIFICATIONS:
GLAZING SPECIFICATIONS: 100% (as per BASIX)



UNITS 1-7: BAL 12.5
UNITS 12-18: BAL 12.5
UNITS 8-11: BAL 19
UNIT 9: REFERS TO SUPPLIER REPORT BY S&K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)

NEW CROSS OVERS ONTO EXISTING STREET AS PER COUNCIL REQUIREMENTS.

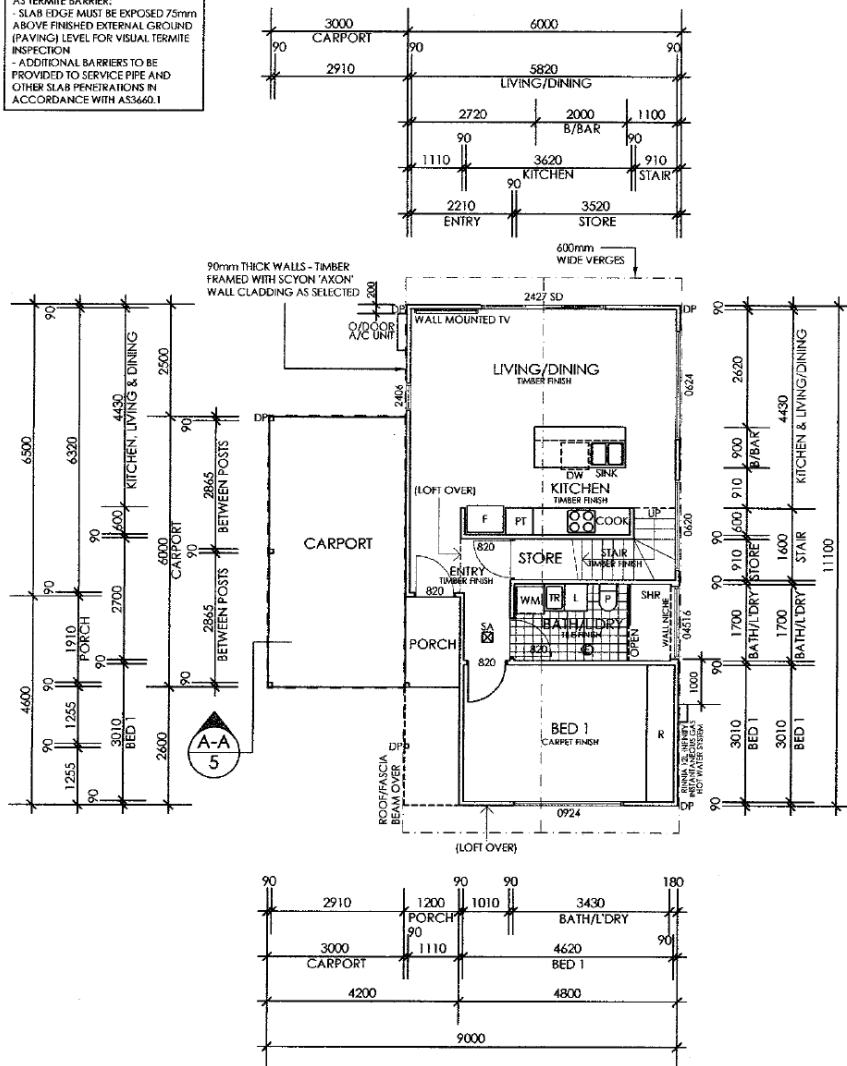
AH Design & Drafting A/BN 63 840 474 2/8		Project: UNIT PROPOSAL (MULTI DWELLING HOUSING) SHEET: 1 OF 10 SITE PLAN Designer/Drafter: ANDREW Date: 14/11/19
Copyright: These drawings are copyright and remain the exclusive property of AH Design & Drafting. No part of these drawings may be reproduced or used in any form without the prior written consent of AH Design & Drafting.		Date: 14/11/19 Scale: 1:400 Date: 14/11/19

TERMITE NOTES:

WHERE CONCRETE SLAB IS TO BE USED AS TERMITE BARRIER:

- SLAB EDGE MUST BE EXPOSED 75mm ABOVE FINISHED EXTERNAL GROUND (PAVING) LEVEL FOR VISUAL TERMITE INSPECTION
- ADDITIONAL BARRIERS TO BE PROVIDED TO SERVICE PIPE AND OTHER SLAB PENETRATIONS IN ACCORDANCE WITH AS3660.1

CHECK ALL DIMENSIONS ON SITE. THIS
DRAWING IS TO BE READ IN CONJUNCTION
WITH ALL RELEVANT REPORTS, DRAWINGS,
ENGINEERING & COUNCIL APPROVALS.





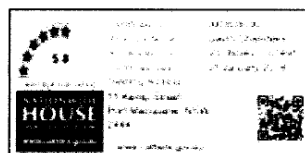
LOWER FLOOR PLAN (DWELLING 1)

(LOT 2,4,7,11,13,14 & 16)
(LOT 3,5,6,8,12 & 15 - MIRRORED)
(LOT 17 - DETACHED CARPORT)

SCALE 1:100

FLOOR AREAS	
LOWER MAIN FLOOR:	61.1 m ²
CARPORT:	16.8 m ²
PORCH:	2.4 m ²
TOTAL AREA:	80.3 m ²

LEGEND		SHR	SHOWER
	SMOKE ALARMS TO AS 3786 AND SECTION 3.7.2 OF THE BCA. ALL DETECTORS ARE TO BE INTERCONNECTED	P	TOILET PAN
		L	LINEN
DP	DOWN PIPE LOCATION TO AS 3300	TR	TROUGH
	INTERNAL VENTILATION TO AS 1668.2	WM	WASHING MACHINE
0924	900mm HIGH x 2400mm WIDE	F	FRIDGE
820	820mm DOOR	PT	PANTRY
R	ROBE	DW	DISHWASHER

**GLAZING SPECIFICATIONS:**

WINDOWS SPECIFIED USE AHRC U & SHGC VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO BUILDING SUSTAINABILITY CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH
STANDARD ALUMINIUM FRAMES THROUGHOUT.

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA.


BEDROOM WINDOWS-WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH. BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5

WINDOWS AND GLAZING TO COMPLY WITH:

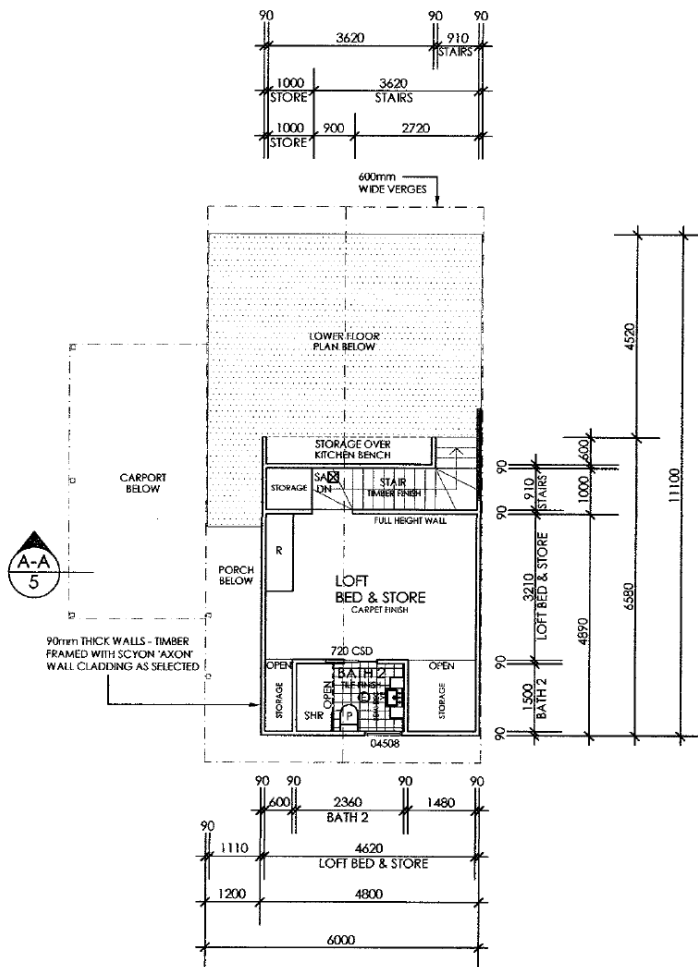
AS 4055: WIND LOADS FOR HOUSING
AS 1288: GLASS IN BUILDING-SELECTION & INSTALLATION
AS 2047: WINDOWS & EXTERNAL DOORS IN BUILDING
AS 1170-part 2: WIND ACTIONS
AS 3959: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE

UNITS 1-7 : BAL 12.5
UNITS 12-18 : BAL 12.5
UNITS 8+10+11 : BAL 19
UNIT 9 : BAL 29
PLEASE REFER TO BUSHFIRE REPORT BY
S&K JOHNSON CONSTRUCTIONS PTY LTD
(KRISANN JOHNSON)

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<p>Project: UNIT PROPOSAL (MULTI DWELLING HOUSING)</p>	<p>SHEET: 2 OF 10</p>	<p>ISSUE: CONSTRUCTION PLANS</p> <p>DATE: AUGUST 2019</p>								
<p>Street: 11 KEMP STREET</p> <p>Suburb: PORT MACQUARIE NSW 2444</p>	<p>Design/Draftor: ANDREW HOLLIDAY</p>	<p>AMENDMENTS:</p> <table border="1"> <thead> <tr> <th>Date:</th> <th>Describe</th> </tr> </thead> <tbody> <tr> <td>11/100</td> <td></td> </tr> <tr> <td>Sheet Size: A3</td> <td></td> </tr> <tr> <td>Job No: 19-057</td> <td></td> </tr> </tbody> </table>	Date:	Describe	11/100		Sheet Size: A3		Job No: 19-057	
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11/100										
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<p>Client:</p>										

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS.



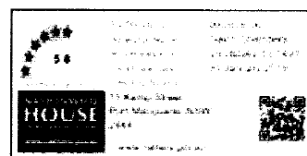
LOFT PLAN (DWELLING 1)

(LOT 2,4,7,11,13,14 & 16)
(LOT 3,5,6,8,12 & 15 - MIRRORED)
(LOT 17 - DETACHED CARPORT)

SCALE 1:100

FLOOR AREAS	
LOWER MAIN FLOOR:	61.1 m ²
CARPORT:	16.8 m ²
PORCH:	2.4 m ²
TOTAL AREA:	80.3 m ²

LEGEND	
☒	SMOKE ALARMS TO AS 3786 AND SECTION 3.7.2 OF THE BCA. ALL DETECTORS ARE TO BE INTERCONNECTED
DP	DOWN PIPE LOCATION TO AS 3500
Ⓢ	INTERNAL VENTILATION TO AS 1668.2
0924	900mm HIGH x 2400mm WIDE
820	820mm DOOR
R	ROBE
SHR	SHOWER
P	TOILET PAN
L	LINEN
TR	TROUGH
WM	WASHING MACHINE
F	FRIDGE
PT	PANTRY
DW	DISHWASHER



GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE AFRIC U & SHGC VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO BUILDING SUSTAINABILITY CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT.

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA.

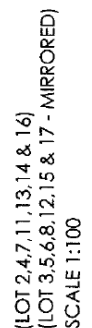
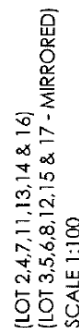
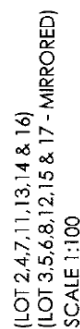
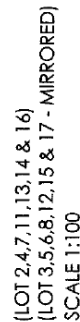
BEDROOM WINDOWS-WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE. BENEATH BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5.

WINDOWS AND GLAZING TO COMPLY WITH:

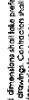
AS 4055 : WIND LOADS FOR HOUSING
AS 1288 : GLASS IN BUILDING SELECTION & INSTALLATION
AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING
AS 1170-part 2 : WIND ACTIONS
AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS
THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE

UNITS 1-7 :	BAL 12.5
UNITS 12-18 :	BAL 12.5
UNITS 8+10+11 :	BAL 19
UNIT 9 :	BAL 29
PLEASE REFER TO BUSHFIRE REPORT BY S&K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)	

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Project:	UNIT PROPOSAL (MULTI DWELLING HOUSING)	Email:	ahdesignanddrafting@gmail.com
Sheet:	3 OF 10	Issue:	CONSTRUCTION PLANS
Street:	11 KEMP STREET	Date:	AUGUST 2019
Suburb:	PORT MACQUARIE NSW 2444	Amendments:	
Client:		Date:	
		Detail:	
		Designer/Drafter:	Scale: 1:100
		Sheet Size:	A3
		Job No.:	78-627
		Drawing Issue:	1



Summary of BUILDING SUSTAINABILITY Commitments (refer to Certificate for each detail)	
Thermal Comfort Commitments	
External Walls:	Polystyrene formed light weight wall cladding Tol = R2.5
Internal Walls:	Polystyrene on timber studs Insulation R2.0 to wall adjacent to garage
Floors:	Concrete slab, Enclosed, No insulation Polystyrene on timber studs (no rising)
Roofs:	Flat, Corrug, Timber, Polystyrene tiles as per spec. Insulation, R3.5 to ceiling, ceiling and roof eaves
Windows:	100 to lower floor, double glazing Double glazed, polystyrene covered or plastic to be insulated to ceiling, double glazing, double glazing or insulation to be closely related to the top and bottom of the light filling and extract fans.
Roof:	Merla Shedding, R4 + R1.0 (reflective) side insulation, 100 to roof Pitch 100 to roof Pitch (R4.0 + R2.0)
Eaves:	100 Eaves as shown on the plans
Cladding:	Single clasp aluminium frames throughout Weather stripping throughout Windows as specified

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<p>Project: UNIT PROPOSAL (MULTI DWELLING HOUSING)</p>		<p>Drawn: 11 KEMP STREET</p>		<p>DATE: AUGUST 2019</p>	
<p>Site: 11 KEMP STREET</p>		<p>Sheet: 1/10</p>		<p>SS/E: CONSTRUCTION PLANS</p>	
<p>State: PORT MACQUARIE NSW 2444</p>		<p>Drawn by: JASON HOSKINS</p>		<p>AMENDMENTS:</p>	
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		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
		<p>Drawn Date: 18-03-2019</p>		<p>Date: Drawn:</p>	
		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
		<p>Drawn Date: 18-03-2019</p>		<p>Date: Drawn:</p>	
		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
		<p>Drawn Date: 18-03-2019</p>		<p>Date: Drawn:</p>	
		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
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		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
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		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
		<p>Drawn Date: 18-03-2019</p>		<p>Date: Drawn:</p>	
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		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
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		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
		<p>Drawn Date: 18-03-2019</p>		<p>Date: Drawn:</p>	
		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
		<p>Drawn Date: 18-03-2019</p>		<p>Date: Drawn:</p>	
		<p>Drawn by: JASON HOSKINS</p>		<p>Date: Drawn:</p>	
		<p>Drawn Date: 18-03-2019</p>		<p>Date: Drawn:</p>	

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE AFRIC U & SIGC VALUES. WINDOWS WITH SIGC VALUES OF 1.0 OR GREATER ARE EQUIVALENT AND MAY BE USED INSTEAD OF THE SIGC VALUE. (SEE EQUIVALENT TABLE ON SITE SPECIFIC TO BUILDING SUBMITTAL CERTIFICATE FOR DETAILS).

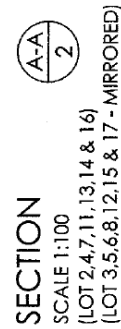
GLAZING SHALL BE SINGLE OR DOUBLE GLAZING WITH STANDARD ALUMINUM FRAME THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, KITCHENS, PANTRY, SPA ROOMS OR THE LIFT TO COMPLY WITH SECTION 3.6.4.3 OF THE BECA.

ALL BEDROOM WINDOWS WHERE THE FLOOR SURFACE OF A BEDROOM IS MORE THAN 20" ABOVE THE LEVEL OF THE ADJACENT, BEDROOM WINDOWS ARE TO COMPLY WITH SECTION 3.6.4.3 PART 3.2.3.5.

WINDOWS AND GLAZING TO COMPLY WITH:

AS 1905: WINDS AND POLYMERIZATION
AS 1906: WINDS AND POLYMERIZATION, INSTALLATION
AS 1907: WINDOWS & EXTERNAL DOORS IN BUILDING
AS 1170-part 2: WIND ACTIONS
AS 1170-part 3: WIND ACTIONS
AS 1170-part 4: WIND ACTIONS
THE STANDARDS REFERRED ABOVE ARE THE VERSION ADAPTED BY BECA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OF COMPLYING DEVELOPMENT CERTIFICATE APPLICATION WAS MADE.



SECTION
SCALE 1:100
(LOT 2,4,7,11,13
(LOT 3,5,6,8,12,

NOTE!!!
FOOTING CROSS SECTIONS ARE
DIAGRAMATIC ONLY;
REFER TO STRUCTURAL ENGINEER'S
DOCUMENTATION FOR SPECIFIC DETAILS;

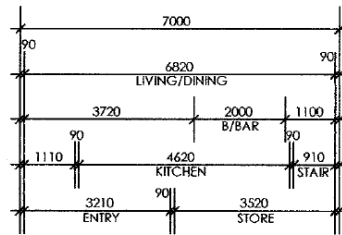
WINDOW GLAZING SCHEDULE (DWELLING 1)						
LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONST.	GLAZING
LOWER LEVEL	BED 1	900	2400	SLIDING	ALUMINIUM	STANDARD
LOWER LEVEL	BATH/DRY	450	1400	SLIDING	ALUMINIUM	STANDARD
LOWER LEVEL	STAIR	600	2000	SLIDING	ALUMINIUM	STANDARD
LOWER LEVEL	KITCHEN	600	2400	SLIDING	ALUMINIUM	STANDARD
LOWER LEVEL	LIVING/DINING	2400	600	AWNING	ALUMINIUM	STANDARD
UPPER LEVEL	LOFT BED & STORE	400	2000	SLIDING	ALUMINIUM	STANDARD

DOOR GLAZING SCHEDULE (DWELLING 1)						
LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONST.	GLAZING
LOWER LEVEL	LIVING/DINING	2400	2700	SLIDING DOOR	ALUMINUM	STANDARD

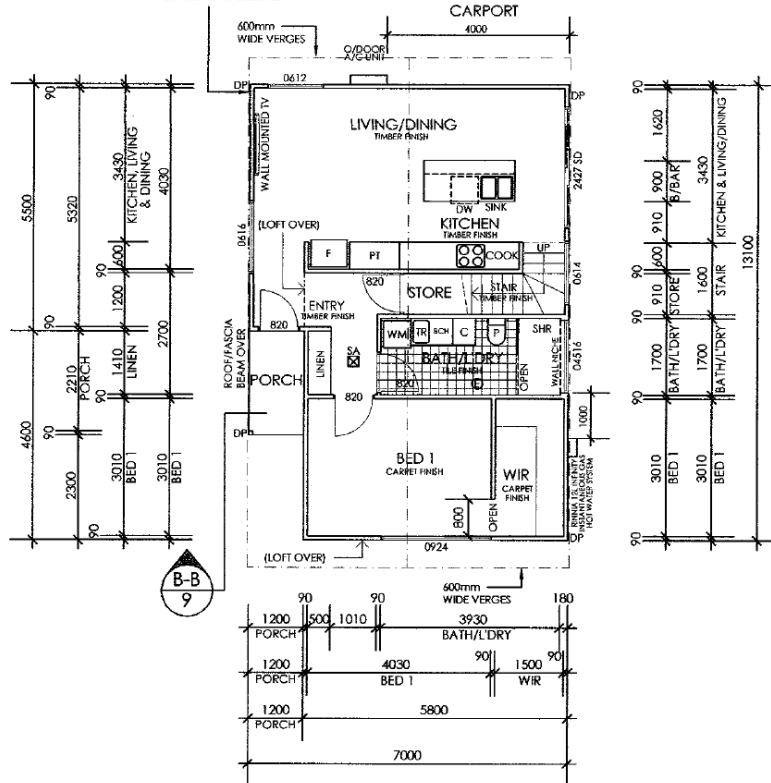
<h1>AH Design & Drafting</h1> <p>ABN 63 6040 474 678</p>		<p>© Copyright: These drawings are copyright and the intellectual property of AH Design & Drafting. Reproduction in any form without the written permission of AH Design & Drafting is strictly prohibited. All rights reserved.</p> <p>Email: ahdesignanddrafting@gmail.com</p>		<p>Project: UNIT PROPOSAL (MULTIDWELLING HOUSING)</p> <p>Sheet: 11 KEMP STREET</p> <p>Location: PORT MACQUARIE NSW 2444</p>		<p>Drawn/Checker: Soledad</p> <p>Sheet Size: A3</p> <p>Date: 16/03/20</p>		<p>SECTION 11 CLADDING SCHEDULE (DWELLING 1)</p> <p>DATE: 11/03/20</p> <p>DATE: 16/03/20</p>		<p>ISSUE: CONSTRUCTION AS AS 2019</p> <p>DATE: AUGUST 2019</p>		<p>Revised dimensions and take quantities over the entire drawing. Contractors should verify all dimensions and take quantities over the entire drawing. Contractors should verify all dimensions and take quantities over the entire drawing.</p>	
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TERMITE NOTES:

WHERE CONCRETE SLAB IS TO BE USED AS TERMITE BARRIER:
 - SLAB EDGE MUST BE EXPOSED 75mm ABOVE FINISHED EXTERNAL GROUND (PAVING) LEVEL FOR VISUAL TERMITE INSPECTION
 - ADDITIONAL BARRIERS TO BE PROVIDED TO SERVICE PIPE AND OTHER SLAB PENETRATIONS IN ACCORDANCE WITH AS3660.1



90mm THICK WALLS - TIMBER FRAMED WITH SCYON 'AXON' WALL CLADDING AS SELECTED



CHECK ALL DIMENSIONS ON SITE, THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS.

Summary of BASIX Commitments
(refer to Certificate for exact details)

Water Commitments	
Showerheads:	3* (>7.5 but <= 9 l/min)
Bath Taps:	3 Star
Individual Water Tank:	1,500L
Individual Collection:	20m³
Rainwater Connection:	All toilets in the development
Appliances:	Cold water supply to the washing machine
Lighting:	At least 1 external tap
Energy Commitments	
HWS:	Gas instantaneous, 6 Star rating
Cooling:	1 Phase air-conditioning, 2 Star, in at least five living area
Heating:	1 Phase air-conditioning, 2 Star, in at least five living area
Ventilation:	Kitchen & Bathroom: ducted, manual control laundry: no mechanical ventilation
Appliances:	Gas Cooktop & Electric Oven to be installed
Artificial Lighting:	The following rooms are to be primarily lit by fluorescent or LED lamps: (Bedroom, 2 Living/Dining Rooms) (The Kitchen) All Hallways
Clothes Line:	The Laundry (All Bathrooms/Toilets)
	Fixed outdoor clothes drying line to be installed

Summary of BUILDING SUSTAINABILITY Commitments
(refer to Certificate for exact details)

Thermal Comfort Commitments	
External Walls:	Timber framed light weight wall cladding
Internal Walls:	Foli + R2.5
Floors:	Plasterboard on timber studs
Ceiling:	Insulation R2.0 to walls adjacent to garage
Roof:	Concrete slab, Enclosed, No insulation
Roof:	Timber, Enclosed (Elevated where shown on plans)
Roof:	Finish: Carpet, timber floorboards & tiles as per plans
Roof:	Plasterboard, R3.5 to ceiling adjacent to roof space
Roof:	(N8 to lower floor including garage)
Roof:	Approved non-ventilated cover or shield it to be installed to all recessed lighting and exhaust fans to allow insulation to be closely installed to the top and sides of the light fitting and exhaust fans.
Roof:	Metal Sheeting, Foli + R1.0 Blanket (reflective side down, anti-glare up), 35° & 15° Roof Pitch
Roof:	Colour: Medium (R4.0)
Roof:	Nil Faves as shown on the plans
Glazing:	Single clear with aluminium frames throughout
Glazing:	Weather stripping throughout, Windows as specified or equivalent to be installed on site

LOWER FLOOR PLAN (DWELLING 2)

(LOT 17)

(LOT 1 - MIRRORED)

(LOT 1 - DETACHED CARPORT)

SCALE 1:100

FLOOR AREAS	
LOWER MAIN FLOOR:	45.2 m²
CARPORT:	14.8 m²
PORCH:	2.7 m²
TOTAL AREA:	84.7 m²

LEGEND	
☒	SMOKE ALARMS TO AS 3786 AND SECTION 3.7.2 OF THE BCA. ALL DETECTORS ARE TO BE INTERCONNECTED
DP	DOWN PIPE LOCATION TO AS 3500
⊕	INTERNAL VENTILATION TO AS 1668.2
0924	900mm HIGH x 2400mm WIDE
820	820mm DOOR
R	ROBE
SHR	SHOWER
P	TOILET PAN
L	LINEN
TR	TROUGH
WM	WASHING MACHINE
F	FRIDGE
PT	PANTRY
DW	DSHWASHER



GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE AFRC U & SHGC VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO BUILDING SUSTAINABILITY CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT.

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.4.5.3 OF THE BCA.

BEDROOM WINDOWS WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE. BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5

WINDOWS AND GLAZING TO COMPLY WITH:

AS 4055: WIND LOADS FOR HOUSING
 AS 1288: GLASS IN BUILDING-SELECTION & INSTALLATION
 AS 2047: WINDOWS & EXTERNAL DOORS IN BUILDING
 AS 1170-part 2: WIND ACTIONS
 AS 3959: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS
 THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE

UNITS 1-7: BAL 12.5

UNITS 12-18: BAL 12.5

UNITS 8+10+11: BAL 19

UNIT 9: BAL 29

PLEASE REFER TO BUSHFIRE REPORT BY S&K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)

AH Design & Drafting
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Email: ahdesignanddrafting@gmail.com

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ISSUE: CONSTRUCTION PLANS DATE: AUGUST 2019

Project: UNIT PROPOSAL (MULTI-DWELLING HOUSING)

SHEET: 6 OF 10

AMENDMENTS:

Street: 11 KEMP STREET

Lower Floor Plan (Dwelling 2)

Date: Detail:

Suburb: PORT MACQUARIE NSW 2444

Designer/Draftsman: ANDREW HOLLIDAY

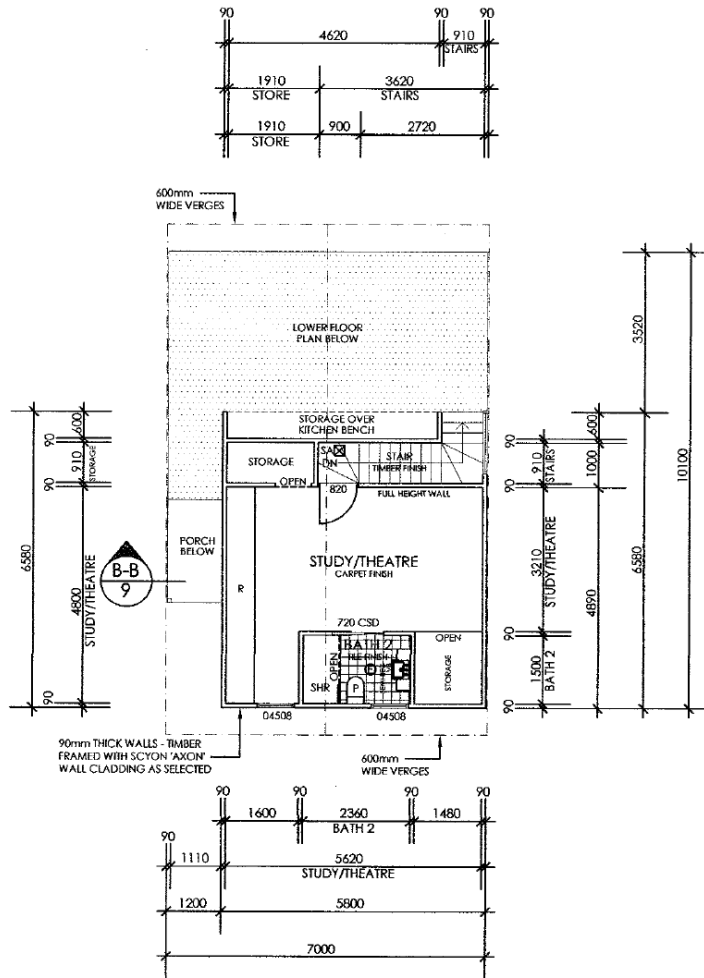
Scale: 1:100

Client:

Sheet Size: A3

Asst. No: 18437

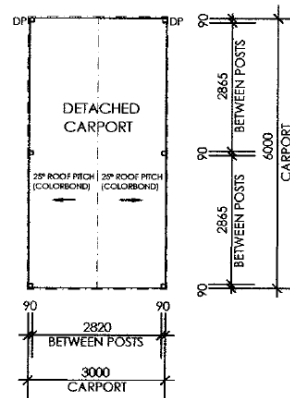
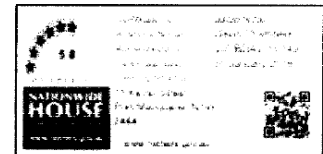
Drawing Issue: 0



CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS.

Summary of BASIX Commitments (refer to Certificate for exact details)			
Water Commitments			
Showers/baths:	3* (≥7.5 but ≤9 L/min)	Toilets:	3 Star
Basin taps:	3 Star	Kitchen taps:	3 Star
Individual Water Tank:	1,500L	Individual Roof Collector:	20m ²
Individual Rainwater Connection:	All toilets in the development Cold water supply to the washing machine At least 1 external tap		
Energy Commitments			
HWs:	Gas instantaneous, 6 Star Rating		
Cooling:	1 Phase air-conditioning, 2 Star, in at least the living area		
Heating:	1 Phase air-conditioning, 2 Star, in at least the living area		
Ventilation:	Kitchen & Bathroom: ducted, manual control Laundry: no mechanical ventilation		
Appliances:	Gas Cooktop & Electric Oven to be installed		
Artificial Lighting:	The following rooms are to be primarily lit by fluorescent or LED lamps: 1 Bedroom 2 Living/Dining Rooms The Kitchen All Hallways The Laundry All Bathrooms/toilets		
Clothes Line:	Fixed outdoor clothes drying line to be installed		

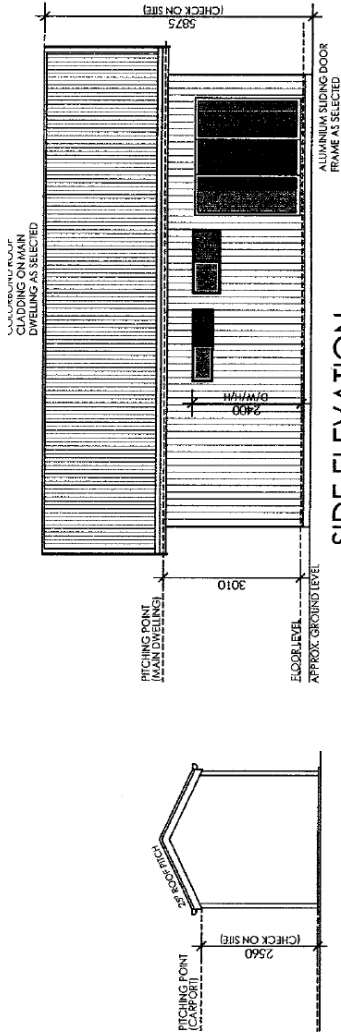
Summary of BUILDING SUSTAINABILITY Commitments (refer to Certificate for exact details)	
Thermal Comfort Commitments	
External Walls:	Timber framed light weight wall cladding
Internal Walls:	Plasterboard on timber studs
Floors:	Concrete slab, Enclosed, No insulation
Roofs:	Timber, Enclosed (Elevated where shown on plans)
Ceilings:	Plasterboard, R3.5 to ceiling adjacent to roof space (nil to lower floor including garage)
Roof:	Approved non-ventilated cover or shield is to be installed to all recessed lighting and exhaust fans to allow insulation to be closely installed to the top and sides of the light fittings and exhaust fans
Eaves:	Metal Sheathing, Fall = R1.0 Barrel (reflective side down, anti-glare up), 35° & 15° Roof Pitch
Glazing:	Nil Eaves as shown on the plans
	Single clear with aluminium frames throughout
	Weather stripping throughout, Windows as specified or equivalent to be installed on site



GLAZING SPECIFICATIONS:	
WINDOWS SPECIFIED USE ABOVE U & SHGC VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO BUILDING SUSTAINABILITY CERTIFICATE FOR DETAILS).	
STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT.	
WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.	
PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITS, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA.	
BEDROOM WINDOWS WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5	
WINDOWS AND GLAZING TO COMPLY WITH:	
AS 4055 : WIND LOADS FOR HOUSING	
AS 1288 : GLASS IN BUILDING SELECTION & INSTALLATION	
AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING	
AS 1170-part 2 : WIND ACTIONS	
AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS	
THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE	

UNITS 1-7 :	BAL 12.5
UNITS 12-18 :	BAL 12.5
UNITS 8+10+11 :	BAL 19
UNIT 9 :	BAL 29
PLEASE REFER TO BUSHFIRE REPORT BY S&K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)	

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Project: UNIT PROPOSAL (MULTI DWELLING HOUSING)		Email: ahdesignanddrafting@gmail.com		ISSUE: CONSTRUCTION PLANS DATE: AUGUST 2019	
Street: 11 KEMP STREET		SHEET: 7 OF 10		LOFT PLAN (DWELLING 2)	
Suburb: PORT MACQUARIE NSW 2444		Designer/Drafter: ANDREW HOLLIDAY		Scale: 1:100	
Client:		Sheet Size: A3		Job No: 18.037	
				Drawing Issue: G	



SIDE ELEVATION
(LOT 17)
(LOT 1 - MIRRORED)
SCALE 1:100

FRONT & REAR ELEVATIONS
CARPORT
(LOT 17)
(LOT 1 - MIRRORED)
SCALE 1:100

Summary of ES&W Commitments (refer to Certificate for most details)			
Water Commitments			
Showerheads:	3" x 2 1/2" or less (7/16")	Toilets:	3 1/2" or less
Handwash:	1 1/2" or less	Water	1/2" or less
Drinking:	100"	Individual bed:	20"
Water tank:		Collectors:	
Individual	At toilet in the development		
Common:	At toilet in the development		
Common:	At least 1 external tap		
Energy Commitments			
HPMS:	Get independent, 5 Star rating		
Chillers:	1 phase air conditioning, 2 Star, at least the		
Boilers:	being used		
Heating:	Made of condensing, 2 Star, at least the		
Ventilation:	Kitchen & Bathroom: ducted, manual control		
Artificial:	Sanitary: no mechanical ventilation		
Lighting:	The following controls have to be included		
	1 fluorescent or LED lamp; 1 Bedroom		
	2 Living/Dining/ Kitchen/ the Kitchen/ All Hallways		
Colours line:	Need colour: 50% of the light to be included		

[illegible][illegible]

UNITS 1-7: BAL 12.5
UNITS 12-18: BAL 12.5
UNITS 8+10-11: BAL 19
UNIT 9: BAL 29
PLEASE REFER TO BUSHIRE REPORT BY
S&K JOHNSON CONSTRUCTIONS PTY LTD
(KRISANN JOHNSON)

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE AFRIC 1 A SHGC VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE CERTIFIED TO BUILDING SUSTAINABILITY CERTIFICATE FOR DETAILS.

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINUM FRAMES THROUGHOUT.

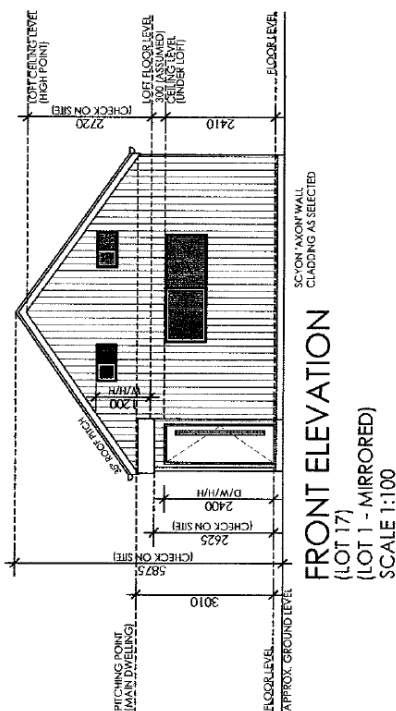
WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN PATIOPOUCHES, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA.

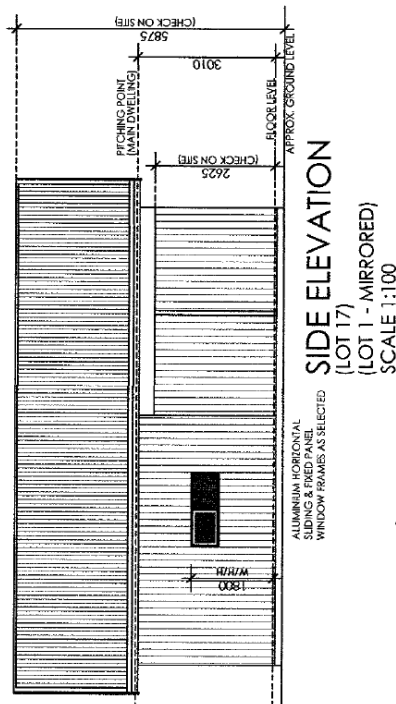
ALL BEDROOM WINDOWS WHERE THE LOWEST LEVEL OF A BEDROOM IS MORE THAN 2M ABOVE THE SURFACE OF THE ADJACENT TERRACE OR BALCONY MUST BE A BCA. BEDROOM WINDOWS ARE TO COMPLY WITH PART 2.9.2.5

WINDOWS AND GLAZING TO COMPLY WITH:

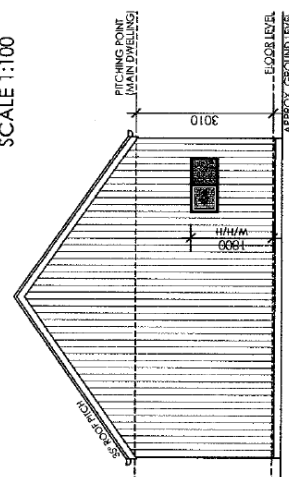
- AS 4355: WIND LOADS FOR HOUSING
- AS 4355: WIND LOADS FOR COMMERCIAL BUILDINGS
- AS 2047: WINDOWS & EXTERNAL GLAZING
- AS 1170-2047: 2. WIND ACTIONS
- AS 3959: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS
- AS 1562: GLAZING REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE



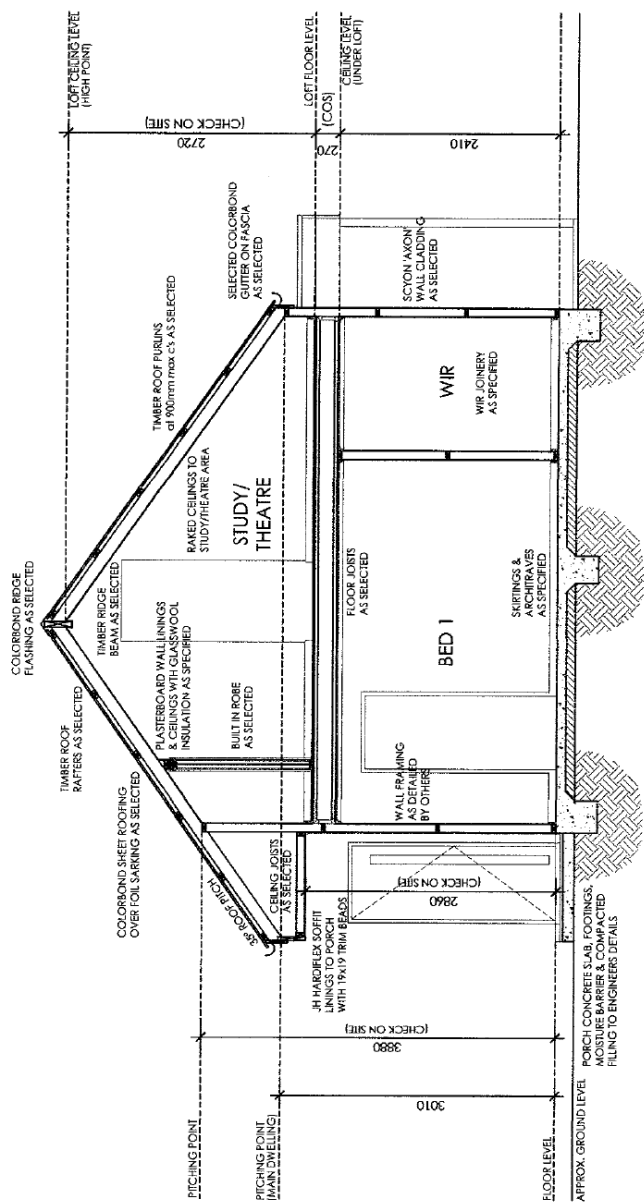
FRONT ELEVATION
(LOT 17)
(LOT 1 - MIRRORED)
SCALE 1:100



SIDE ELEVATION
(LOT 17)
(LOT 1 - MIRRORED)
SCALE 1:100



REAR ELEVATION
(LOT 17)
(LOT 1 - MIRRORED)
SCALE 1:100



NOTE!!!
FOOTING CROSS SECTIONS ARE
DIAGRAMATIC ONLY.
REFER TO STRUCTURAL ENGINEER'S
DOCUMENTATION FOR SPECIFIC DETAILS:

SECTION B-B
SCALE 1:100
(LOT 18)
(LOT 1 - MIRRORED)

WINDOW GLAZING SCHEDULE (DWELLING 2)				
LEVEL	ROOM	HEIGHT	WIDTH	GLAZING
LOWER LEVEL	BED 1	900	2400	ALUMINIUM STANDARD
LOWER LEVEL	BATH/DRY	450	1600	ALUMINIUM STANDARD
LOWER LEVEL	STAIR	600	1400	ALUMINIUM STANDARD
LOWER LEVEL	LIVING/DINING	600	1200	ALUMINIUM STANDARD
LOWER LEVEL	ENTRY	600	1600	ALUMINIUM STANDARD
UPPER LEVEL	STUDY/THEATRE	600	2400	ALUMINIUM STANDARD

DOOR GLAZING SCHEDULE (DWELLING 2)				
LEVEL	ROOM	HEIGHT	WIDTH	GLAZING
LOWER LEVEL	KITCHEN	2400	2700	ALUMINIUM STANDARD

AH Design & Drafting
ABN 63 840 474 678

Project: UNIT PROPOSAL (MULTI DWELLING HOUSING)
Sheet: 11 KEAP STREET
Suburb: PORT MACQUARIE NSW 2444

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Email: ahdesignanddrafting@gmail.com

Scale: 1:100
Sheet Size: A3
Job No: 18437

Client: HOLLIDAY

DATE: AUGUST 2019

CONSTRUCTION PLANS

AMENDMENTS:

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

1. FALLS, SLIPS, TRIPS

A) WORKING AT HEIGHTS

DURING CONSTRUCTION

Where possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier whenever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or ladders should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffolding, ladders, towers are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

B) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet footwear. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. These should be selected in accordance with AS 157:1979 and AS/NZS 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a tripping hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a slip hazard. Spills, loose materials or debris, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around the building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area wear Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, removal or demolition of the building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required supports are in place at all times unless collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

Hazardous services during construction or other activity create a variety of risks including releases of hazardous material. Existing services are located on or around the site. Where known, these are identified on the plans and the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on the site. There is a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of the overhead power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of raised overhead tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specifications.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to 1990, it therefore may contain asbestos 1990 - if there is a likely to contain either in cladding material or in its internal insulation material. In either case, the contractor is required to take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not turn treated timber.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not turn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray paints, primers, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when handling, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFIRMED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse of sides and barriers to prevent accidental or unauthorised access to the excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other work may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other work may be required: Small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDING

This building has been designed as a residential building. If, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. OTHER HIGH RISK ACTIVITY

Code All electrical work should be carried out in accordance with the Practice Managing Electrical Risks at the Workplace, AS/NZS 4576 and all licensing requirements. 2012 All work using PPE must be carried out in accordance with Code of Practice. Managing Risks of Plant at the Workplace. Code of All work should be carried out in accordance with Practice Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above apply.

EXCAVATIONS

1. Excavations

The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan. Top soil shall be set to a depth sufficient to remove all vegetation. Excavations for all footings shall be in accordance with the Engineer's Recommendations or the BCA requirements.

FOUNDATIONS AND FOOTINGS

1. Underfloor Fill

Underfloor fill shall be in accordance with the BCA.

2. Termite Risk Management

Termite treatment shall be carried out in accordance with the BCA.

3. Vapour Barrier

The vapour barrier installed under slab-on-ground construction shall be 0.2mm nominal thickness, high impact resistance polyethylene film installed in accordance with the BCA.

4. Reinforcement

Reinforcement shall conform and be placed in accordance with the Engineer's Recommendation and the BCA. Support to all reinforcement shall be used to correctly position and ensure any undue displacement of reinforcement during the curing process.

5. Concrete

Structural shall not be less than Grade N20 except otherwise specified by the engineer and in accordance with the BCA.

6. Curing

All concrete shall be cured in accordance with AS 3080.

7. Slabs on Ground

Concrete slabs and footings shall not be poured until approval for pour concrete is given by the engineer or the BCA.

8. Sub-Floor Ventilation

Where required, adequate cross ventilation will be provided to the space under suspended ground floor. Construction is to meet the requirements of the BCA. No section of the under floor space shall be constructed in such a manner that will hold pockets of still air.

9. Sub-Floor Access

If required, access will be provided under suspended floors in position where indicated on plan.

EFFLUENT DISPOSAL/DRAINAGE

1. Storm Water Drainage

Stormwater drainage shall be carried out in accordance with the BCA. The Builder will allow for the supplying and laying of stormwater drains where shown on the site plan.

TIMBER FRAMING

1. Generally

Timber framing work, spans, spacing, nailing, checking and fixing to all floor, wall and roof structure shall comply with the BCA AS 1684. Alternative structural framing shall be to the satisfaction of the engineer and in accordance with the BCA.

2. Roof Trusses

Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

3. Bracing

Bracing units shall be determined and installed in accordance with AS 1684 as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building.

4. Flooring

Floor joists will be covered with strip or sheet flooring as shown on plan with particular regard to ground clearance. Installation in wet areas as required by the BCA. Thickness of the flooring is to be appropriate for the floor joist spacing. Strip and sheet flooring shall be installed in accordance with AS 1684.

5. Timber Posts

Posts supporting the carports, verandas and porches shall be of treated timber or steel and shall be set in concrete. Posts supported on galvanneal or treated metal post shoes, unless otherwise specified. Posts shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the site.

6. Decking Protection

All metal brackets, fixing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

STEEL FRAMING

Steel floor, wall or roof framing shall be installed in accordance with the manufacturer's recommendations and the BCA.

ROOFING

ROOFING

Roof cladding is to comply with the relevant structural performance and weathering requirements of the BCA and be installed in accordance with the manufacturer's recommendations.

1. Tiled Roofing

The tiled roof cover the roof of the dwelling with approved tiles as selected. The tiles are to be fixed (as required for appropriate design and wind speed) to battens of sizes appropriate to the design of roof/structure and in accordance with the manufacturer's recommendations. The builder will cover hips and ridges with capping and all necessary accessories including starters and eaves. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so as to minimise water penetration for as practicable. As roof tiles are made of natural products slight variation in colour is acceptable.

2. Metal Roofing

The Builder will provide and install a metal roof together with accessories all in accordance with the manufacturer's recommendations. Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Filing sheets shall be strictly in accordance with the manufacturer's recommendation as required for the appropriate design and wind speed. Incompatible materials shall not be used for fasteners, fasteners or downpipes.

3. Gutters and Downpipes

Gutters and downpipes shall be manufactured and installed in accordance with the BCA. Gutters and downpipes are to be compatible with other materials used.

4. Sarking

Sarking under roof coverings must comply with and be fixed in accordance with manufacturer's recommendations.

5. Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's recommendations.

6. Flashing

Flashing shall comply with, and be installed in accordance with the BCA.

MASONRY

1. Damp Proof Courses

All damp proof courses shall comply with the BCA and Clause 1.0.10. The damp proof membrane shall be visible in the external face of the masonry member in which it is placed and shall not be bridged by any applied coatings, render or the like.

2. cavity Ventilation

Cavity vents (ventilators) must be installed in the course immediately above any DPC or flashing at centres not exceeding 1.2m and must be in accordance with the BCA.

3. Mortar and Joints

Mortar shall comply with the BCA. Joint tolerances shall be in accordance with AS 3700.

4. Linings

Linings used to support brickwork opening in walls must be suitable for the purpose as required by the BCA. The Builder will provide one lined to each wall leaf. The Builder will provide corrosion protection in accordance with the BCA Part 3.4.4 as appropriate for the site environment and location of the linings in the structure.

5. Cleaning

The Builder will clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fixings.

CLADDING AND LININGS

1. External Cladding

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

When required in open verandas, porches and eave soffits, materials indicated on the plans shall be installed.

2. Internal Wall and Ceiling Linings

The Builder will provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard materials are to have recessed edges and be a minimum of 10mm thick. Internal angles in walls from floor to ceiling are to be set. Suitable cornice moulds shall be fixed at the junction of all walls and ceilings or the joint set as required. The lining of wet areas and walls shall be constructed in accordance with the BCA. Wet areas lining is to be fixed in accordance with the manufacturer's recommendations.

The ceiling access hole shall be of similar material to the adjacent ceiling and be in accordance with the BCA.

3. Wetroom Area

All internal wet area and balconies over internal habitable rooms are to be waterproofed in accordance with the BCA.

JOINERY

1. General

All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.

2. Door Frames

External door frames shall be a minimum of 20mm thick solid redwood 12mm slat to receive doors. Internal door frames shall be a minimum of 19mm thick 8 with 12mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

3. Doors and Doorsets

All internal and external door and door sets shall be installed in accordance with accepted building practices. Unless listed otherwise in the Schedule of Works, doors and door sets shall be manufactured in accordance with AS 2088 and AS 2089.

4. Windows and Sliding Doors

Sliding and other timber windows and doors shall be manufactured and installed in accordance with AS 2047.

Sliding and other aluminium windows and the doors shall be installed in accordance with manufacturer's recommendations and AS 2047. All glazing shall comply with the BCA and any commitments outlined in the relevant BASIX Certificate.

5. Stairs, Balustrades and other Barriers

The Builder will provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per the BCA.

SERVICES

1. Plumbing

All plumbing shall comply with the requirements of the relevant supply authority and AS 3500. This work is to be carried out by a licensed plumber.

2. Electrical

The Builder will provide all labour and materials necessary for the proper installation of the electricity service by a licensed electrician in accordance with AS/NZS 3000 and the requirements of the relevant supply authority. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

3. Gas

All installation (including LPG) shall be carried out in accordance with the rules and regulations of the relevant supply authority.

4. Smoke Detectors

The Builder will provide and install smoke alarms manufactured in accordance with AS 3786 AS specified or as indicated on the plans and in accordance with the BCA.

5. Thermal Insulation

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-values required by the BCA or as outlined in the relevant BASIX Certificate.

TILING

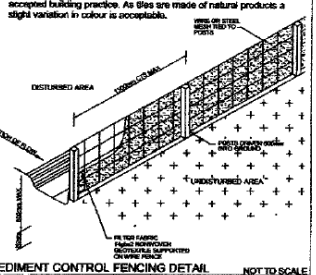
1. Materials

Cement mortar and other adhesive shall comply with AS 3598.1 or the manufacturer's recommendation.

2. Installation

Installation of tiles shall be in accordance with AS 3598.1, manufacturer's recommendations or accepted building practices. Where practicable, spacing between tiles should be even and regular.

The Builder will provide separation joints where necessary. All vertical and horizontal joints between walls and features e.g. bench top, bath, etc. and wall/ceiling junctions to be fixed with flexible mould resistant sealant. All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice. All tiles are made of natural products a slight variation in colour is acceptable.



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Project: UNIT PROPOSAL (MULTI DWELLING HOUSING)		SHEET: 10 OF 10		GENERAL NOTES	
Street: 11 KEMP STREET Suburb: PORT MACQUARIE NSW 2444		Designer/Drafter: ANDREW HOLLIDAY		Scale: 1:100 Sheet Size: A3 Job No: 18-037 Drawing Issue: G	
Client:		Date:		Details:	

PLAN FORM 1 (A3)

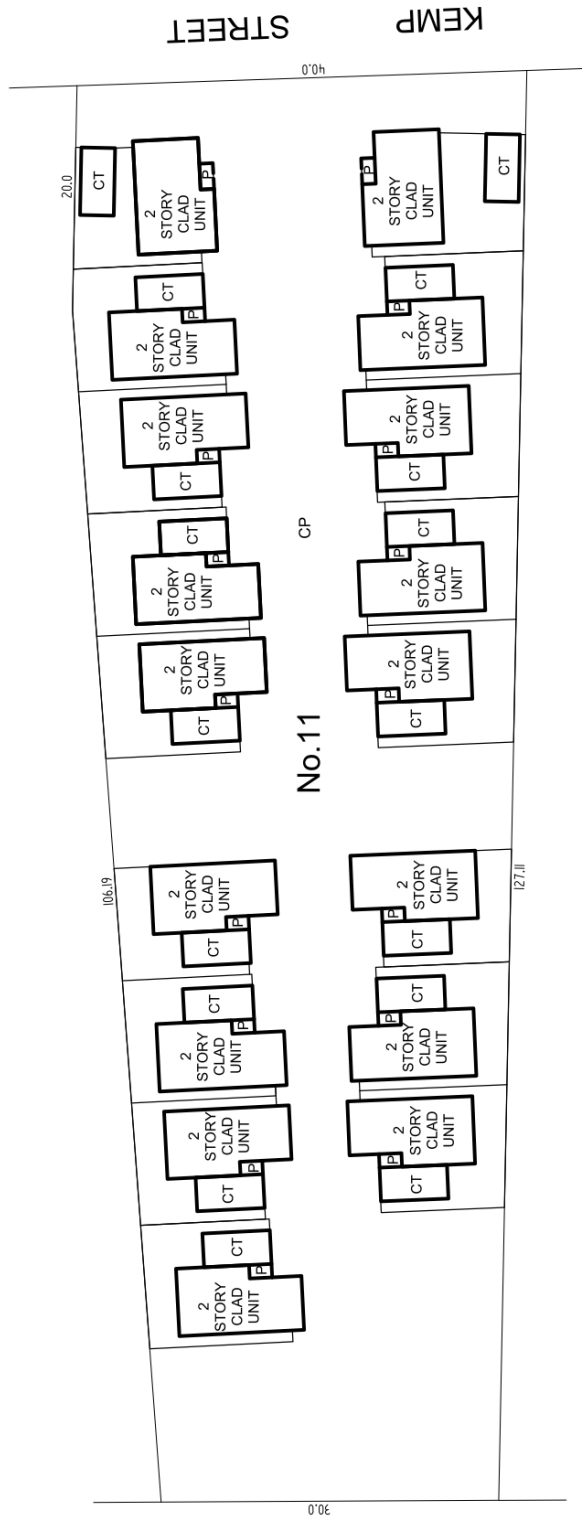
WARNING: UNFOLDING WILL LEAD TO REJECTION

Sheet 1 of 3 sheets

LOCATION PLAN



1
DP713669



2
601094

No.11

CP

CP - DENOTES COMMON PROPERTY
CT - DENOTES CARPORT
P - DENOTES COVERED PORCH

LOT BOUNDARIES ARE COINCIDENTAL WITH THE PARCEL BOUNDARY
OFFSETS & LINE BOUNDARIES ARE MEASURED
PERPENDICULAR FROM FACE OF WALL AND FROM VISIBLE
CORNERS OF STRUCTURES UNLESS SHOWN OTHERWISE

SURVEYOR

Name: ROBERT JOHN LEE LEWES

Date: 05/11/2019

Reference 34135 DRAFT STRATA R1

PLAN HEADING

PLAN OF SUBDIVISION OF LOT 21 DP _____
(FORMERLY LOT 2 DP 713669)

L.G.A.: PORT MACQUARIE-HASTINGS

Locality: PORT MACQUARIE

Reduction Ratio: 1:400

LENGTHS ARE IN METRES.



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Date: 05/11/2019

Reference 34135 DRAFT STRATA R1

PLAN FORM 1 (A3)

WARNING: UNFOLDING WILL LEAD TO REJECTION

Sheet 2 of 3 sheets

FLOOR PLAN - EAST



THE WHOLE OF THE STRUCTURE OF THE BUILDING WITHIN EACH LOT, INCLUDING WALLS, FLOORS, CEILINGS & ROOFS, FORM PART OF THAT LOT AND IS NOT COMMON PROPERTY.

THE STRATUM OF THE LOTS EXTEND BETWEEN 5 BELOW AND 20 ABOVE THE UPPER SURFACE OF THE GROUND FLOOR OF ITS RESPECTIVE UNIT.

THE DRIVEWAY, DRAINAGE LINES, DRAINAGE PITS AND DRAINAGE STRUCTURES ARE COMMON PROPERTY

THE EXTERNAL FENCING IS COMMON PROPERTY

ANY SERVICE LINE WITHIN ONE LOT SERVICING ANOTHER LOT IS COMMON PROPERTY & ALL COMMON SERVICE LINES ARE COMMON PROPERTY

ALL AREAS SHOWN HEREON ARE APPROXIMATE ONLY

OFFSETS & LINE BOUNDARIES ARE MEASURED PERPENDICULAR FROM FACE OF WALL AND FROM VISIBLE CORNERS OF STRUCTURES UNLESS SHOWN OTHERWISE

CT ~ DENOTES CARPORT
P ~ DENOTES COVERED PORCH

SURVEYOR

Name: ROBERT JOHN LEE LEWES

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L.G.A.: PORT MACQUARIE-HASTINGS

Locality: PORT MACQUARIE

Reduction Ratio: 1:200

LENGTHS ARE IN METRES.



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P ~ DENOTES COVERED PORCH

L.G.A.:PORT MACQUARIE-HASTINGS

Locality: PORT MACQUARIE

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LENGTHS ARE IN METRES.



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FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2019/71.1

DATE: 04/11/2019

PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

A – GENERAL MATTERS

- (1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Plans	10-037; Revision G; Sheets cover, 1-10	AH Design & Drafting	August 2019
Engineering and Stormwater Management	190519; Issue P1; CD01-2; CC1-2; Drawing C1-4	MQZ Consulting Engineers	9 October 2019
Arborists Report	Lot 2 DP 713669 No.11 Kemp St Port Macquarie	Port Tree Fella	13 June 2019
RFS response and conditions	D19/575; DA19022217481 DC	RFS	20 March 2019
Bushfire Assessment Report	Lot 2 DP 713669 No.11 Kemp St Port Macquarie	Krisann Johnson BPD-PD 18578 Certified Consultant	17 December 2018

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
- the appointment of a Principal Certifying Authority; and
 - the date on which work will commence.
- Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.
- (3) (A005) This consent allows the strata-subdivision of the units, subject to the submission of an application for a Strata Certificate.
- (5) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.

- (6) (A009) The development site is to be managed for the entirety of work in the following manner:
1. Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 2. Appropriate dust control measures;
 3. Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
 4. Building waste is to be managed via an appropriate receptacle;
 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
 6. Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidaysThe builder to be responsible to instruct and control his sub-contractors regarding the hours of work.
- (7) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (8) (A013) The general terms of approval from the following authorities, as referred to in section 4.50 of the Environmental Planning and Assessment Act 1979, and referenced below, are attached and form part of the consent conditions for this approval.
- **NSW Rural Fire Service** - The General Terms of Approval, Reference D19/575, DA19022217481 DC and dated 20 March 2019 are attached and form part of this consent.
- (9) (A029) The provision, at no cost to Council, of concrete foot paving for the full street frontage of the development along Kemp Street, including extending to the north to connect to the existing footpath paving extents. Required footpath to be a 1.2 metre wide footpath (unless varied in writing by Council) with design details in accordance with AUSPEC and Council Standard drawing ASD103. The design plans must be approved by Council pursuant to Section 138 of the Roads Act.
- (10) (A030) The restoration of any vehicle access rendered redundant by the development, to standard kerb and footpath formation at no cost to Council, in accordance with Council's current AUSPEC Specifications and Standards. All works must be approved by Council pursuant to Section 138 of the Roads Act.
- (11) (A032) The developer is responsible for any costs relating to minor alterations and extensions to ensure satisfactory transitions of existing roads, drainage and Council services for the purposes of the development.
- (12) (A033) The applicant shall provide security to the Council for the payment of the cost of the following:
- a. making good any damage caused to any property of the Council as a consequence of doing anything to which the consent relates,
 - b. completing any public work (such as road work, kerbing and guttering, footway construction, utility services, stormwater drainage and environmental controls) required in connection with the consent,

- c. remedying any defects in any such public work that arise within twelve (12) months after the work is completed.

Such security is to be provided to Council prior to the issue of the Subdivision Certificate/Construction Certificate or Section 138 of the Roads Act, 1993.

The security is to be for such reasonable amount as is determined by the consent authority, being an amount that is 10% of the contracted works for Torrens Title subdivision development/the estimated cost plus 30% for building development of public works or \$5000, whichever is the greater of carrying out the development by way of:

- i. deposit with the Council, or
- ii. an unconditional bank guarantee in favour of the Council.

The security may be used to meet any costs referred to above and on application being made to the Council by the person who provided the security any balance remaining is to be refunded to, or at the direction of, that person. Should Council have to call up the bond and the repair costs exceed the bond amount, a separate invoice will be issued. If no application is made to the Council for a refund of any balance remaining of the security within 6 years after the work to which the security relates has been completed the Council may pay the balance to the Chief Commissioner of State Revenue under the Unclaimed Money Act 1995.

B – PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
 - Position and depth of the sewer (including junction)
 - Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location
- (2) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.

Such works include, but not be limited to:

- Civil works
 - Traffic management
 - Work zone areas
 - Hoardings
 - Concrete foot paving
 - Footway and gutter crossing
 - Functional vehicular access
- (3) (B003) Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
 1. Road works along the frontage of the development.

2. Earthworks including filling of the land for flood protection.
 3. Public parking areas including:
 - a. Driveways and access aisles;
 - b. Parking bays;
 - c. Service vehicles turning areas in accordance with AS 2890.
 4. Sewerage reticulation.
 5. Water supply plans shall include hydraulic plans for internal water supply services and associated works in accordance with AS 3500, Plumbing Code of Australia and Port Macquarie-Hastings Council Policies.
 6. Stormwater systems.
 7. Erosion and Sedimentation controls
 8. Landscaping
 9. Detailed driveway profile in accordance with Australian Standard 2890, AUSPEC D1, and ASD 207, Port Macquarie-Hastings Council current revision.
 10. Provision of a footpath 1.2m wide, (unless varied in writing by Council) along the full road frontage to Kemp Street, including extension to the north to tie into existing footpath paving.
- (4) (B010) Payment to Council, prior to the issue of the Construction or Subdivision Certificate (whichever occurs first) of the Section 7.11 contributions set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental Planning and Assessment Act 1979 as amended, and in accordance with the provisions of the following plans:
- Port Macquarie-Hastings Administration Building Contributions Plan 2007
 - Hastings S94 Administration Levy Contributions Plan
 - Port Macquarie-Hastings Open Space Contributions Plan 2018
 - Hastings S94 Major Roads Contributions Plan
 - Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005

The plans may be viewed during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.

- (5) (B011) As part of Notice of Requirements by Port Macquarie-Hastings Council as the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution, prior to the issue of the Construction or Subdivision Certificate (whichever occurs first) of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with the provisions of the relevant Section 64 Development Servicing Plan towards the following:

- augmentation of the town water supply headworks
 - augmentation of the town sewerage system headworks
- (6) (B016) Provision to each lot of a separate sewer line to Council's main. All work will need to comply with the requirements of Council's adopted AUSPEC Design and Construction Guidelines and Policies. Any abandoned sewer junctions are to be capped off at Council's sewer main.
- (7) (B024) Submission to Council of an application for water meter hire, which is to be referred to the Water Supply section so that a quotation for the installation can be prepared and paid for prior to the issue of a Construction Certificate. This application is also to include an application for the disconnection of any existing service not required.
- (8) (B034) Prior to release of the Construction Certificate the submission of details to Council for the disposal of any spoil gained from the site and/or details of the source of fill, heavy construction materials and proposed routes to and from the site, including, but not limited to:
- The pavement condition of the route/s proposed (excluding collector, sub-arterial and arterial roads) for the haulage of fill material to the site and/or haulage of excess material from the site. The condition report shall include photographs and or video of the existing pavement.
 - Recommended load limits for haulage vehicles and;
 - A procedure for monitoring the condition of the pavement during the haulage;
- Council shall determine the need for and extent of any rectification work on the haulage route/s considered attributable by the haulage of materials to and/or from the site
- (9) (B037) The finished floor level of the building shall be at least 1050mm above the soffit of Council's sewer main. Details indicating compliance with this are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.
- (10) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.
- (11) (B039) Detailed drawings and specifications prepared by a professional engineer for all retaining walls supporting:
- (i) earthworks that are more than 600mm above or below ground level (existing); or
 - (ii) located within 1m of the property boundaries; or
 - (iii) earthworks that are more than 1m above or below ground level (existing) in any other location;
- are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.
- (12) (B053) The design of the carpark and accesses is to be in accordance with Australian Standard 2890 (including AS 2890.1, AS 2890.2 and AS 2890.6). Certification of the design by a suitably qualified consultant is to be provided to the Principal Certifying Authority prior to release of the Construction Certificate.

- (13) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.
- (14) (B072) A stormwater drainage design is to be submitted and approved by Council prior to the issue of a Construction Certificate. The design must be prepared in accordance with Council's AUSPEC Specifications and the requirements of Relevant Australian Standards and make provision for the following:
- a) The legal point of discharge for the proposed development is defined as onsite disposal at the rear of the Lot. Onsite disposal is to be via sheet flow as per the current conditions of the site.
 - b) The design is to be generally in accordance with the stormwater drainage concept plan "Drainage Plan", prepared by MQZ Consulting Engineers, dated 09.10.19.
 - c) A private junction to the stormwater network shall be provided within each lot boundary for future housing to connect to.
 - d) The design requires the provision of interallotment drainage in accordance with AUSPEC D5.
 - e) The design shall incorporate on-site stormwater detention facilities to limit site stormwater discharge to pre development flow rates for all storm events up to and including the 100 year ARI event. Note that pre development discharge shall be calculated assuming that the site is a 'greenfield' development site as per AUSPEC requirements.
 - f) The design shall include water quality controls designed to achieve the targets specified within AUSPEC D7.
 - g) Where works are staged, a plan is to be provided which demonstrates which treatment measure/s is/are are to be constructed with which civil works stage. Separate plans are required for any temporary treatment (where applicable e.g. for building phase when a staged construction methodology is adopted) and ultimate design.
 - h) The design is to make provision for the natural flow of stormwater runoff from adjoining/upstream properties/lands. In this regard, the proposed retaining wall along the northern site boundary shall may block overland flows from the adjoining property to the north. Suitable surface drainage shall be provided within the property at the base of the retaining wall to capture and convey such runoff through the development site to the downstream point of discharge.
 - i) An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets.
 - j) The design shall provide details of any components of the existing stormwater drainage system servicing the site that are to be retained.
 - k) Detailed modelling is to be provided showing that the rate, volume and frequency of stormwater discharged from the site does not exceed the pre-development conditions of the lot.
 - l) The design is to include provisions for an energy dissipation / level spreading system so that the discharge from the site is via sheet flows, which is consistent with the current pre-development conditions of the site. Discharge of concentrated flows is not permitted.
- (17) (B046) The building shall be designed and constructed so as to comply with the Bush Fire Attack (BAL) requirements detailed in the Bush Fire Assessment by Krisann Johnson dated 17 December 2018 and of Australian Standard 3959 and the specifications and requirements of Planning for Bush

Fire Protection. Details shall be submitted to the Principal Certifying Authority with the application for Construction Certificate demonstrating compliance with this requirement.

Please note: Compliance with the requirements of Planning for Bush Fire Protection 2006 to prevail in the extent of any inconsistency with the Building Code of Australia.

- (18) (B067) The floor level of all habitable areas is to be a minimum of 500mm above the 1 in 100 year flood level including the applicable climate change allowance. For the purpose of this requirement, the 1 in 100 year flood level including climate change may be assumed to be RL3.45m AHD. The floor level of all habitable areas must therefore be at or above 3.95m AHD. Prior to release of the Construction Certificate floor levels satisfying this requirement shall be clearly illustrated on the plans.
- (19) (E044) The applicant will be required to submit prior to occupation or the issue of the Occupation Certificate, certification by a Registered Surveyor that the development has met the necessary flood planning levels specified in this consent.
- (20) (B070) The level of all roads and land is to be at or above the 1 in 100 year flood level including the applicable climate change allowance. For the purpose of this requirement, the 1 in 100 year flood level including climate change may be assumed to be RL3.45m AHD. Prior to release of the Construction Certificate floor levels satisfying this requirement shall be clearly illustrated on the plans.

C – PRIOR TO ANY WORK COMMENCING ON SITE

- (1) (C001) A minimum of one (1) week's notice in writing of the intention to commence works on public land is required to be given to Council together with the name of the principal contractor and any major sub-contractors engaged to carry out works. Works shall only be carried out by a contractor accredited with Council.
- (2) (C004) Prior to works commencing an application being made to the electricity and telecommunications service providers. Services are required to be underground.
- (2) (C013) Where a sewer manhole and/or Vertical Inspection Shaft (VIS) exists within a property, access to the manhole/VIS shall be made available at all times. Before during and after construction, the sewer manhole/VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.

D – DURING WORK

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
 - a. At completion of installation of erosion control measures;
 - b. At completion of installing traffic management works;
 - c. when trenches are open, stormwater/water/sewer pipes and conduits jointed and prior to backfilling;
 - d. prior to pouring of kerb and gutter;

- e. prior to the pouring of concrete for sewerage works and/or works on public property;
- f. during construction of sewer infrastructure;

All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public Infrastructure and any other Council approval, prior to proceeding to the next hold point.

- (2) (D006) A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.
- (3) (D003) The site is in an area known to contain rock that may contain naturally occurring asbestos (NOA). Should potential NOA be located on site notification shall be provided to Council and Workcover prior to works proceeding. No work shall recommence until a NOA management plan has been approved by Council or Workcover.
- (4) (D025) The sewer junction shall be capped off with an approved fitting in conjunction with demolition works and Council notified to carry out an inspection prior to backfilling of this work.
- (5) (D029) The demolition of any existing structure shall be carried out in accordance with Australian Standard AS 2601-1991: *The Demolition of Structures*. No demolition materials shall be burnt or buried on site. The person responsible for the demolition works shall ensure that all vehicles leaving the site carrying demolition materials have their loads covered and do not track soil or waste materials onto the road. Should the demolition works obstruct or inconvenience pedestrian or vehicular traffic on an adjoining public road or reserve, separate application shall be made to Council to enclose the public place with a hoarding fence.

Should asbestos be present, its removal shall be carried out in accordance with the National OH&S Committee – *Code of Practice for Safe Removal of Asbestos* and *Code of Practice for the Management and Control of Asbestos in Workplaces*.

E – PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE / SUBDIVISION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E005) Prior to the release of any bond securities held by Council for infrastructure works associated with developments, a formal written application is to be submitted to Council specifying detail of works and bond amount.
- (3) (E013) Restrictions and/or positive covenant must be provided over the overland flow path for on-site detention storage areas with appropriate public awareness signage.
- (4) (E030) Vehicle ramps, driveways, turning circles and parking spaces being paved, sealed and line marked prior to occupation or the issue of the Occupation Certificate or commencement of the approved land use.
- (5) (E034) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (6) (E036) Certification by a suitably qualified consultant is to be submitted to the Principal Certifying Authority (PCA) confirming that the car park and internal

accesses have been constructed in accordance with Port Macquarie-Hastings Development Control Plan 2013 and Australian Standard 2890 (including AS 2890.1, AS 2890.2 and AS 2890.6) prior to occupation or issue of the Occupation Certificate.

- (6) (E038) Any interallotment drainage shall be piped and centrally located within an inter-allotment drainage easement, installed in accordance with Council's current AUSPEC standards (minimum 225mm pipe diameter within a minimum 1.5m easement). Details shall be provided:

- As part of a Local Government Act (s68) application with evidence of registration of the easement with the Land Titles Office provided to Council prior to issue of the s68 Certificate of Completion; or
- As part of a Construction Certificate application for subdivision works with dedication of the easement as part of any Subdivision Certificate associated with interallotment drainage.

- (7) (E040) Each onsite detention system is to be marked by a plate in a prominent position which states:

"This is an onsite detention system. It is an offence to reduce the volume of the tank or basin or interfere with any part of the structure that controls the outflow".

This plate is to be fixed into position prior to occupation or the issue of the Occupation or Subdivision Certificate.

- (8) (E046) Prior to the issue of an Occupation Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to maintain the on-site stormwater detention facilities on the property.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

- a. The Proprietor of the property shall be responsible for maintaining and keeping clear all pits, pipelines, trench barriers and other structures associated with the on-site stormwater detention facilities ("OSD").
- b. The Proprietor shall have the OSD inspected annually by a competent person.
- c. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all pits, pipelines, trench barriers and other structures in or upon the said land which comprise the OSD or which convey stormwater from the said land; and recover the costs of any such works from the proprietor.
- d. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the OSD, or failure to clean, maintain and repair the OSD.

The proprietor or successor must bear all costs associated in the preparation of the subject 88E instrument. Evidence of registration with the Lands and Property Information NSW shall be submitted to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate.

- (9) (E048) Prior to the issue of an Occupation Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to maintain the water quality control facilities within the site.

In addition, a maintenance schedule for the water quality controls must be submitted to Council for approval with the stormwater work-as executed plans. This maintenance schedule and work as executed plan shall be registered and referred to as part of the positive covenant.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

- a. The Proprietor of the property shall be responsible for inspecting, maintaining and keeping clear all components of and structures associated with the stormwater quality improvement device (SQID) in accordance with the maintenance plan in order to achieve the design system performance targets.
- b. The Proprietor shall have the SQID inspected annually by a competent person.
- c. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all components or structures in or upon the said land which comprise the SQID and recover the costs of any such works from the proprietor.
- d. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the SQID, or failure to clean, maintain and repair the SQID.

The instrument shall be created and registered on the title of the relevant lot(s) with the Lands and Property Information (LPI) NSW. The plan and terms of the easement must be endorsed by Council through formal application prior to lodgement at the Lands and Property Information NSW. Evidence of registration shall be submitted to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate.

- (10) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (11) (E053) All works shall be certified by a practicing Civil Engineer or Registered Surveyor as compliant with the requirements of AUSPEC prior to issue of Occupation/Subdivision Certificate or release of the security bond, whichever is to occur first.
- (12) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (13) (E061) Landscaped areas being completed prior to occupation or issue of the Certificate.
- (14) (E056) A Certificate of Compliance under the provisions of Section 307 of the Water Management Act must be obtained prior to the issue of any occupation or subdivision certificate. The application for the certificate is to include an acceptable Work-As-Executed plan for water and sewer mains and services from a Professional Engineer or Registered Surveyor.
- (15) (E066) Ancillary works shall be undertaken at no cost to Council to make the engineering works required by this Consent effective to the satisfaction of Director of Council's Infrastructure Division. Such works shall include, but are not limited to the following:
 - a. The relocation of underground services where required by civil works being carried out.

- b. The relocation of above ground power and telephone services
 - c. The relocation of street lighting
 - d. The matching of new infrastructure into existing or future design infrastructure
- (16) (E068) Prior to the issue of a Occupation Certificate, evidence to the satisfaction of the Certifying Authority from the electricity and telecommunications providers that satisfactory services arrangements have been made to the lots or dwellings (including street lighting and fibre optic cabling where required).
- (16) (E076) The plan of subdivision and Section 88B instrument shall establish the following restrictions; with Council having the benefit and having the sole authority to release, vary or modify each restriction. Wherever possible the extent of the land affected by these covenants shall be defined by bearings and distances shown on the plan of subdivision.
- a. Restriction as to user in respect of lots for a private garbage service to be in place requiring the collection of all domestic waste comprising general waste (rubbish), recycling and food and garden organics by a private contractor. All wastes are to be collected as separate waste streams.
- (17) (E079) Submission to the Principal Certifying Authority of certification by a Registered Surveyor prior to the issue of a Subdivision Certificate that all services and domestic drainage lines are wholly contained within the respective lots and easements.
- (18) (E080) The applicant is required to make provision in the application for a Subdivision Certificate:
- (a) registration of a reciprocal right of carriageway and easement for services and maintenance over those parts of the lots that are common.
- (17) (E195) The subdivision certificate shall not be issued until such time that the dwellings associated with this development are substantially commenced (as determined by Council) or where a strata management statement, or restriction as to user, prohibits any dwelling on each lot other than the dwelling approved as part of this consent.

F – OCCUPATION OF THE SITE

- (1) (F004) The dwellings are approved for permanent residential use and not for short term tourist and visitor accommodation.
- (2) (F006) The basin of the outflow control pit and the debris screen must be cleaned of debris and sediment on a regular basis by the owner.

Developer Charges - Estimate

Applicants Name: 11 Kemp Pty Ltd
Property Address: 11 Kemp Street, Port Macquarie
Lot & Dp: Lot(s):2,DP(s):713669
Development: Multi dwelling housing and strata title subdivision



Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000.
 Other contributions are levied under Section 7.11 of the Environmental Planning and Assessment Act and Council's Contribution Plans.

Levy Area	Units	Cost	Estimate
1 Water Supply	9	\$10,243.00 Per ET	\$92,187.00
2 Sewerage Scheme Port Macquarie	11.75	\$3,886.00 Per ET	\$45,660.50
3 Since 1.7.04 - Major Roads - Port Macquarie - Per ET	10.39	\$7,678.00 Per ET	\$79,774.40
4 Since 31.7.18 - Open Space - Port Macquarie - Per ET	10.39	\$5,657.00 Per ET	\$58,776.20
5 Commenced 3 April 2006 - Com, Cul and Em Services CP - Port Macquarie	10.39	\$4,645.00 Per ET	\$48,261.50
6 Com 1.3.07 - Administration Building - All areas	10.39	\$914.00 Per ET	\$9,496.40
7 N/A			
8 N/A			
9 N/A			
10 N/A			
11 N/A			
12 N/A			
13 N/A			
14 N/A			
15 Admin General Levy - Applicable to Consents approved after 11/2/03	2.2% S94 Contribution		\$4,318.70
16			
17			
18			
Total Amount of Estimate (Not for Payment Purposes)			\$338,474.70

NOTES: These contribution rates apply to new development and should be used as a guide only.
 Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).
 DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement.
 Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

5-Nov-2019

Estimate Prepared By Beau Spry

This is an ESTIMATE ONLY - NOT for Payment Purposes

Kemp Pty Ltd, 11 Kemp Street, Port Macquarie, 5-Nov-2019.xls

PORT MACQUARIE-HASTINGS COUNCIL



336 Goodwood Road
Clarence Park SA 5034

T: 08 8373 0966
F: 08 8373 1966
E: admin@mqz.com.au
W: www.mqz.com.au

DATE: 9 OCTOBER 2019

CD01

CIVIL REPORT & DETAILS

PROJECT NO: 190519
CLIENT: M. AYLES
OWNER: M. AYLES
SITE: 11 KEMP STREET, PORT MACQUARIE
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT

This is a **Civil Design Report** giving specific recommendations for the above mentioned project. This report must be read in conjunction with all the listed attachments and any relevant Australian Standards mentioned in this report or on any attachment provided. This report is based on the current standards and regulations and will require reviewing as the standards and regulations are updated.

ATTACHMENTS: A1 Drawings C1/P1, C2/P1, C3/P1, C4/P1, CC1-CC3.

SITE INSPECTIONS:

1. As required by the Engineer or as requested by the client/contractor.

NOTES:

1. A sealed system has been designed for this project.
2. Ensure all pump systems are installed in accordance with the manufacturer's specifications and in accordance with the Australian Standard for Plumbing and Drainage, AS3500.
3. Plans and details provided within this report are for planning approval only, further review of the documentation may be required prior to building approval and/or construction.
4. All proposed fill on site is to be placed and compacted in layers in accordance with AS1289.5.1.1 to provide 98% standard compaction. The loose thickness of each layer before compaction should not exceed 200mm, provide compaction tests for the new fill in accordance with AS1289.5.1.1/AS1289.5.1.2. The frequency of the tests shall be in accordance with AS3798-1996. Test results shall be forwarded to the Engineer for approval prior to the commencement of any works.
5. Any retaining walls and or plinths less than 600mm in height required on the boundary are to the discretion of the builder/owner/client. This office does not take any responsibility for the construction of any such retaining walls.



336 Goodwood Road
Clarence Park SA 5034

T: 08 8373 0966
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E: admin@mqz.com.au
W: www.mqz.com.au

DATE: 9 OCTOBER 2019

CD01

CIVIL REPORT & DETAILS

NOTES: (CONTINUED)

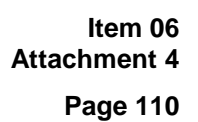
6. The location and extents of retaining walls are indicative only and the client/builder is to ensure that adjoining structures will not be compromised by the construction or compromise the construction of the proposed retaining walls.
7. All proprietary items denoted on the listed attachments or plans are to be installed in accordance with the manufacturer's specifications.
8. All drainage systems have been designed in accordance with the council's recommendations and guidelines, installation of all drainage systems shall be in accordance with the council's recommendations and specifications.

Marco Zanatta
BE (Hons) MIEAust CPEng
per
MQZ Consulting Engineers











Page	CC1
Job No.	190519
Date	Oct-19
Eng	MZ

Project	11 Kemp Street, Port Macquarie
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PRE-DEVELOPMENT

Site Area =	4527.5	m ²	
Impervious Area =	0	m ²	(paved areas, roofed areas)
Pervious Area =	4527.5	m ²	(landscaping, grassed areas)
Ci =	0.9		
Cp =	0.4		
Cn =	0.4		

POST-DEVELOPMENT

Site Area =	4527.5	m ²	
Impervious Area =	3448.34	m ²	(paved areas, roofed areas)
Pervious Area =	1079.16	m ²	(landscaping, grassed areas)
Ci =	0.9		
Cp =	0.4		
Cn =	0.7808216		

TIME OF CONCENTRATION

$$t_c = 0.03 \times (1.1 - C) \times L^{0.5} / S^{0.333}$$

$$C = 0.4$$

$$L = 120 \quad (\text{length of run, m})$$

$$S = 0.5 \quad (\text{slope of pipe, \%})$$

$$t_c = 0.51 \quad \text{hrs}$$

$$= 30.35 \quad \text{mins}$$



Page	CC2
Job No.	190519
Date	Oct-19
Eng	MZ

Project 11 Kemp Street, Port Macquarie

$$Q = C \times I \times A / 3600$$

PRE-DEVELOPMENT

C= 0.4
A= 4527.5 m²

duration (min)	recurrence interval (I) 5 (mm/hr)	Q (L/s)
5	171	86.02
5.5	165	83.00
6	160	80.49
6.5	156	78.48
7	152	76.46
7.5	148	74.45
8	145	72.94
8.5	141	70.93
9	138	69.42
9.5	135	67.91
10	133	66.91
11	128	64.39
12	123	61.88
13	119	59.86
14	115	57.85
15	112	56.34
16	109	54.83
17	106	53.32
18	103	51.81
19	101	50.81
20	98	49.30
21	96	48.29
22	94	47.29
23	92	46.28
24	90	45.28
25	88	44.27
26	87	43.77
27	85	42.76
28	84	42.26
29	82	41.25
30	81	40.75
32	78	39.24
34	76	38.23
36	74	37.23
38	72	36.22
40	70	35.21
45	65	32.70
50	62	31.19
55	59	29.68
60	56	28.17
75	49	24.65
90	43.8	22.03
105	39.8	20.02
120	36.7	18.46

POST DEVELOPMENT

C= 0.780822
A= 4527.5 m²

duration (min)	recurrence interval (I) 5 (mm/hr)	Q (L/s)	DETENTION VOLUME (m ³)
5	171	167.92	38.15
5.5	165	162.03	40.02
6	160	157.12	41.89
6.5	156	153.19	43.85
7	152	149.26	45.58
7.5	148	145.33	47.06
8	145	142.39	48.79
8.5	141	138.46	49.83
9	138	135.51	51.17
9.5	135	132.57	52.34
10	133	130.60	53.91
11	128	125.69	56.07
12	123	120.78	57.63
13	119	116.86	59.37
14	115	112.93	60.63
15	112	109.98	62.31
16	109	107.04	63.64
17	106	104.09	64.61
18	103	101.15	65.23
19	101	99.18	66.61
20	98	96.24	66.59
21	96	94.27	67.44
22	94	92.31	68.06
23	92	90.34	68.44
24	90	88.38	68.59
25	88	86.42	68.50
26	87	85.43	69.71
27	85	83.47	69.21
28	84	82.49	70.12
29	82	80.52	69.21
30	81	79.54	69.83
32	78	76.60	68.83
34	76	74.63	69.12
36	74	72.67	68.95
38	72	70.70	68.30
40	70	68.74	67.18
45	65	63.83	62.32
50	62	60.88	60.41
55	59	57.94	56.73
60	56	54.99	51.28
75	49	48.12	33.17
90	43.8	43.01	12.22
105	39.8	39.08	-10.48
120	36.7	36.04	-22.90



Page CC3
 Job No. 190519
 Date Oct-19
 Eng MZ

Project 11 Kemp Street, Port Macquarie

PRE-DEVELOPMENT

duration (min)	recurrence interval (I) 5 (mm/hr)	Q (L/s)
135	34	17.10
150	31.9	16.05
165	30	15.09
180	28.4	14.29
195	27	13.58
210	25.8	12.98
225	24.7	12.43
240	23.7	11.92
270	22	11.07
300	20.6	10.36
360	18.4	9.26
420	16.7	8.40
480	15.3	7.70
540	14.2	7.14
600	13.3	6.69
660	12.5	6.29
720	11.9	5.99
840	10.8	5.43
960	9.91	4.99
1080	9.2	4.63
1200	8.61	4.33
1320	8.1	4.07
1440	7.66	3.85
1800	6.63	3.34
2160	5.87	2.95
2520	5.29	2.66
2880	4.82	2.42
3240	4.43	2.23
3600	4.1	2.06
3960	3.82	1.92
4320	3.58	1.80

POST DEVELOPMENT

duration (min)	recurrence interval (I) 5 (mm/hr)	Q (L/s)	DETENTION VOLUME (m ³)
135	34	33.39	-59.61
150	31.9	31.33	-84.80
165	30	29.46	-111.75
180	28.4	27.89	-138.88
195	27	26.51	-166.53
210	25.8	25.34	-194.19
225	24.7	24.26	-222.65
240	23.7	23.27	-251.63
270	22	21.60	-310.13
300	20.6	20.23	-369.33
360	18.4	18.07	-489.86
420	16.7	16.40	-613.58
480	15.3	15.02	-740.82
540	14.2	13.94	-868.42
600	13.3	13.06	-996.73
660	12.5	12.27	#####
720	11.9	11.69	#####
840	10.8	10.61	#####
960	9.91	9.73	#####
1080	9.2	9.03	#####
1200	8.61	8.45	#####
1320	8.1	7.95	#####
1440	7.66	7.52	#####
1800	6.63	6.51	#####
2160	5.87	5.76	#####
2520	5.29	5.19	#####
2880	4.82	4.73	#####
3240	4.43	4.35	#####
3600	4.1	4.03	#####
3960	3.82	3.75	#####
4320	3.58	3.52	#####

Orifice Design

$$Q_{\max} = 0.6 \times A \sqrt{(2 \times g \times H)} \quad \text{where} \quad Q_{\max} = 0.0408 \quad g = 9.81$$

$$A = 0.01770501 \text{ m}^2 \quad A = ? \quad H = 0.75$$

$$A = (p \times D^2)/4$$

$$\text{Diameter} = 0.150 \text{ m} = 150.1 \text{ mm}$$

PROVIDE 70120 LITRES OF DETENTION WITH A Ø151 mm ORIFICE.

Arborist: Peter Berecny AQF 5 Diploma Arboriculture
Postal Address: 18 Lady Elliot Ct
Office Site: 18 Fernhill Road Port Macquarie NSW 2444
Phone: (02) 6581 1707
Mobile: 0418 683 555
Email: porttreefella@yahoo.com



ARBORIST REPORT

Lot 2 DP 713669

No.11 Kemp St Port Macquarie

Mr Martin Ayles



Assessment Date: 13/6/2019

Executive Summary

The trees upon this site are all of low retention value and any likely development as well as the proposed development on the site would result in the required removal of them. All trees affecting the development have been recommended to be removed and or establish Tree Protection Zones, the majority of the trees are also poorly formed.

Removal of the two koala trees is required and these can not be retained and compensatory planting at a ratio of 2:1 is required as 4 x 75 litre NATSPEC Eucalyptus microcorys or Eucalyptus Robusta in adjoining PMHC controlled land corridors of Koala browse spp trees in adjacent Drainage Easement is recommended.

It is recommended that the vegetation from Primary Kbs species removed (trees 145,151) is to be offered to PMQ Koala Hospital.

A Project arborist should be engaged to determine where site protective fencing should be installed. The rear Western fence line and South West corner are the applicable areas that this is to be placed. The developer is open to this and has stated he would engage Port tree Fella to carry out this work.

The numerous smaller shrubs and palms can be removed without a PMHC application as per page 22 shows.

Table of Contents

- 1) Scope of work, summaries and recommendations: page 2-4
- 2) Introduction and Methodology: Page 5
- 3) Data Collection and Risk Categorisation: Page 6
- 4) Proposed Site Development Map Plan: Page 7
- 5) Located Tree Map Plan: Page 8
- 6) Tree Survey Details and Images: Page 9-22
- 7) Disclaimer and Declaration: Page 23
- 8) Appendix A – TPZ and SRZ Tree Protection: Page 24
- 9) Appendix B – Activity Restriction within TPZ: Page 25
- 10) Contact Details and Qualifications: Page 26

Scope of Work

Martin Ayles requested a Survey and Assessment of trees located on Lot 2 DP 713669 No 11 Kemp St Port Macquarie NSW. The potential Owner – Martin Ayles is proposing to construct Multi Residential Housing Units with Strata Sub-Division for Permanent Residential Accommodation on the vacant land site. Plans of Proposed development were referenced.

The trees surveyed on Lot 2 DP 73669 are majority within the building envelope and a few close to the neighbouring fence line. The trees are to be surveyed to determine the effects of removal and compensatory replanting/ offsets required.

Concept plans were referenced for location of development and allowance for earthworks to raise soil levels for flood zone. Soil build up and retaining walls, fence will be constructed in proximity to trees.

Factors such as age, health, retention value, Koala browse species and ISA TRAQ Hazard ratings are considered. The Report also needs to consider the effects on adjoining trees as per AS 4970-2009 Protection of Trees on Development sites.

Recommendations

25 Trees were surveyed on lot 2 DP 73669 and on adjoining boundary fence lines. Trees were tagged and located on site plan. Trees located on adjoining lots that are affected were identified and included in the survey. See Survey for details **Pages 9-22**.

There are numerous smaller shrubs and palms that are in proximity to existing residence that have not been surveyed. These can be removed without PMHC application. **See Page 22**.

The site is to be cleared of existing residence and trees. The area is to be raised in soil level to allow for flood zoning. It is anticipated that fencing and some retaining walls are to be constructed along the perimeter. This will affect trees root systems as per AS 4970-2009.

Trees surveyed were assessed with AS 4970- 2009 Protection of Trees on Development Sites. The Root zones that allow the tree to survive and grow (TPZ) and more importantly the Structural Root Zone (SRZ) which allows the tree to remain structurally sound and supported are all compromised with the proposed development. These measurements are based on the trees Diameter at Breast Height (DBH) as outlined in AS 4970-2009. **See Appendix A Page 24**.

1. All 17 trees located within the development proposal and are to be removed. These trees either have more than 10% TPZ incursion or SRZ incursion unacceptable for retention . The trees health and stability will be compromised to an unacceptable level.

Recommendations - continued

The trees will become hazardous due to this damage with the likely target being in close proximity to permanent residential structures.

2. There are 8 trees located on adjoining allotments that will be affected by proposed development. Permission from the land owners is to be sought prior to removals. Survey of trees was visual by way of pegs seen. Accurate survey of trees and boundary is required to confirm.

3. Trees on adjoining blocks (Church Grounds and PMHC drainage easement) should be protected during construction and will remain unaffected. **As Per As 4970-2009. See Appendix A and B page 24 and 25.**

A Project arborist is to employed to determine where site protective fencing is to be installed. This is to be along the rear Western fence line and South West corner.

4. Compensatory replanting at 2:1 Ratio for Primary Koala browse species (Kbs) can not be undertaken on the site. There is not sufficient room for long term retention on this small residential site. Off site planting in adjoining PMHC controlled land corridors of Koala browse spp trees in adjacent Drainage Easement.

A total of 2 Koala Browse spp trees located on site to be removed. 2 x Eucalyptus robusta- Swamp mahogany.

4 X Compensatory 75litre NATSPEC Eucalyptus microcorys or Eucalyptus robusta.

5. Vegetation from Primary Kbs species removed (trees 145,151) to be offered to PMQ Koala Hospital.

Trees for removal on site. (17)

142,143,144,149,151,153,154,155,156,157,158,159,160,161,162,163,164.

Trees deemed unsafe to retain on adjoining sites. (8)

145,146,147,148,150,152,165,166.

Introduction

A Visual Tree Assessment was undertaken from the ground to assess the current condition of the trees.

A Tree Hazard Evaluation Form (adapted from the International Society of Arboriculture) was completed and results summarised in this Arborist report.

Where an unacceptable hazard exists recommendations are given to reduce the hazard. Recommendations are categorised as High/Urgent, Medium or Low.

All maintenance works are to be undertaken by suitably qualified Arborist to Australian Standard AS4373 2007 for pruning Amenity trees. The Arborist performing these works should also inspect the branch collars and identify any potential branch hazards.

Methodology

Tree data was collected by way of Visual Tree Assessment (VTA) conducted from the ground. No aerial inspection of the tree has been carried out nor has any technical equipment been used. The height of the tree/s has been measured with a digital clinometer and measurements of the trees trunk diameter by an Arborists Diameter tape. Sounding of the trunk at ground level using a Thor 710 sounding hammer and photographs using a 16 MP Lumix digital camera GPS.

The VTA methodology used on these trees is taken from Mattheck and Breloer and is an industry accepted method of tree assessment. VTA is based on Mattheck and Breloer's principle of the *Axiom of Uniform Stress* which basically states that trees optimise growth to achieve an even distribution of stress loads and therefore are predictable in how the trees deal with factors that change this uniformity. Analysis of the *Bio-mechanical structure* of the tree using the VTA method does allow some predictive recommendations to be made matched against the failure potential criteria of the trees reactions to stress placed upon it, according to Mattheck and Breloer. Page 119- The Body Language of Trees.

Data Collection

Tree data has been collected on a modified tree evaluation form. The Hazard Evaluation form developed by ISA is designed to collect tree dimensions and takes into consideration tree characteristics, tree health, site conditions and tree structural defects.

Risk Categorisation and Tree Classification

Method 1

International Society of Arboriculture qualitative classification using the tree risk assessment as per *Tree Risk Assessment Manual*. Factors include target ratings, size of part to fail, probability of failure.

Part most likely to fail is located, fall distance and target protection noted.

Failure potential: improbable, possible, probable or imminent.

Impact likelihood: Very low, low, medium or high.

Failure and impact likelihood factors matched with consequences: of failure being Negligible, Minor, Significant and Severe.

Final rating of part to fail combination of all above factors to give ratings of..

Extreme – Act immediately

High – Urgent works necessary, fence off area if necessary. Act within 1 months.

Moderate- Undertake works within 3 months

Low – Manage as necessary, complete when resources and time permits.

Method 2 Developed by world renowned Arborist Jeremy Barrell

Useful life expectancy (ULE) rating given to allow management of trees, ratings reflect the trees retention value, factors such as risk, health, species, historical and landscape significance. Dunster, Julian A., E. Thomas Smiley, Nelda Matheny and Sharon Lilly. 2013 *Tree Risk Assessment Manual*, Champaign, Illinois: International Society of Arboriculture.

BOUNDARY FENCE NOTE:
THE PROPOSED BOUNDARY FENCE HAS A MINIMUM HEIGHT OF 1.5M, INCREASING TO A MAXIMUM 2M AT THE SLOPE OF THE SITE FALLS STEPPING AT VARIOUS POINTS TO REDUCE THE OVERALL SCALE OF THE FENCE.

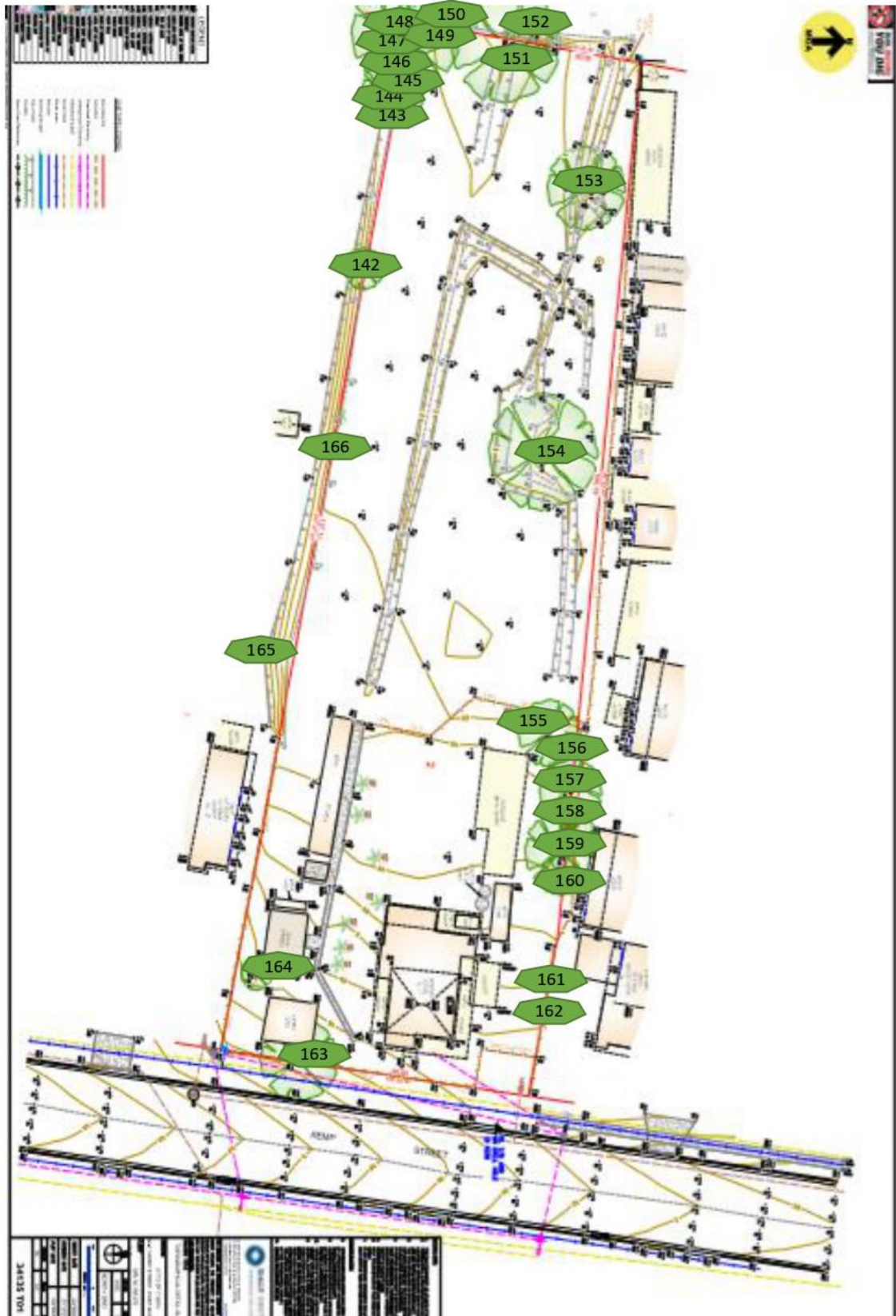
CUT & FILL NOTE:
CUT & FILL TO BLOC-2 TO REQUIRED FILL LEVELS
& AVOID LEVELS AS PER COUNCIL REQUIREMENTS




SITE PLAN NOTES:
PROPOSED STRATA PLAN
ZONING - "R1"
"DEVELOPMENT" - MULTIRESIDENTIAL HOLDING UNITS
WITH STRATA SUB-DIVISION FOR
PERMANENT RESIDENTIAL ACCOMMODATION
FLOOR SPACE RATIO - 0.25:1
PROPOSED FOOTPRINT TO BE Laid BY DEVELOPER
- TO MATCH EXISTING NEIGHBOURING FOOTPRINT
ARTIFICIAL LAND LAYN SHY FEET DWELLING
COMMON LANDSCAPING AREA 225m²
SHOWING MATCHED

[illegible]


Located Tree Map Plan




Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
142	Melaleuca quinquenervia - Paperbark	6m	180mm	Twin Trunk	Young

	Location and Target Use		TPZ and SRZ
	Rear of Unit 8		2.16m (TPZ) and 1.61m (SRZ)
	Details		
<p>Subject tree located on boundary line in rear section of proposed Unit 8.</p> <p>Soil level changes/ fences would be constructed within SRZ.</p> <p>Development / building within 3 metres.</p> <p>REMOVE</p>			


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
143	Melaleuca quinquenervia - Paperbark	10m x 4m East	370mm	Eastern Symmetry	Semi-mature

	Location and Target Use		TPZ and SRZ
	0.5m to boundary		4.44m (TPZ) and 2.18m (SRZ)
	Details		
<p>Subject tree located 0.5m to proposed visitor parking and Unit 9.</p> <p>Edge of canopy lean.</p> <p>Possible driveway/ Visitor parking construction.</p> <p>Will damage SRZ. Construction impact to TPZ.</p> <p>REMOVE- Lot 2 DP 73669</p>			


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
144	Melaleuca quinquenervia - Paperbark	12m	200mm	Understory	Semi-mature

	Location and Target Use		TPZ and SRZ
	0.5m to boundary		2.4m (TPZ) 1.68m (SRZ)
	Details		
<p>Subject tree located 0.5m to proposed visitor parking, bin storage area and nearby Unit 9.</p> <p>Arborist to confirm / construction impact to TPZ.</p> <p>Driveway/ Visitor parking construction.</p> <p>Will damage SRZ. Construction impact to TPZ.</p> <p>REMOVE- on Lot 2 DP 73669</p>			


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
145	Eucalyptus robusta – Swamp Mahogany	20m	400mm	Dominant	Mature

	Location and Target Use		TPZ and SRZ
	0.5 to boundary		4.8m (TPZ) and 2.25m (SRZ)
	Details		
<p>Subject tree located 0.5m to proposed visitor parking and bin storage area.</p> <p>Primary Koala Browse species (KBS).</p> <p>High retention value.</p> <p>Arborist to confirm / construction impact to TPZ.</p> <p>Driveway/ Visitor parking construction.</p> <p>Will damage SRZ. Construction impact to TPZ.</p> <p>REMOVE- Not on Lot 2 DP 73669</p>			

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
146	Melaleuca quinquenervia - Paperbark	12m	230mm	Suppressed / Understory	Semi-mature

	Location and Target Use		TPZ and SRZ
	0.5m to boundary		2.76m (TPZ) and 1.79m (SRZ)
	Details		
	<p>Subject tree located 0.5m to proposed visitor parking and bin storage area.</p> <p>Driveway construction.</p> <p>Arborist to confirm / construction impact to TPZ.</p> <p>Driveway/ Visitor parking construction.</p> <p>Will damage SRZ. Construction impact to TPZ.</p> <p>REMOVE- Not on Lot 2 DP 73669</p>		

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
147	Melaleuca quinquenervia - Paperbark	8m	100mm	Understory	Semi-mature

	Location and Target Use		TPZ and SRZ
	0.5m to boundary		2m (TPZ) and 1.5m (SRZ)
	Details		
<p>Subject tree located 0.5m to proposed visitor parking and bin storage area.</p> <p>Poorly formed.</p> <p>Arborist to confirm / construction impact to TPZ.</p> <p>Driveway/ Visitor parking construction.</p> <p>Will damage SRZ. Construction impact to TPZ.</p> <p>REMOVE- Not on Lot 2 DP 73669</p>			

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
148	<i>Metaleuca quinquenervia</i> - Paperbark	12m	200mm	Suppressed – Poor Taper	Semi-mature




Location and Target Use	TPZ and SRZ
0.5m to boundary	2.4m (TPZ) and 1.68m (SRZ)
Details	
<p>Subject tree located 0.5m to proposed visitor parking and bin storage area.</p> <p>Poorly formed upright suppressed.</p> <p>Possible driveway construction.</p> <p>Arborist to confirm / construction impact to TPZ.</p> <p>Driveway/ Visitor parking construction.</p> <p>Will damage SRZ. Construction impact to TPZ.</p> <p>REMOVE- Not on Lot 2 DP 73669</p>	


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
149	Coral Tree	20m	500mm	Dominant	Mature



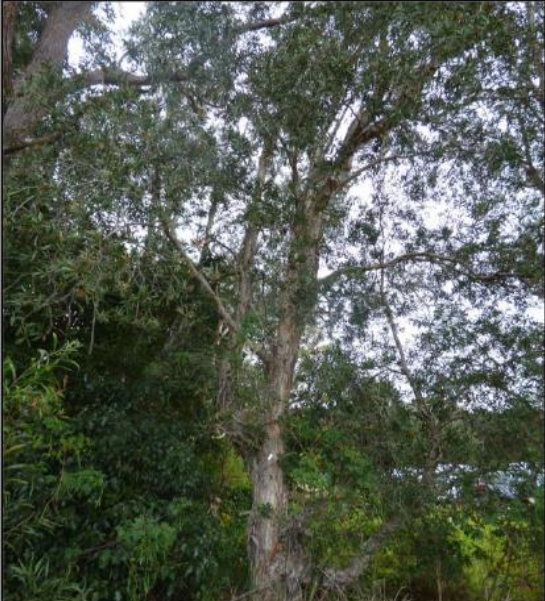
Location and Target Use	TPZ and SRZ
Corner Southwest	6m (TPZ) and 2.47m (SRZ)
Details	
<p>Subject tree located corner Southwest to proposed vehicle turnaround.</p> <p>Weed species tree as per LEP 2013.</p> <p>REMOVE.</p>	

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
150	Melaleuca quinquenervia - Paperbark	20m	500mm	Co-dominant	Mature


	Location and Target Use		TPZ and SRZ
	Southwest corner		6m (TPZ) and 2.47m (SRZ)
	Details		
<p>Subject tree located 0.5m outside boundary fence.</p> <p>Multi trunk tree at 1m located in proximity to the proposed vehicle turnaround bay and fire hydrant.</p> <p>Arborist to confirm / construction impact to TPZ.</p> <p>Driveway/ Visitor parking construction.</p> <p>Will damage SRZ. Construction impact to TPZ.</p> <p>REMOVE- Not on Lot 2 DP 73669</p>			

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease					
151	Eucalyptus robusta – Swamp Mahogany	23m x 15m	650mm	Dominant	Mature – Excellent specimen					
										
						Location and Target Use			TPZ and SRZ	
						Centre of rear boundary			7.8m (TPZ) and 2.76m (SRZ)	
Details										
<p>Subject tree is a Primary Koala Browse species (KBS)</p> <p>High retention value.</p> <p>Proposed construction of vehicle circulation area would require tree removal.</p> <p>Development would have to be 7metres from tree to retain.</p> <p>REMOVE</p>										


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
152	Melaleuca quinquenervia - Paperbark	18m	410mm	Suppressed – Western symmetry	Mature

	Location and Target Use		TPZ and SRZ
	1m outside boundary		4.92m (TPZ) and 2.28m (SRZ)
	Details		
	<p>Subject tree located in drainage swale.</p> <p>Failure target proximity to rear carpark.</p> <p>Possible driveway construction of vehicle turnaround bay and fire hydrant. Excavation within SRZ would be anticipated. Depth may cause excavation to be closer to tree.</p> <p>Arborist to confirm / construction impact to TPZ</p> <p>REMOVE – SRZ incursion.</p> <p>Not on Lot 2 DP 73669</p>		


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
153	Casuarina Glauca	21m	500mm	Dominant	Mature

	Location and Target Use		TPZ and SRZ
	Within proposed Unit 10		6m (TPZ) and 2.47m (SRZ)
	Details		
<p>Subject tree located within proposed development of Unit 10.</p> <p>Multi trunk. Poorly formed tree of low / moderate retention value.</p> <p>REMOVE – Within SRZ</p>			


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
154	Cluster of Coral Trees	18m	450mm	Co-dominant	Mature

	Location and Target Use		TPZ and SRZ
	In line to proposed Unit 13		5.4m (TPZ) and 2.37m (SRZ)
	Details		
	Subject tree located within proposed development of Unit 13. Weed species tree. Unsuitable for residential allotment. REMOVE- Weed Spp.		


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
155	Grevillea robusta – Silky Oak	15m	340mm	Co-dominant	Mature

	Location and Target Use		TPZ and SRZ
	In line to proposed Unit 15	4.08m (TPZ) and 2.1m (SRZ)	
	Details		
Subject tree located within proposed development of Unit 15. REMOVE- in Building footprint.			

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
156	Grevillea robusta – Silky Oak	20m	420mm	Co-dominant – Western symmetry	Mature

	Location and Target Use	TPZ and SRZ
	800mm off boundary fenceline	5.04m (TPZ) and 2.3m (SRZ)
	Details Subject tree located within proposed development of Unit 15 and Unit 16. Unsuitable for retention close to residential development. REMOVE – SRZ and TPZ incursion.	

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
157	Grevillea robusta – Silky Oak	20m	240mm	Understory	Declining

	Location and Target Use		TPZ and SRZ
	800mm off boundary fenceline		2.88m (TPZ) and 1.82m (SRZ)
	Details		
<p>Subject tree located within proposed development of Unit 15 and Unit 16.</p> <p>Unsuitable for retention close to residential development.</p> <p>REMOVE – SRZ and TPZ incursion.</p>			

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
158	Grevillea robusta – Silky Oak	20m	260mm	Understory - Upright	Mature



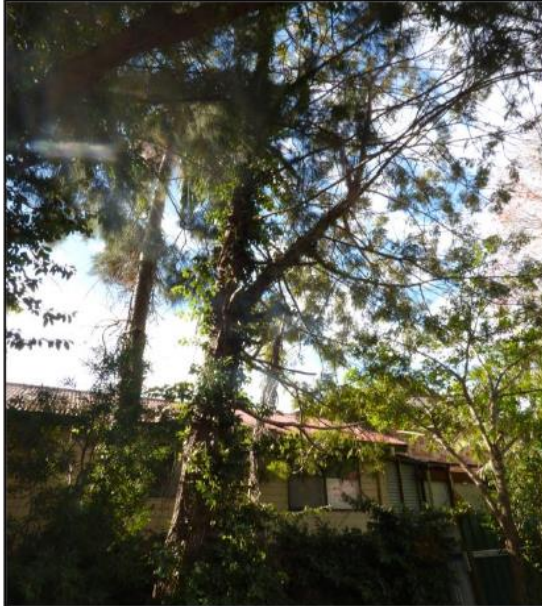
Location and Target Use	TPZ and SRZ
800mm off boundary fenceline	3.12m (TPZ) and 1.88m (SRZ)
Details	
Subject tree located within proposed development of Unit 16.	
Unsuitable for retention close to residential development.	
REMOVE – SRZ and TPZ incursion.	

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
159	Casuarina Glauca	20m	650mm	Dominant	Mature



Location and Target Use	TPZ and SRZ
800mm off boundary fenceline	7.8m (TPZ) and 2.76m (SRZ)
Details	
Subject tree located within proposed development of Unit 16.	
Unsuitable for retention close to residential development.	
The largest in row covered in ficus vine.	
REMOVE – SRZ and TPZ incursion.	

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
160	Casuarina Glauca	20m	490mm	Edge of canopy lean to East	Mature



Location and Target Use	TPZ and SRZ
800mm off boundary fenceline	5.88m (TPZ) and 2.45m (SRZ)

Details

Subject tree located Eastern tree in row within proposed development of Unit 17.

Unsuitable for retention close to residential development.

REMOVE – SRZ and TPZ incursion.

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
161	Liquidambar styraciflua -	25m	450mm	Co-dominant	Mature



Location and Target Use	TPZ and SRZ
On fenceline	5.4m (TPZ) and 2.37m (SRZ)

Details

Subject tree located within proposed development of Unit 18.


Fence has been installed inside boundaries.


Tree had been prune. Canopy lifted to South.

Arborist to confirm turf area / earthworks within TPZ.


Unsuitable for retention close to residential development.

REMOVE – SRZ and TPZ incursion.


Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
162	Liquidambar styraciflua -	25m	450mm	Co-dominant	Mature
				Location and Target Use	TPZ and SRZ
				On fenceline	5.4m (TPZ) and 2.37m (SRZ)
				Details	
				<p>Subject tree located within proposed development of Unit 18.</p> <p>Fence has been installed inside boundaries.</p> <p>Tree had been prune. Canopy lifted to South.</p> <p>Arborist to confirm turf area / earthworks within TPZ.</p> <p>Unsuitable for retention close to residential development.</p> <p>REMOVE – SRZ and TPZ incursion.</p>	

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
163	Syzygium smithii - Lily Pilly	10m	400mm	Dominant	Mature
				Location and Target Use	TPZ and SRZ
				Eastern Boundary- Fire Hydrant	4.8m (TPZ) and 2.25m (SRZ)
				Details	
				<p>Subject tree located within proposed Fire Hydrant location.</p> <p>Specimen tree.</p> <p>REMOVE – SRZ and TPZ incursion.</p>	

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
164	Eriobotrya japonica - Loquat	5m	200mm	Small tree	Mature

	Location and Target Use	TPZ and SRZ
	2.5m inside boundary	2.4m (TPZ) and 1.68m (SRZ)
	Details Subject tree located within proposed development of Unit 1. Small species of flowering / fruiting plant. Not protected under LEP 2013. REMOVE – Exempt LEP 2013.	

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
165	Grevillea robusta – Silky Oak	20m	590mm	Dominant	Mature - Excellent

	Location and Target Use	TPZ and SRZ
	1.5m outside boundary	7.08m (TPZ) and 2.65m (SRZ)
	Details Subject tree located rear of proposed development for Unit 5. Significant tree that may have SRZ damage. Retaining wall / fill. Target tree failure may impact on neighbouring residential. REMOVE – SRZ incursion. Not on Lot 2 DP 73669	

Tree #	Species	Height Spread	DBH	Canopy Spread Symmetry Crown Class Crown Cover	Age Health Vigour, Pest and Disease
166	Willow Tree	10m	500mm	Poorly formed	Declining



Location and Target Use	TPZ and SRZ
1m outside boundary	6m (TPZ) and 2.47m (SRZ)
Details	
Subject tree located rear of proposed development for Unit 6.	
Cavities / defects in trunk.	
Likely to fail in short term.	
Undesirable tree species as per PMHC.	
REMOVE – SRZ incursion.	
Not on Lot 2 DP 73669	

Trees centrally located – not requiring PMHC application for removal

- 1 x Bottle Brush
- 5 x Cocos Palm
- 3 x Bangalay
- 1 x Willow
- 1 x Loquat



Disclaimer

This tree report has been compiled on the information gathered on the day of the tree inspections: 13/06/2019

This report is not a prediction of what will happen in the future. The information contained in the report is not to be used by a third party without the written consent of the author. This report has been prepared for the clients and may be submitted to Port Macquarie ~ Hastings Council for their consideration.

The author accepts no responsibility for any use of the contents of this report by third parties and further that not all defects and faults have been listed due to the factors of natural change in trees and adverse environmental factors such as extreme storms and windy weather. The author accepts no responsibility for damage caused by the trees in this report to persons or property now and in the future – trees are living organisms and change with time and environmental conditions.

While some faults may have been detected on site, it is not possible to detect all bio-mechanical structural faults, both internally and in the higher canopy of the tree, as well as the underground root system. Further, it is not known by the Author if any structural roots have been severed or cut previously, particularly for the installation of underground services such as electrical wiring, sewer pipe installation, stormwater pipe installation, drainage lines, underground water tanks, telephone lines & cables, underground gas lines, swimming pools and their associated pipe work and electrical installation, and for structural landscaping. Trees and their root systems can suffer a lot of damage yet it may not be visible to the naked eye.

Similarly, the detection of internal wood decay in the branches, trunks and roots is not visible to the naked eye at the time of inspection but requires the use of sophisticated technological equipment such as the 'Resistograph', the 'Picus Tomagraph' or the 'Tree Radar'. The use of these technical devices can be expensive and is usually only used where doubt exists to the soundness of a tree after all other methods have been exhausted. None of these devices have been used in this report.

Declaration

It is hereby stated that I, Peter Berecny, Author of this report, am a practising AQF Level 5 Arboricultural Consultant and that I have read and agree to be bound by the *Expert Witness 'Code of Conduct'* as set out in the *Uniform Civil Procedure Rules 2005 ~ Schedule 7* and further...

1. That I have no personal interest in the trees or property contained in this report.
2. That I am independent and have no bias for any of the parties involved including the Clients.
3. That my remuneration for compiling the report is not contingent upon a predetermined favourable outcome for any parties involved including the Clients.
4. I have included all relevant information available to me and have not withheld any significant information that may be useful in determining an outcome.
5. That the facts presented in this report are true to the best of my personal knowledge and that the recommendations expressed are also truly held by me.
6. That I have complied with the professional requirements and codes of practice of my industry and that I have attained Tree Risk Assessor Qualification through the *International Society of Arboriculture* (ISA) and am a professional member of *Arboriculture Australia* (AA).

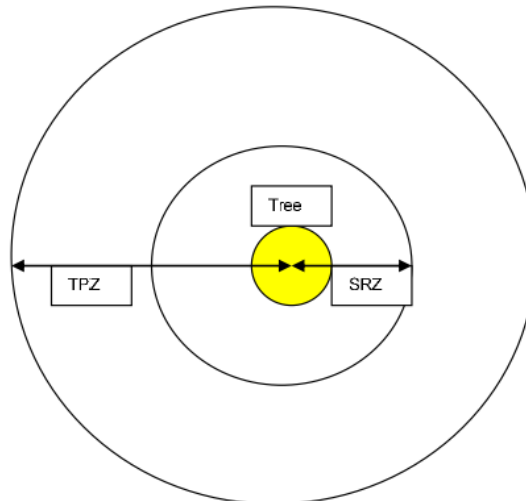
APPENDIX A

TPZ & SRZ Tree Protection during Earthworks & Construction AS4970-2009

Since August 2009, a new Australian Standard, AS 4970-2009 *Protection of trees on development sites*, has been approved and is now an important part of how trees are assessed in regard to proposed developments near existing trees. This standard requires (page 11, section 3).

That a **Tree Protection Zone (TPZ)** be established by applying a formula (p.12) to the trees Diameter @ Breast Height (DBH). There are numerous prohibited practises within the TPZ and protective fencing is to be erected prior to any construction work commencing (page 15 section 4). Fencing is to comply with AS 4687.

That a **Structural Root Zone (SRZ)** be established by measurement of the trees diameter at the base of the trunk just above any Buttress roots (page 12, section 3.3.5). *"The SRZ is the area required for tree stability. A larger area is required to maintain a viable tree. The SRZ only needs to be calculated when major encroachment into a TPZ is proposed"*.



The Australian Standard AS 4970-2009 *Protection of trees on development sites* on pages 21 to 23 sets out the role of the "Project Arborist" on development sites, this includes monitoring, supervising and issuing final Certification Certificates at the completion of tree works on development sites. Project Arborists are to have a minimum AQF Level 5 Diploma in Arboriculture qualification. The Project Arborist should be engaged prior to the start of any construction works for monitoring and certification (written statement of compliance) of the following stages;

- (1) Initial Tree pruning as per Arborist Report and Council conditions of consent
- (2) Establish / delineate TPZ of retained trees and confirm clearance
- (3) Inspect the TPZ Protective Fencing at installation and the removal at completion stage
- (4) Inspect all retained trees.
- (5) Issue Final Compliance Certificate

APPENDIX B

ACTIVITY RESTRICTIONS WITHIN TPZ AS4970-2009

The AS 4970-2009 *Protection of trees on development sites* clearly states (page 15, Section 4) that a range of activities is prohibited within the TPZ ("4.2 Activities restricted within the TPZ") these restrictions include:

- (a) machine excavation including trenching;
- (b) excavation for silt fencing;
- (c) cultivation;
- (d) storage;
- (e) preparation of chemicals, including preparation of cement products;
- (f) parking of vehicles and plant;
- (g) refuelling;
- (h) dumping of waste;
- (i) wash down and cleaning of equipment
- (j) placement of fill;
- (k) lighting of fires;
- (l) soil level changes;
- (m) temporary or permanent installation of utilities and signs, and
- (n) Physical damage to tree

Certification by Project Arborist

The Australian Standard AS 4970-2009 *Protection of trees on development sites* on pages 21 to 23 sets out the role of the "Project Arborist" on development sites, this includes monitoring, supervising and issuing final Certification Certificates at the completion of tree works on development sites. Project Arborists are to have a minimum AQF 5 Diploma in Arboriculture qualification.

For this development the 'Project Arborist' should be engaged to ensure :

Pre-Construction

- (1) Ensure pruning operations (Tree Schedule - pages 7 to 14) are compliant with report and AS 4373-2007 *Pruning of amenity trees*.
- (2) Ensure the installation of the 100mm thick 'woodchip mulch' around the exposed sides of the trees TPZ of all retained trees in this report (woodchips/mulch from native tree removal be used on site).
- (3) Supervise the installation of the TPZ Protective Fencing to AS 4970-2009 specifications and this reports recommendation regarding TPZ adjustments for construction access; signs are to be erected on fences prohibiting access inside the TPZ protective fencing by construction personnel.

PORT TREE FELLA

Peter Berecny

Owner / Manager

AQF 5 Diploma Arboriculture

AQF 5 Adv. Dip. Horticulture (Landscape)

AQF 3 Certificate Horticulture

ISA Qualified Tree Risk Hazard Assessor

Member International Society of Arboriculture (ISA) and Arboriculture Australia (AA)



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INSURANCES

Professional indemnity Insurance: \$5,000,000 - QBE Insurance

Public Liability Insurance: \$20 million - QBE Insurance

Workers Compensation - QBE Insurance

2018

Bush Fire Assessment

Multi Occupancy
Residential Development

11 Kemp Street
Port Macquarie NSW



Krisann Johnson
BPD-PD 18578 Certified Consultant

S & K Johnson Constructions Pty Ltd
PO Box 2111
Port Macquarie NSW 2444

Contents

Section 1 Introduction

- 1.1 Introduction
- 1.2 Legislation

Section 2 Site Assessment

- 2.1 Site Details
- 2.2 Proposed Development
- 2.3 Vegetation
- 2.4 Slope
- 2.5 Environment and Heritage Issues

Section 3 Bush Fire Hazard Assessment

- 3.1 Vegetation
- 3.2 Asset Protection Zone Distance and Defendable Space
- 3.3 Fire Danger Index
- 3.4 Category of Bush Fire Attack and Construction Standards
- 3.5 Access
- 3.6 Services – Water, Electricity and Gas
- 3.7 Emergency and Evacuation Management

Section 4 Recommendations

- 4.1 Asset Protection Zone
- 4.2 Siting and Design
- 4.3 Construction Standards
- 4.4 Landscaping
- 4.5 Access
- 4.3 Services

Section 5 Conclusion

Attachments

11 Kemp St Port Macquarie NSW

Executive Summary

The following Bushfire Assessment has been carried out to inform the property owners, builders, Certifying Authority, NSW Rural Fire Service (NSW RFS) and other stakeholders of the bushfire planning requirements for the construction of a multi occupancy residential development at 11 Kemp Street Port Macquarie NSW.

The development was assessed under Section 100B of the Rural Fires Act 1997 as well as Section 4.14 of the Environmental Planning & Assessment Act (EP&A Act). The requirements listed in Clause 44 of the Rural Fires Regulation 2008 were addressed. A Bushfire Safety Authority will need to be issued before the development can be approved.

This report provides an assessment of the bushfire protection measures required for the development to guard against the potential impact of bushfires. Recommendations have been made in respect of APZ fuel management, construction standards, access and services.

This document assesses how the development will conform to the aims, objectives and performance criteria set out in Chapter 4 of Planning for Bushfire Protection 2006 (PBP 2006).

The objectives for PBP 2006 have been met by:

- Providing the minimum 10 metre Asset Protection Zone distance between the proposed buildings and the hazard
- Providing safe access and egress for emergency services and residents
- Providing services for fire fighters
- Recommending construction requirements, landscaping and upkeep requirements to maintain the bushfire protection measures

Disclaimer

The following report is made on the assessment undertaken by S & K Johnson Constructions Pty Ltd in October 2018.

The report recognizes the fact that no property and lives can be guaranteed to survive a bushfire attack. The report examines ways of reducing the risk of bushfire attack upon the proposed development.

Whilst the assessors use their best endeavors to ensure that the information contained within this report is valid and comprehensive, the company makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which might be incurred as a result of the data being inaccurate or incomplete in any way and for any reason.

Section 1 Introduction

1.1 Introduction

This Bushfire Assessment Report has been prepared by *S & K Johnson Constructions Pty Ltd* on behalf of the owners of the properties for a multiple occupancy residential dwelling development.

The site is identified as **bushfire prone** by Port Macquarie-Hastings Council using the NSW Planning Portal *Bushfire Prone Land Map*.



Dual or multiple occupancy developments on bushfire prone land are classified as 'Integrated development'. They are covered by Section 91 of the EP&A Act 1979 and Section 100B of the Rural Fires Act 1997

Residential dwelling developments are covered by Section 4.14 of the EP & A Act but are assessed by the NSW Rural Fire Service under Section 100B of the Rural Fires Act when it involves a subdivision or change of boundary at the same time. Section 100B notes the need for approval by the NSW RFS and the issuance of a Bushfire Safety Authority before the development can be approved.

Clause 44 of the Rural Fires Regulation 2002 outlines the requirements to be submitted for the approval and issuance of a Bushfire Safety Authority. This assessment will cover these requirements for the proposed development.

11 Kemp St Port Macquarie NSW

In NSW, *Planning for Bushfire Protection 2006* (PBP 2006) sets out the aims, objectives and performance criteria required for development in bushfire prone areas. This proposed development will be assessed against these aims and objectives.

The purpose of this report is to:

- Identify the site
- Provide an assessment of the bushfire hazard
- Address the relevant requirements of Clause 44 of the Rural Fires Regulation 2002 and *Planning for Bushfire Protection 2006*
- Identify if the development complies with the aims and objectives of *Planning for Bushfire Protection 2006*
- Provide the relevant information for the New South Wales Rural Fire Service (NSW RFS) and Certifying Authority to make a determination for granting a Bushfire Safety Authority or development approval.

The references referred to during this assessment are:

- *Planning for Bushfire Protection 2006*
- *Building Code of Australia 2011*
- *AS 3959 – Building in Bushfire Prone Areas 2009*
- *Keith, D Ocean Shores to Desert Dunes 2004*
- *Overall Fuel Hazard Guide Forest Science Centre Victoria 2003*

1.2 Legislation

As noted earlier, this development will be assessed as a dual occupancy residential subdivision development under Section 100B of the Rural Fires Act 1997. This section requires that the proposed development meet the aims and objectives of *PBP 2006*. It also requires that a Bushfire Safety Authority be issued by the NSW RFS before development approval is granted.

PBP 2006 notes specific objectives for dual/multiple occupancy developments. These are:

- Minimize perimeters of the subdivision exposed to the bushfire hazard
- Minimize bushland corridors that permit the passage of bushfire
- Provide for the siting of future dwellings away from ridge-tops and steep slopes
- Ensure that separation distances (APZ) between a bushfire hazard and future dwellings enable conformity with the deemed-to-satisfy requirements of the BCA
- Provide and locate, where the scale of development permits, open space as public refuge areas
- Ensure the on-going maintenance of asset protection zones
- Provide clear and ready access from all properties to the public road system for residents and emergency services
- Ensure the provision of an adequate supply of water and other services to facilitate effective fire fighting

Not all of these objectives are relevant here, given the small scale of the subdivision, but they still must be considered. This proposal will need to meet the objectives listed above along with the Performance Criteria noted in Chapter 4 of *PBP 2006*.

Section 2 Site Assessment

2.1 Site Details

The lot to be assessed is:

- Lot 2 DP 713669 – 11 Kemp Street Port Macquarie

The lot is located in an established residential area in the north western portion of Port Macquarie. The CBD of Port Macquarie is located around 2.5 kilometres to the east of the site. The Local Government Area is Port Macquarie Hastings. The lot is classed Residential (R1).



11 Kemp St Port Macquarie NSW

As the aerial below shows, the lot is located in an existing residential area but is close by many other and varied land uses. The bushfire threat emanates from the bushland parcels to the west and south – protected as habitat for threatened species.

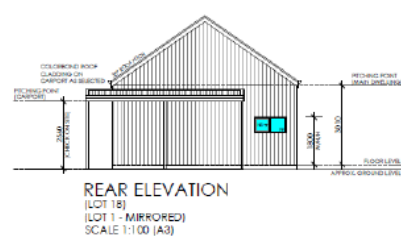
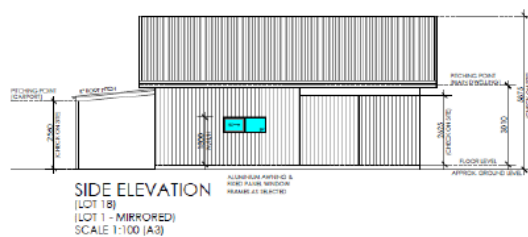
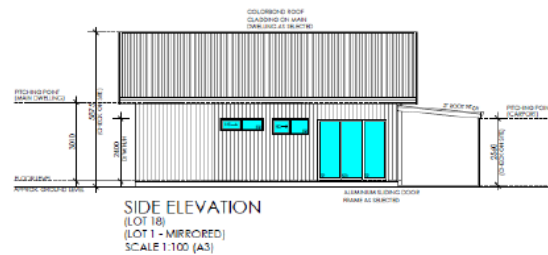
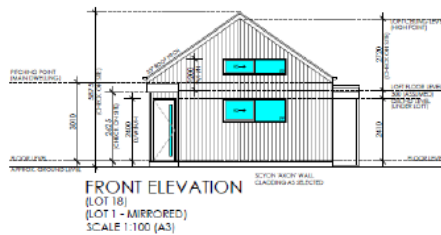
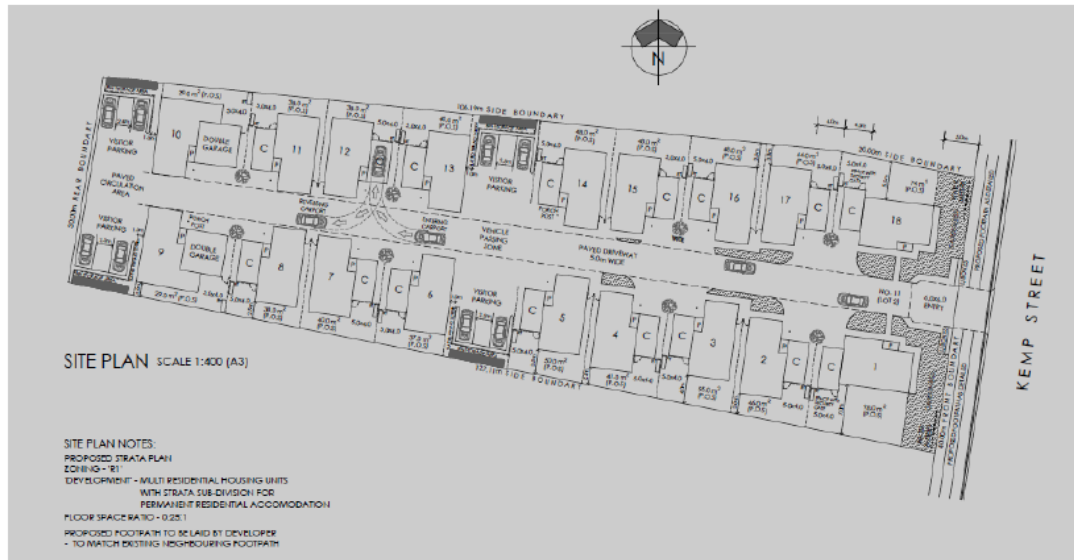


One of the neighbouring Churches

11 Kemp St Port Macquarie NSW

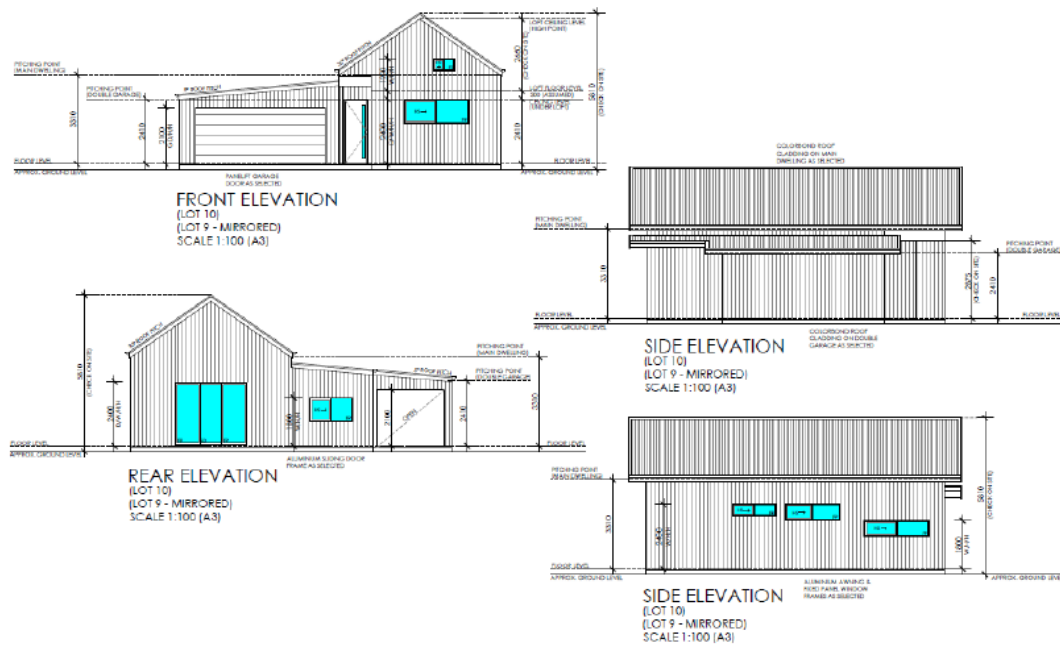
2.2 Proposed Development

The proposal is for the demolition of the existing structures and the construction of 18 separate unit buildings with a common driveway.



Whilst there are differences between each unit, they are all 2 bedrooms with a single or double carport attached.

11 Kemp St Port Macquarie NSW



Construction materials are consistent across each of the units - Concrete slab, Colorbond roofing, Scyon Axon wall claddings and aluminium framed windows.

The BCA building class is Class 1.

The developments will be assessed under the provisions of Section 100B of the Rural Fires Act 1997 which requires a Bushfire Safety Authority for development approval.

2.3 Vegetation

The type and arrangement of vegetation plays a major role in determining how a bushfire will behave. The vegetation types occurring on the site and on land adjacent to the site are capable of supporting fires of varying severity. The vegetation present is discussed below and includes photographic examples.

Site -

There is no significant vegetation on the lot. The existing trees on site will be removed (along with the existing dwelling and outbuildings) to give a clear working area.



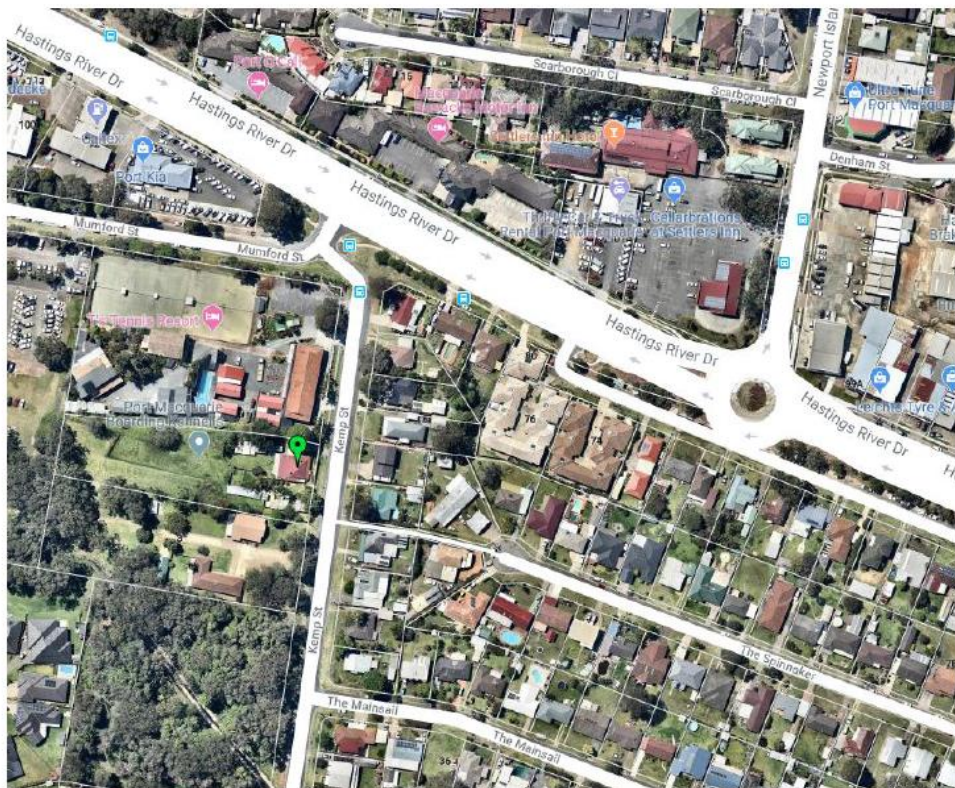
11 Kemp St Port Macquarie NSW



Existing buildings to be removed

External –

To the north and east are developed commercial and residential lots and supporting infrastructure for greater than 140 metres. There are no known or mapped bushfire hazards within 140 metres to these elevations.

11 Kemp St Port Macquarie NSW

To the west are partially developed allotments containing a Church with associated carparking then Heritage Christian School (K-12) with school buildings and playing fields. Whilst both of these properties contain large developments, they also contain areas of unmanaged vegetation growing alongside a drainage ditch. The vegetated land is zoned E2 and will not be developed into the future (assumed). The vegetation is well contained by mowing to create open space land used by the Church and school; it is not expected to increase in size.



The vegetation is Coastal Swamp Forest and quite narrow (under 50 metres in width) where it meets with the site. It widens out further west as it meets a wetlands community, but at the site is quite narrow.



11 Kemp St Port Macquarie NSW

The rear boundary of the site will be clear of vegetation once construction begins and the residual trees along the boundary are removed. The hazard vegetation begins just to the southwest of the site.



Cleared and maintained land behind the Church



Drainage ditch running through the vegetation (along the lot boundaries)

11 Kemp St Port Macquarie NSW

Due to the lack of width in this vegetation (under 50 metres) and the wet, boggy nature of the area, it is prudent to consider this vegetation as remnant with a Rainforest classification.

To the south is a small parcel of vegetated land (zoned RE1 – Public Recreation) that is loosely connected with the narrow strips of remnant vegetation to the west of the site. It is well separated from the site by another developed lot – a 45 metre buffer is present. The buffer lot is well maintained and less vegetated than the aerial images indicate but is still considered as a link to the western remnant vegetation.



11 Kemp St Port Macquarie NSW



Southern adjoining lot showing maintained vegetation at its rear – this is the link between the southern RE1 parcel and the western E2 parcel



Kemp St and the edge of the parcel of vegetation to the south

11 Kemp St Port Macquarie NSW

This parcel of vegetation to the south is also considered to be remnant – it is small in size (1 ha) and contained by developed allotments. It is only very loosely connected with the other narrow strips that run west.

Vegetation Summary

North

- Developed residential land for greater than 140 metres

East

- Developed residential land for greater than 140 metres

South

- Developed residential land for 45 metres
- Small parcel of forest vegetation growing on RE1 Public Reserve
- Remnant / Rainforest hazard

West

- Partially developed land at the lot boundary
- Land contains narrow strip of unmanaged Coastal Swamp Forest bushland
- Remnant / Rainforest hazard

The closest hazard impacting this site is from the west. For this assessment the classification of Rainforest (F) of Table 2.3 AS3959-2009 will be used.

2.4 Slope

The lot has a slight fall from the east to the west. The bushland to the west is on level slopes and continues for far greater than 140 metres. There is a slight slope within the bushland to the south.

Remnant vegetation to the West
Remnant vegetation to the South

Level slopes
0-5 Downslopes

2.5 Environment and Heritage Issues

There are no known Cultural, Heritage or Environmental issues present on the site.

Whilst there is protected habitat land to the west, it is not anticipated that any vegetation will be removed to facilitate this development.

Section 3 Bushfire Hazard Assessment

This bushfire hazard assessment was determined using the site assessment methodology set out in Appendix 3 of *PBP 2006*.

3.1 Vegetation

The vegetation impacting upon this site is made up of a parcel of remnant bushland to the west and another to the south. The vegetation is classed as Rainforest F (using Table 2.3 of AS 3959-2009).

Note: This was discussed in more detail in an earlier section of the report.

3.2 Asset Protection Zone Distance & Defendable Space

Planning for Bushfire Protection 2006 notes the following distance requirements for APZs. This distance may include both an inner and an outer protection zone.

Subdivision (Table A2.5, Appendix 2, p58)

West	Level slopes	Rainforest vegetation	10 metres
South	0-5 downslopes	Rainforest vegetation	10 metres

This report needs to show that this distance can be adequately met for all the new dwellings; not requiring vegetation removal from an external lot.

The sites are located within an existing residential estate with developed land surrounding them. Some of this developed land contains unmanaged vegetation.

Between the site and the closest hazard to the west is the site setback. The development was designed to create a buffer to the rear by using the area for visitor car parking and garbage bin storage. It provides a 10 metre buffer from the southwestern corner to the rear unit 9. All other units have a greater buffer distance.

It is noted that the requirement for Asset Protection Zones as set out in *Planning for Bushfire Protection 2006*, can be satisfied for the proposed development.

3.3 FDI

The subject site is located within the Port Macquarie Hastings Council Local Government Area in the North Coast Region. The Forest Fire Danger Index for the North Coast Region is rated at **80** for use in determining asset protection zone requirements and categories for bushfire attack.

3.4 Category of Bushfire Attack & Construction Standards

As the sites are essentially undeveloped, a BAL rating will need to be assigned for each of the proposed new dwelling blocks. This has been determined by the slope, the FDI, the hazard vegetation and the distances involved.

Units 1 - 7	BAL 12.5
Units 12 - 18	BAL 12.5
Units 8 + 10 + 11	BAL 19
Unit 9	BAL 29

All New construction shall comply with Sections 3 and 5/6/7 (BAL 12.5/19/29) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' and section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection'.

3.5 Access

Access to the proposed development will be via the driveway shown on plan which provides for road frontage to Kemp Street. There are adequate car parks provided for the development and visitors.

Travel will be available to and from the subject site in a predominately northerly direction from Kemp Street. Travel along Kemps Street provides for access to Hastings River Drive which is the main distributor roads servicing the north-western portions of Port Macquarie. Areas, which would be protected from bushfire, are present to the north. Accordingly, access and egress is considered to be adequate given the developed nature of the surrounding land.

It is noted that access to the bushfire hazard will not be from this site. Access to the bushfire hazard for suppression work will be from Mumford Street or the fire trail that runs off The Binnacle. It is anticipated that access to this site will be required for NSW Fire & Rescue rather than the NSW Rural Fire Service. The driveway system should comply with the NSW Fire Brigades Policy No 4 – Guidelines for Emergency Vehicle Access (Version 2 2010) but it is also compliant with Section 4.1.3 of Planning for Bushfire Protection 2006:

Intent of measures: to provide safe access to/from the public road system for fire fighters providing property protection during a bush fire and for occupants faced with evacuation.

The intent may be achieved where:

Performance Criteria	Acceptable Solutions	Compliance Comment
• access to properties is provided in recognition of the risk to fire fighters and/ or evacuating occupants.	• at least one alternative property access road is provided for individual dwellings (or groups of dwellings) that are located more than 200 metres from a public through road	Proposed dwellings are less than 200m from an existing public road – alternative access is therefore not required.

11 Kemp St Port Macquarie NSW

Performance Criteria	Acceptable Solutions	Compliance Comment
<ul style="list-style-type: none"> the capacity of road surfaces and bridges is sufficient to carry fully loaded firefighting vehicles. 	<ul style="list-style-type: none"> all weather access is provided. bridges clearly indicate load rating and pavements and bridges are capable of carrying a load of 15 tonnes roads do not traverse a wetland or other land potentially subject to periodic inundation (other than a flood or storm surge). 	No bridges or wetlands crossing required.
<ul style="list-style-type: none"> road widths and design enable safe access for vehicles 	<ul style="list-style-type: none"> a minimum carriageway width of four metres for rural-residential areas, rural landholdings or urban areas with a distance of greater than 70 metres from the nearest hydrant point to the most external part of a proposed building (or footprint). <p><i>Note: No specific access requirements apply in a urban area where a 70 metres unobstructed path can be demonstrated between the most distant external part of the proposed dwelling and the nearest part of the public access road (where the road speed limit is not greater than 70kph) that supports the operational use of emergency fire fighting vehicles (i.e. a hydrant or water supply)</i></p> <ul style="list-style-type: none"> a minimum vertical clearance of four metres to any overhanging obstructions, including tree branches. 	Design of road infrastructure to comply. Turning circle has been provided within the proposed car parking area.

It is considered that the requirements of NSW Rural Fire Services, ***Planning for Bushfire Protection***, 2006 for the provision of access and egress can be satisfied by the proposed development.

3.6 Services –Gas, Water and Electricity Supply

As set out in Section 4.1.3 of NSW Rural Fire Services, ***Planning for Bushfire Protection***, 2006, developments in bushfire prone areas must maintain a water supply reserve dedicated to fire fighting purposes.

The subject site is provided with a reticulated water supply which will continue to be available to the existing dwelling and is available for extension to the proposed residential unit buildings and will be available for fire fighting purposes. It is however noted that in accordance with NSW Rural Fire Services, ***Planning for Bushfire Protection***, 2006 the determination of a guaranteed water supply is to be made by the water supply authority where mains water supply is available.

A hydrant plan will need to comply with AS2419.1 – 2005.

11 Kemp St Port Macquarie NSW

Electricity supply is available and connected to the subject property.

Reticulated gas services are not available to the site, however any reticulated or bottled gas supply is to be installed and maintained in accordance with AS1596 and the requirements of the relevant authorities. Metal piping is to be used. All fixed gas cylinders are to be kept clear of all flammable materials to a distance of 10m and shielded on the hazard side of the installation.

If gas cylinders need to be kept close to a building, the release valves are to be directed away from the building and at least 2m away from any combustible material, so that they do not act as a catalyst to combustion. Connects to and from gas cylinders need to be metal. Polymer sheathed flexible gas supply lines to gas meters adjacent to buildings are not to be used.

It is considered that the relevant acceptable solutions as provided for by 4.1.3 and of NSW Rural Fire Services, ***Planning for Bushfire Protection***, 2006 and are capable of being complied with and as such the intent for the provision of services to the proposed development will be achieved.

3.7 Emergency and Evacuation Management Plan

A formal emergency/evacuation plan does not need to be prepared for this development. However, the owners of the new dwellings should create their own plan and ensure all occupants are aware of the risks. Should a bushfire threaten these properties it is essential that all residents are skilled to deal with it. Set procedures with decisions already made will reduce confusion and panic during any emergency.

Section 4 Recommendations

The following measures are recommended to reduce the risk of bushfire on the proposed buildings. These recommendations are linked to the Performance Criteria set out in *Planning for Bushfire Protection 2006*. It is believed that by implementing these recommendations the aims and objectives of *Planning for Bushfire Protection 2006* will be met.

4.1 Performance Criteria – Asset Protection Zone

- Radiant levels to not exceed 29 kW/m² on a proposed building
- APZs are managed to prevent fire spread
- APZ maintenance is practical

Recommendation

- The entire lot is to be maintained as an Inner Protection Zone for the life of the dwellings.
- This will require little effort as the lots are clear of significant vegetation but this does cover future vegetation that may be planted as gardens
- The requirements for vegetation within an Inner Protection Zone:
 - The canopy cover must be less than 15%
 - Any canopy must be located more than 5 metres from any roofline.
 - Trees should have lower limbs removed up to a height of 2 metres above the ground (4 metres if emergency vehicles need to park next to or drive around them).
 - Shrubs and gardens need to be 1.5m away from exposed windows and doors.

4.2 Performance Criteria – Siting and Design

- Buildings are sited and designed to minimize the risk of bushfire attack.

Recommendation

- The roof lines of the proposed new dwellings are all relatively simple with no box gutters or flat roof sections. There are valleys however that will require the homeowner attention to ensure there is not a build-up of leaves and other flammable debris.
- There are a number of re-entrant corners in the buildings. These too will require rigorous attention by the homeowner to ensure there is no build-up of leaves and other flammable debris
- Complete access around each of the buildings is not to be impeded.

4.3 Performance Criteria – Construction Standards

- The proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact.

Recommendation

- The proposed dwellings are to be constructed to BAL 12.5 requirements as per AS 3959-2009. These constitute the deemed-to-satisfy acceptable solution.
 - **Units 1 - 7** **BAL 12.5**
 - **Units 12 - 18** **BAL 12.5**
 - **Units 8 + 10 + 11** **BAL 19**
 - **Unit 9** **BAL 29**
- All New construction shall comply with Sections 3 and 5/6/7 as appropriate (BAL 12.5/19/29) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' and section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection'.

4.4 Performance Criteria – Landscaping

- It is designed and managed to minimize flame contact and radiant heat to buildings, and the potential for wind driven embers to cause ignitions.

Recommendations

- Maintain an area of lawn or non-combustible material (such as concrete) adjacent to the new dwellings.
- Keep the area under fences, trees and gates raked and free of fuel.
- Use non-flammable ground covers – pebbles or rocks.
- Do not place plants and shrubs against building elements likely to fail – IE windows, any timber structure. They can ignite and bring flames closer to the building.
- Choose plants that are less flammable IE those with less oil, higher moisture content, dense growth pattern. Look for broad fleshy leaves and smooth bark.
- Do not restrict access around the dwelling with plants or structures
- The fencing used should be metal – timber and other combustible fences can ignite, bringing flames and heat closer to the building.
- Class 10b structures (e.g. retaining walls) must also meet the requirements of BAL 12.5 (as applicable)
- The entire building must be maintained on a regular basis to reduce leaf and other flammable debris from building up around building and other structures.
- Check for branches overhanging roofs and driveways – trim as required
- Maintain all building elements – e.g. window screens, roof tiles/sheeting, draught seals, and hoses. Ensure all are in good working repair.

4.5 Performance Criteria – Access

- Access to properties recognizes risk to fire fighters and residents
- Road surface and bridge capacity is sufficient to carry fully loaded fire fighting vehicles
- Road widths and design enables safe access for vehicles

Recommendations

- The internal driveway on plan is required as shown
- The turning area is required to be left clear and unobstructed

4.6 Performance Criteria – Services – Water, Electricity and Gas

- A water supply reserve dedicated for firefighting purposes is installed and maintained.
- Location of electricity services limits the possibility of ignition of surrounding bushland or the fabric of buildings
- Location of gas services will not lead to ignition of surrounding bushland or the fabric of buildings

Recommendations

- The existing reticulated water supply should be accessed and the new hydrant plan comply with AS2419.1 – 2005.
- New electrical transmission lines should be located underground
- Gas bottles to be located away from the hazard, with the release valve positioned away from the building

Section 5 Conclusion

The site has been studied, and it has been determined that there is significant vegetation present within 140 metres of the lot which could carry a bushfire in extreme fire conditions – this makes the lot 'bushfire prone'. Any further development of this lot will require additional protection measures to reduce the impact a bushfire could have on the buildings and its occupants.

As this development is a multi-occupancy it is assessed under 100B of the Rural Fires Act. A Bushfire Safety Authority is required before the development can be approved. It is necessary to ensure that the objectives of *Planning for Bushfire Protection 2006* can be met, in particular those relating to Asset Protection Zones and minimum BALs.

The report notes that the proposed development can satisfy the aim and objectives of PBP 2006.

The objectives of PBP 2006 have been achieved by:

- Providing the minimum 10 metre Asset Protection Zone distance between the building and the hazard
- Providing safe access and egress for emergency services and residents
- Providing services for fire fighters
- Recommending construction requirements, landscaping and upkeep requirements to maintain the bushfire protection measures

Whilst the protection measures outlined in this report will greatly improve the chances of a future building surviving a bushfire event, it does not guarantee it. The unpredictable nature of bushfire events precludes any such guarantee. It is the responsibility of the owner to ensure the ongoing maintenance and upkeep of the building, roads and landscaping – without it the whole system will fail.

If there are queries or concerns about the assessment or the recommendations please feel free to contact myself on 0402 318073.

Prepared by Krisann Johnson



17th December 2018

UTS Planning for Bushfire Prone Areas
UWS G.Dip. Design for Bushfire Prone Areas
BPAD-D Certified Practitioner BPD-PD-18578



11 Kemp St Port Macquarie NSW

All communications to be addressed to:

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e-mail: records@rfs.nsw.gov.au

Facsimile: 8741 5433



The General Manager
Port Macquarie-Hastings Council
PO Box 84
PORT MACQUARIE NSW 2444

Your Ref: 2019/71
Our Ref: D19/575
DA19022217481 DC

ATTENTION: Beau Spry

20 March 2019

Dear Mr Spry

Integrated Development Application - 2/713669 - 11 Kemp Street Port Macquarie

I refer to your correspondence dated 14 February 2019 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, under Division 4.8 of the 'Environmental Planning and Assessment Act 1979', and a Bush Fire Safety Authority, under Section 100B of the 'Rural Fires Act 1997', are now issued subject to the following conditions:

Asset Protection Zones

The intent of measures is to provide sufficient space and maintain reduced fuel loads so as to ensure radiant heat levels of buildings are below critical limits and to prevent direct flame contact with a building. To achieve this, the following conditions shall apply:

1. At the issue of subdivision certificate and in perpetuity the entire property shall be managed as an inner protection area (IPA) as outlined within section 4.1.3 and Appendix 5 of 'Planning for Bush Fire Protection 2006' and the NSW Rural Fire Service's document 'Standards for asset protection zones'.

Water and Utilities

The intent of measures is to minimise the risk of bush fire attack and provide protection for emergency services personnel, residents and others assisting fire fighting activities. To achieve this, the following conditions shall apply:

2. Any new electricity and gas supply shall comply with section 4.1.3 of 'Planning for Bush Fire Protection 2006'.

Design and Construction

The intent of measures is that buildings are designed and constructed to withstand the potential impacts of bush fire attack. To achieve this, the following conditions shall apply:

3. New construction of Unit 9 shall comply with section 3 and section 7 (BAL 29) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' or NASH Standard (1.7.14 updated) 'National Standard Steel Framed Construction in Bushfire Areas – 2014' as appropriate and section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection' 2006'.
4. New construction of Units 8, 10 and 11 shall comply with section 3 and section 6 (BAL 19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' or NASH Standard (1.7.14 updated) 'National Standard Steel Framed Construction in Bushfire Areas – 2014' as appropriate and section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection' 2006'.
5. New construction of Units 1-7 and 12-18 shall comply with sections 3 and 5 (BAL 12.5) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' or NASH Standard (1.7.14 updated) 'National Standard Steel Framed Construction in Bushfire Areas – 2014' as appropriate and section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection' 2006'.

Landscaping

6. Landscaping to the site is to comply with the principles of Appendix 5 of 'Planning for Bush Fire Protection 2006'.

General Advice – consent authority to note

The above conditions are based on the drawing titled 'Site Plan' as submitted in section 2.2 of the 'Bush Fire Assessment Report' prepared by Krisann Johnson dated 17th December, 2018.

Consideration should be given to Fire & Rescue NSW Guideline 'Fire Hydrants for Minor Residential Development', Version 02, issued 1st September, 2016 for water supply and access.

Should you wish to discuss this matter please contact Danette Cook on 1300 NSW RFS.

Yours sincerely



Alan Bawden

Team Leader, Development Assessment & Planning

For general information on bush fire protection please visit www.rfs.nsw.gov.au