

Development Assessment Panel

Business Paper

date of meeting: Wednesday 10 June 2020

location: Via Skype

time: 2:00pm

Development Assessment Panel

CHARTER

1.0 OBJECTIVES

To assist in managing Council's development assessment function by providing independent and expert determinations of development applications that fall outside of staff delegations.

2.0 KEY FUNCTIONS

- To review development application reports and conditions;
- To determine development applications outside of staff delegations;
- To refer development applications to Council for determination where necessary;
- To provide a forum for objectors and applicants to make submissions on applications before the Development Assessment Panel (DAP);
- To maintain transparency in the determination of development applications.

Delegated Authority of Panel

Pursuant to Section 377 of the Local Government Act, 1993 delegation to:

- Determine development applications under Part 4 of the Environmental Planning and Assessment Act 1979 having regard to the relevant environmental planning instruments, development control plans and Council policies.
- Vary, modify or release restrictions as to use and/or covenants created by Section 88B instruments under the Conveyancing Act 1919 in relation to development applications for subdivisions being considered by the panel.
- Determine Koala Plans of Management under State Environmental Planning Policy 44 - Koala Habitat Protection associated with development applications being considered by the Panel.

Noting the trigger to escalate decision making to Council as highlighted in section 5.2.

3.0 MEMBERSHIP

3.1 Voting Members

Two independent external members. One of the independent external members to



- be the Chairperson.
- Group Manager Development Assessment (alternate Director Development & Environment or Development Assessment Planner)

The independent external members shall have expertise in one or more of the following areas: planning, architecture, heritage, the environment, urban design, economics, traffic and transport, law, engineering, government and public administration.

3.2 Non-Voting Members

Not applicable

3.3 Obligations of members

- Members must act faithfully and diligently and in accordance with this Charter.
- Members must comply with Council's Code of Conduct.
- Except as required to properly perform their duties, DAP members must not disclose any confidential information (as advised by Council) obtained in connection with the DAP functions.
- Members will have read and be familiar with the documents and information provided by Council prior to attending a DAP meeting.
- Members must act in accordance with Council's Workplace Health and Safety Policies and Procedures
- External members of the Panel are not authorised to speak to the media on behalf of Council. Council officers that are members of the Committee are bound by the existing operational delegations in relation to speaking to the media.
- Staff members shall not vote on matters before the Panel if they have been the principle author of the development assessment report.

3.4 Member Tenure

• The independent external members will be appointed for the term of four (4) years maximum in which the end of the tenure of these members would occur in a cascading arrangement.

3.5 Appointment of members

- The independent external members (including the Chair) shall be appointed by the General Manager following an external Expression of Interest process.
- Staff members of the Panel are in accordance with this Charter.

4.0 TIMETABLE OF MEETINGS

- The Development Assessment Panel will generally meet on the 1st and 3rd Wednesday each month at 2.00pm at the Port Macquarie offices of Council.
- Special Meetings of the Panel may be convened by the Director Development & Environment Services with three (3) days notice.



5.0 MEETING PRACTICES

5.1 Meeting Format

- At all Meetings of the Panel the Chairperson shall occupy the Chair and preside.
 The Chair will be responsible for keeping of order at meetings.
- Meetings shall be open to the public.
- The Panel will hear from applicants and objectors or their representatives.
- Where considered necessary, the Panel will conduct site inspections which will be open to the public.

5.2 Decision Making

- Decisions are to be made by consensus. Where consensus is not possible on any item, that item is to be referred to Council for a decision.
- All development applications involving a proposed variation to a development standard greater than 10% under Clause 4.6 of the Local Environmental Plan will be considered by the Panel and recommendation made to the Council for a decision.

5.3 Quorum

 All members (2 independent external members and 1 staff member) must be present at a meeting to form a quorum.

5.4 Chairperson and Deputy Chairperson

• Independent Chair (alternate, second independent member)

5.5 Secretariat

- The Director Development &n Environment is to be responsible for ensuring that the Panel has adequate secretariat support. The secretariat will ensure that the business paper and supporting papers are circulated at least three (3) days prior to each meeting. Minutes shall be appropriately approved and circulated to each member within three (3) weeks of a meeting being held.
- The format of and the preparation and publishing of the Business Paper and Minutes shall be similar to the format for Ordinary Council Meetings.

5.6 Recording of decisions

 Minutes will record decisions and how each member votes for each item before the Panel.



6.0 CONVENING OF "OUTCOME SPECIFIC" WORKING GROUPS

Not applicable.

7.0 CONFIDENTIALITY AND CONFLICT OF INTEREST

- Members of the Panel must comply with the applicable provisions of Council's Code of Conduct. It is the personal responsibility of members to comply with the standards in the Code of Conduct and regularly review their personal circumstances with this in mind.
- Panel members must declare any conflict of interests at the start of each meeting or before discussion of a relevant item or topic. Details of any conflicts of interest should be appropriately minuted. Where members are deemed to have a real or perceived conflict of interest, it may be appropriate they be excused from deliberations on the issue where the conflict of interest may exist. A Panel meeting may be postponed where there is no quorum.

8.0 LOBBYING

All members and applicants are to adhere to Council's Lobbying policy. Outside of scheduled Development Assessment Panel meetings, applicants, their representatives, Councillors, Council staff and the general public are not to lobby Panel members via meetings, telephone conversations, correspondence and the like. Adequate opportunity will be provided at Panel inspections or meetings for applicants, their representatives and the general public to make verbal submissions in relation to Business Paper items.



Development Assessment Panel

ATTENDANCE REGISTER

	26/02/20	11/03/20	25/03/20	08/04/20	06/05/20	27/05/20
Member						
Paul Drake	✓	✓	✓	✓	√	√
Robert Hussey	✓	✓		✓		
David Crofts			✓		√	√
(alternate member)						
Dan Croft	✓	✓	✓	✓	√	√
(Group Manager Development Assessment)						
(alternates)						
- Development Assessment Planner						

Key: ✓ = Present
A = Absent With Apology
X = Absent Without Apology

Meeting Dates for 2020

22/01/2020	Function Room	2:00pm
12/02/2020	Function Room	2:00pm
26/02/2020	Function Room	2:00pm
11/03/2020	Function Room	2:00pm
25/03/2020	Function Room	2:00pm
8/04/2020	Function Room	2:00pm
6/05/2020	Function Room	2:00pm
27/05/2020	Function Room	2:00pm
10/06/2020	Function Room	2:00pm
24/06/2020	Function Room	2:00pm
8/07/2020	Function Room	2:00pm
22/07/2020	Function Room	2:00pm
12/08/2020	Function Room	2:00pm
26/08/2020	Function Room	2:00pm
9/09/2020	Function Room	2:00pm
30/09/2020	Function Room	2:00pm
14/10/2020	Function Room	2:00pm
28/10/2020	Function Room	2:00pm
11/11/2020	Function Room	2:00pm
25/11/2020	Function Room	2:00pm
16/12/2020	Function Room	2:00pm
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Development Assessment Panel Meeting Wednesday 10 June 2020

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08	DA2019 - 552.1 Staged 136 Site Manufactured Home Estate at Lot 10 DP 1250178 No.11 Resort Rd, Kew	305
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Item: 01

Subject: ACKNOWLEDGEMENT OF COUNTRY

"I acknowledge that we are gathered on Birpai Land. I pay respect to the Birpai Elders both past and present. I also extend that respect to all other Aboriginal and Torres Strait Islander people present."

Item: 02

Subject: APOLOGIES

RECOMMENDATION

That the apologies received be accepted.

Item: 03

Subject: CONFIRMATION OF PREVIOUS MINUTES

RECOMMENDATION

That the Minutes of the Development Assessment Panel Meeting held on 27 May 2020 be confirmed.





PRESENT
Members: Paul Drake David Crofts Dan Croft
Other Attendees:
Grant Burge Pat Galbraith-Robertson Ben Roberts Chris Gardiner Steven Ford
The meeting opened at 2:00pm.
01 ACKNOWLEDGEMENT OF COUNTRY
The Acknowledgement of Country was delivered.
02 APOLOGIES
Nil.
03 CONFIRMATION OF MINUTES
CONSENSUS:
That the Minutes of the Development Assessment Panel Meeting held on 6 and 7 May 2020 be confirmed.



04 DISCLOSURES OF INTEREST

There were no disclosures of interest presented.

05 DA2019 - 137.2 MODIFICATION TO ALTERATIONS AND ADDITIONS TO DWELLING AT LOT 33 DP 18138, NO 7 ARNCLIFFE AVENUE, PORT MACQUARIE

Speakers:

Damien Keep (applicant)

CONSENSUS:

That DA 2019 - 137.2 for modification to consent conditions for alterations and additions to dwelling at Lot 33, DP 18138, No. 7 Arncliffe Avenue, Port Macquarie, be determined by granting consent subject to the recommended modified conditions and as amended below:

Additional condition in Section E of the consent to read: 'Prior to the issue of an
occupation certificate, dense screen landscaping achieving a minimum 3m height at
maturity is to be planted in the 920mm setback area between the proposed dwelling
addition and the rear boundary. The proposed rainwater tank is also to be sited
elsewhere on site.'

06 DA2019 - 655.1 LAND FILLING AND FARM BUILDINGS AT LOT 16 AND LOT 17 DP 855941 OXLEY HIGHWAY, WAUCHOPE

Speakers:

Donna Clarke (applicant)

CONSENSUS:

That DA 2019 - 655.1 for land filling and farm buildings at Lot 16 and Lot 16, DP 855941, Oxley Highway, Wauchope, be determined by granting consent subject to the recommended conditions.



07 DA2019 - 740.1 DEVELOPMENT ANCILLARY TO AGRICULTURE (FROST FANS) AT LOT 13, DP 754420, 293 INNES VIEW ROAD, INNES VIEW

Speakers:

Ewan Barlin (opposing application) Ian Tolson (applicant).

CONSENSUS:

That DA 2019 - 740 for development ancillary to agriculture (frost fans) at Lot 13, DP 754420, No. 293 Innes View Road, Innes View, be determined by granting consent subject to the recommended conditions and as amended below:

- Amend condition F(2) to read: 'The development must not cause a noise nuisance to any other person. Following occupation, should complaints of a noise nuisance be justified, to the satisfaction of Council, further acoustic assessments may be requested to be undertaken by a qualified consultant and a Noise Impact Assessment Report provided to Port Macquarie-Hastings Council. The applicant shall then implement all recommendations provided under the assessment within a timeframe set by Council, to the satisfaction of Council and shall comply with any additional direction given by Council.'
- 08 DA2019 568.1 DEMOLITION OF MULTI DWELLING HOUSING AND CONSTRUCTION OF RESIDENTIAL FLAT BUILDING INCLUDING CLAUSE 4.6 VARIATION TO CLAUSE 4.3 (HEIGHT OF BUILDINGS) OF THE PORT MACQUARIE-HASTINGS LOCAL ENVIRONMENTAL PLAN 2011 AT LOT 101 DP 1122606, NO 3 CLARENCE STREET, PORT MACQUARIE

Speakers:

Leonie Brown (opposing application) Wayne Ellis (applicant)

CONSENSUS:

That DA2019 - 568.1 for demolition of Multi Dwelling Housing and construction of a Residential Flat Building Including Clause 4.6 Variation to Clause 4.3 (Height of Buildings) of the Port Macquarie-Hastings Local Environmental Plan 2011 at Lot 101 DP 1122606 No. 3 Clarence Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.



09	DA2016 - 88.5 - SECTION 4.55 MODIFICATION TO EXISTING SUBDIVISION
	LAYOUT AT LOT 2 DP 1263561 AND LOT 99 DP 1246122, SOUTH ATLANTIC
	DRIVE, LAKE CATHIE

Speakers: Donna Clark (applicant)

CONSENSUS:

That the Development Assessment Panel recommend to Council that the Section 4.55 modification to DA2016 - 88.5 being a modification to the layout of the previous approved staged subdivision at Lot 2, DP 1263561 and Lot 99, DP 1246122, South Atlantic Drive, Lake Cathie, be determined by granting consent, subject to the recommended modified conditions.

10	GENERAL BUSINESS
Nil.	

The meeting closed at 4;15pm.

Item: 04

Subject: DISCLOSURES OF INTEREST

RECOMMENDATION

That Disclosures of Interest be presented

DISCLOSURE OF INTEREST DECLARATION

Name o	of Meeting:			
Meeting	g Date:			
Item Nu	umber:			
Subjec	t:			
I, the u	ndersigned, hereby declare the following interest:			
	Pecuniary:			
Ш	Take no part in the consideration and voting and be out of s meeting.	ight of the		
	Non-Pecuniary – Significant Interest:			
	Take no part in the consideration and voting and be out of sight of the meeting.			
_	Non-Pecuniary – Less than Significant Interest:			
	May participate in consideration and voting.			
For the reason that:				
Name: Date:				
Signed	:			
Please	submit to the Governance Support Officer at the Council	Meeting.		

(Refer to next page and the Code of Conduct)



AGENDA

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

Pecuniary Interest

- 4.1 A pecuniary interest is an interest that you have in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to you or a person referred to in clause 4.3.
- 4.2 You will not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision you might make in relation to the matter, or if the interest is of a kind specified in
- 4.3 For the purposes of this Part, you will have a pecuniary interest in a matter if the pecuniary interest is:
 - your interest, or
 - the interest of your spouse or de facto partner, your relative, or your partner or employer, or
 - (c) a company or other body of which you, or your nominee, partner or employer, is a shareholder or member. For the purposes of clause 4.3:
- 4.4
 - Your "relative" is any of the following: (a)
 - your parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - your spouse's or de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or ii)
 - iii) the spouse or de facto partner of a person referred to in paragraphs (i) and (i) "de facto partner" has the same meaning as defined in section 21C of the *Interpretation Act 1987*.
- 4.5 You will not have a pecuniary interest in relation to a person referred to in subclauses 4.3(b) or (c)
 - (a) if you are unaware of the relevant pecuniary interest of your spouse, de facto partner, relative, partner, employer or company or other body, or
 - just because the person is a member of, or is employed by, a council or a statutory body, or is employed by the Crown, or
 - just because the person is a member of, or a delegate of a council to, a company or other body that has a pecuniary interest in the matter, so long as the person has no beneficial interest in any shares of the company or body.

Non-Pecuniary

- 5.1 Non-pecuniary interests are private or personal interests a council official has that do not amount to a pecuniary interest as defined in clause 4.1 of this code. These commonly arise out of family or personal relationships, or out of involvement in sporting, social, religious or other cultural groups and associations, and may include an interest of a financial nature. A non-pecuniary conflict of interest exists where a reasonable and informed person would perceive that you could be
- 5.2 influenced by a private interest when carrying out your official functions in relation to a matter.
- 5.3 The personal or political views of a council official do not constitute a private interest for the purposes of clause 5.2.
- Non-pecuniary conflicts of interest must be identified and appropriately managed to uphold community confidence in the probity of council decision-making. The onus is on you to identify any non-pecuniary conflict of interest you may have in matters that you deal with, to disclose the interest fully and in writing, and to take appropriate action to manage the conflict in accordance with this code.
- When considering whether or not you have a non-pecuniary conflict of interest in a matter you are dealing with, it is always important to think about how others would view your situation. 5.5

Managing non-pecuniary conflicts of interest

- Where you have a non-pecuniary conflict of interest in a matter for the purposes of clause 5.2, you must disclose the relevant private interest you have in relation to the matter fully and in writing as soon as practicable after becoming aware of the non-pecuniary conflict of interest and on each occasion on which the non-pecuniary conflict of interest arises in relation to the matter. In the case of members of council staff other than the general manager, such a disclosure is to be made to the staff member's manager. In the case of the general manager, such a disclosure is to be made to the mayor. If a disclosure is made at a council or committee meeting, both the disclosure and the nature of the interest must be
- 5.7 recorded in the minutes on each occasion on which the non-pecuniary conflict of interest arises. This disclosure constitutes disclosure in writing for the purposes of clause 5.6.
- How you manage a non-pecuniary conflict of interest will depend on whether or not it is significant. 5.8
- As a general rule, a non-pecuniary conflict of interest will be significant where it does not involve a pecuniary interest for the purposes of clause 4.1, but it involves:
 - a relationship between a council official and another person who is affected by a decision or a matter under consideration that is particularly close, such as a current or former spouse or de facto partner, a relative for the purposes of clause 4.4 or another person from the council official's extended family that the council official has a close personal relationship with, or another person living in the same household
 - other relationships with persons who are affected by a decision or a matter under consideration that are particularly close, such b) as friendships and business relationships. Closeness is defined by the nature of the friendship or business relationship, the frequency of contact and the duration of the friendship or relationship. an affiliation between the council official and an organisation (such as a sporting body, club, religious, cultural or charitable
 - c) organisation, corporation or association) that is affected by a decision or a matter under consideration that is particularly strong. The strength of a council official's affiliation with an organisation is to be determined by the extent to which they actively participate in the management, administration or other activities of the organisation.
 - membership, as the council's representative, of the board or management committee of an organisation that is affected by a decision or a matter under consideration, in circumstances where the interests of the council and the organisation are potentially in conflict in relation to the particular matter
 - a financial interest (other than an interest of a type referred to in clause 4.6) that is not a pecuniary interest for the purposes of clause 4.1
 - f) the conferral or loss of a personal benefit other than one conferred or lost as a member of the community or a broader class of people affected by a decision.
- 5 10 Significant non-pecuniary conflicts of interest must be managed in one of two ways:
 - by not participating in consideration of, or decision making in relation to, the matter in which you have the significant non-pecuniary conflict of interest and the matter being allocated to another person for consideration or determination, or
 - if the significant non-pecuniary conflict of interest arises in relation to a matter under consideration at a council or committee meeting, by managing the conflict of interest as if you had a pecuniary interest in the matter by complying with clauses 4.28 and
- 5.11 If you determine that you have a non-pecuniary conflict of interest in a matter that is not significant and does not require further action, when disclosing the interest you must also explain in writing why you consider that the non-pecuniary conflict of interest is not significant and does not require further action in the circumstances.
- If you are a member of staff of council other than the general manager, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of your manager. In the case of the general manager, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of the mayor.
- Despite clause 5.10(b), a councillor who has a significant non-pecuniary conflict of interest in a matter, may participate in a decision to delegate consideration of the matter in question to another body or person. 5.13
- Council committee members are not required to declare and manage a non-pecuniary conflict of interest in accordance with 5.14 the requirements of this Part where it arises from an interest they have as a person chosen to represent the community, or as a member of a non-profit organisation or other community or special interest group, if they have been appointed to represent the organisation or group on the council committee.



SPECIAL DISCLOSURE OF PECUNIARY INTEREST DECLARATION

This form must be completed using block letters or typed. If there is insufficient space for all the information you are required to disclose, you must attach an appendix which is to be properly identified and signed by you.

By [insert full name of councillor]	
In the matter of	
[insert name of environmental	
planning instrument]	
Which is to be considered	
at a meeting of the	
[insert name of meeting]	
Held on	
[insert date of meeting]	
PECUNIARY INTEREST	
Address of the affected principal place o	f
residence of the councillor or an	
associated person, company or body	
(the identified land)	
Relationship of identified land to	☐ The councillor has interest in the land
councillor	(e.g. is owner or has other interest arising
[Tick or cross one box.]	out of a mortgage, lease, trust, option or
	contract, or otherwise).
	☐ An associated person of the councillor
	has an interest in the land.
	☐ An associated company or body of the
	councillor has interest in the land.
	Courtomor riad interest in the land.
MATTER GIVING RISE TO PECUNIAR	Y INTEREST ¹
Nature of land that is subject to a	☐ The identified land.
change	☐ Land that adjoins or is adjacent to or is
in zone/planning control by proposed	in proximity to the identified land.
LEP (the subject land ²	
[Tick or cross one box]	
Current zone/planning control	
[Insert name of current planning instrument	
and identify relevant zone/planning control	
applying to the subject land]	
Proposed change of zone/planning	
control	
[Insert name of proposed LEP and identify	
proposed change of zone/planning control	
applying to the subject land]	
Effect of proposed change of	☐ Appreciable financial gain.
zone/planning control on councillor or	☐ Appreciable financial loss.
associated person	
[Tick or cross one box]	
	declared, reprint the above box and fill in for each

[If more than one pecuniary interest is to be declared, reprint the above box and fill in for each additional interest]

Councillor's Signature:	 Date:
Councilloi 3 Sidhalui 6.	 Date

This form is to be retained by the council's general manager and included in full in the minutes of the meeting

Last Updated: 3 June 2019



Important Information

This information is being collected for the purpose of making a special disclosure of pecuniary interests under clause 4.36(c) of the Model Code of Conduct for Local Councils in NSW (the Model Code of Conduct).

The special disclosure must relate only to a pecuniary interest that a councillor has in the councillor's principal place of residence, or an interest another person (whose interests are relevant under clause 4.3 of the Model Code of Conduct) has in that person's principal place of residence.

Clause 4.3 of the Model Code of Conduct states that you will have a pecuniary interest in a matter because of the pecuniary interest of your spouse or your de facto partner or your relative or because your business partner or employer has a pecuniary interest. You will also have a pecuniary interest in a matter because you, your nominee, your business partner or your employer is a member of a company or other body that has a pecuniary interest in the matter.

"Relative" is defined by clause 4.4 of the Model Code of Conduct as meaning your, your spouse's or your de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child and the spouse or de facto partner of any of those persons.

You must not make a special disclosure that you know or ought reasonably to know is false or misleading in a material particular. Complaints about breaches of these requirements are to be referred to the Office of Local Government and may result in disciplinary action by the Chief Executive of the Office of Local Government or the NSW Civil and Administrative Tribunal.

This form must be completed by you before the commencement of the council or council committee meeting at which the special disclosure is being made. The completed form must be tabled at the meeting. Everyone is entitled to inspect it. The special disclosure must be recorded in the minutes of the meeting.

² A pecuniary interest may arise by way of a change of permissible use of land adjoining, adjacent to or in proximity to land in which a councillor or a person, company or body referred to in clause 4.3 of the Model Code of Conduct has a proprietary interest



¹ Clause 4.1 of the Model Code of Conduct provides that a pecuniary interest is an interest that a person has in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to the person. A person does not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision the person might make in relation to the matter, or if the interest is of a kind specified in clause 4.6 of the Model Code of Conduct.

Item: 05

Subject: DA2020 - 118.1 DWELLING AND SECONDARY DWELLING - LOT 12

DP 285493, NO 17 BIRRAMAL DRIVE, DUNBOGAN

Report Author: Building Surveyor, Ross Frazier

Applicant: K F Haynes
Owner: K F Haynes
Estimated Cost: \$292,000
Parcel no: 31838

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA 2020 - 118.1 for a dwelling and secondary dwelling at Lot 12 DP 285493, No. 17 Birramal Drive, Dunbogan be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for a dwelling and attached secondary dwelling at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, 2 submissions were received. A copy of the submissions has been provided separately to the members of the Development Assessment Panel.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the attached conditions (**Attachment 1**).

1. BACKGROUND

Existing Sites Features and Surrounding Development

The site has an area of approximately 1439m².



The site is zoned R1 General Residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:



2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:



 Removal of several trees from the site in accordance with approved ecology report and construction of a new 2 storey, 2 bedroom dwelling with attached single storey, single bedroom secondary dwelling (Granny Flat).

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

Application Chronology

- 21 February 2020 Application lodged.
- 9 March 2020 Request for additional information Arborist report/ecological report.
- 19 March 2020 Council arborist site visit at owner request.
- 25 March 2020 Request for information in response to submission concerns.
- 23 March 2020 Receipt of ecology report.
- 24 March 2020 Amended plans received to address off-street carparking.

3. STATUTORY ASSESSMENT

Section 4.15(1) Matters for Consideration

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

State Environmental Planning Policy No. 44 - Koala Habitat Protection

There is no Koala Plan of Management on the site. Additionally, the site is less than 1ha in area. Some trees are indicated for removal and an ecology report has been prepared. The report has been referred to Councils Natural Resource team for assessment. Councils Natural resource team approved the report for the removal of the identified trees and has prepared conditions of consent as required.

State Environmental Planning Policy No. 55 - Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

State Environmental Planning Policy (Coastal Management) 2018

The site is located within a coastal environment area.

In accordance with clause 7, this SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.

Having regard to clauses 13 and 14 of the SEPP the proposed development is not considered likely to result in any of the following:

a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;



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DEVELOPMENT ASSESSMENT PANEL 10/06/2020

- b) any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on Aboriginal cultural heritage, practices and places;
- e) any adverse impacts on the cultural and built environment heritage;
- f) any adverse impacts the use of the surf zone;
- g) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands;
- h) overshadowing, wind funnelling and the loss of views from public places to foreshores:
- any adverse impacts on existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability;

In accordance with Clause 15 the proposal is not likely to cause increased risk of coastal hazards on that land or other land.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is part of an existing residential subdivision located on a dune style beachfront with natural bush surrounding. The land zoned for residential purposes.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

State Environmental Planning Policy (Infrastructure) 2007

Clause 45 - Development in proximity to electricity infrastructure – The development is clear of infrastructure.

State Environmental Planning Policy (Affordable Rental Housing) 2009

Clause 20 - The site is in a prescribed zone and secondary dwellings are permissible with consent pursuant to the SEPP.

Clause 22(2) - The development would not result in there being a dwelling other than the primary dwelling and the secondary dwelling.

Clause 22(3) - The proposed secondary dwelling would not have a floor area exceeding $60m^2$ and the combined floor area of the primary and secondary dwelling would not exceed the maximum permitted under the Port Macquarie-Hastings Local Environmental Plan 2011 (see comments below under LEP).

Clause 22(4) - It is noted that consent cannot be refused on the grounds of site area or parking.

Clause 24 - It is noted that the consent authority must not consent to a development application that would result in any subdivision of a lot on which development for the purposes of a secondary dwelling has been carried out.



The requirements of this SEPP are therefore satisfied.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 The subject site is zoned R1 General Residential.
- Clause 2.3(1) and the R1 zone landuse table The dwelling and attached secondary dwelling is a permissible landuse with consent.

The objectives of the R1 zone are as follows:

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- Clause 2.3(2) The proposal is consistent with the zone objectives as it is a permissible landuse and consistent with the established residential locality.
- Clause 2.7 No demolition proposed. New construction.
- Clause 4.3 The maximum overall height of the building above ground level (existing) is approx. 7.728m which complies with the standard height limit of 8.5m applying to the site.
- Clause 4.4 The floor space ratio of the proposal complies with the maximum floor space ratio applying to the site.
- Clause 4.6 Exceptions to development standards. Nil proposed.
- Clause 5.4 Controls relating to B&Bs, home business, industrial retail, farm stay, kiosks, neighbourhood shops, secondary dwellings etc. Max floor of secondary dwelling 60m². The submitted plans indicate the secondary dwelling has a floor area of 59.6m². Appears to comply
- Clause 5.10 Heritage. The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.1 The site is mapped as potentially containing class 5 acid sulfate soils. The proposed development includes a pole style dwelling however no excavation extending more than 2m below the natural surface level or within other ASS zones is proposed, therefore no adverse impacts are expected to occur in respect of acid sulphate soils found on site.
- Clause 7.3 The site is not land within a mapped "flood planning area" (Land subject to flood discharge of 1:100 annual recurrence interval flood event (plus the applicable climate change allowance and relevant freeboard). In this regard the clause does not apply.
- Clause 7.5 Koala Habitat Applies to land that is shown as "Koala Habitat area" on the Koala Habitat Map. A search of council mapping indicates there is no current Koala Plan of Management applicable to the site.
- Clause 7.6 Applies to land that is shown as Coastal Erosion Risk on the Coastal Erosion Map (Lake Cathie/Town Beach). In this regard the site is clear of the zone.
- Clause 7.9 Development subject to acoustic controls. N/A
- Clause 7.13 Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, on-site sewage management/sewer infrastructure, stormwater drainage and suitable road access to service the development.
- (ii) Any draft instruments that apply to the site or are on exhibition



No draft instruments apply to the site.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

<u>Note:</u> The site is located within a private gated estate under a Community Association Plan - Timbarra Estate. This estate enjoys a private road network and private water and sewer utilities. The road setback provisions of the DCP are considered to be more relevant to a conventional torrens title subdivision with public road frontage. Notwithstanding this, an assessment has been provided noting the provisions of the DCP, the DCP objectives and the context of the estate.

Port Macquarie-Hastings Development Control Plan 2013:

	Requirements	Proposed	Complies
3.2.2.1	 Ancillary development: 4.8m max. height Single storey 60m² max. area 100m² for lots >900m² 24 degree max. roof pitch Not located in front setback 	Water tank is appropriately located	Yes
3.2.2.2	 Articulation zone: Min. 3m front setback An entry feature or portico A balcony, deck, patio, pergola, terrace or verandah A window box treatment A bay window or similar feature An awning or other feature over a window A sun shading feature 	Due to the setback proposed for the dwelling and the design layout, there is no construction proposed within an articulation zone.	N/A
	Front setback (Residential not R5 zone): Min. 6.0m classified road Min. 4.5m local road or within 20% of adjoining dwelling if on corner lot Min. 3.0m secondary road Min. 2.0m Laneway	1m setback from private road. Due to the existing and extensive slope of the site, the setback of the proposed dwelling has been maintained as close as practical to the front boundary	DCP Variation
3.2.2.3	Garage 5.5m min. and 1m behind front façade. Garage door recessed behind building line or	Proposed main garage is forward of the main dwelling and setback 1m from the private road.	DCP Variation



	13: Dwellings, Dual occupancies& Ancillary development	, zwemny nouses, multi u	
	Requirements	Proposed	Complies
	eaves/overhangs provided	As the dwelling is a pole style construction additional carparking is proposed beneath the dwelling at the side.	
	6m max. width of garage door/s and 50% max. width of building	Width of garage door/s are compliant with the maximum width requirements	Yes
	Driveway crossover 1/3 max. of site frontage and max. 5.0m width	Main driveway crossing width is proposed at 5.4m plus additional minor crossing to the side of the dwelling proposed. The subdivision is within a private gated estate and the roads are a private road. Council is not the consent authority for driveway crossovers in these circumstances.	DCP Variation
3.2.2.4	4m min. rear setback. Variation subject to site analysis and provision of private open space	The rear setback is 21m.	Yes
3.2.2.5	 Side setbacks: Ground floor = min. 0.9m First floors & above = min. 3m setback or where it can be demonstrated that overshadowing not adverse = 0.9m min. Building wall set in and out every 12m by 0.5m 	The minimum side setback requirements are complied with. 7.6m to the north and 5.6m to the south.	Yes
3.2.2.6	35m2 min. private open space area including a useable 4x4m min. area which has 5% max. grade The lot is steeply sloping. Private open space is available within areas adjacent to the dwelling however direct connection is only available through the front entrance as there is no other entrance to the dwelling.	The primary dwelling contains 35m² open space in one area including a useable 4m x 4m space. The secondary dwelling is provided a lesser but useable open space area. However, given the nature of the development, the occupants are likely to share the open space area.	Yes



	Requirements	Proposed	Complies
	Both dwellings enjoy access to a rear balcony. Although the floor areas of these balconies do not meet the dimensions required they do offer direct access from the dwelling and will enjoy the same benefits of such an area.	The dwelling and secondary dwelling have a total of 3 bedrooms only and therefore the use of the required open space areas will be minimal	
3.2.2.10	 Privacy: Direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent dwellings. ie. 1.8m fence or privacy screening which has 25% max. openings and is permanently fixed Privacy screen required if floor level > 1m height, window side/rear setback (other than bedroom) is less than 3m and sill height less than 1.5m Privacy screens provided to balconies/verandahs etc 	No privacy screens are recommended. The development will not compromise privacy in the area due to a combination of lack of windows on side/rear boundaries, having high sill windows that face side/rear boundaries, limiting living areas that face adjoining living areas/open space, compliant separation and use of screening/fencing. Balconies greater than 3m to side boundaries.	Yes

	Requirements	Proposed	Complies
2.7.2.2	Design addresses generic principles of Crime Prevention Through Environmental Design guideline	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes
2.3.3.1	Cut and fill 1.0m max. 1m outside the perimeter of the external building walls	Cut and fill <1.0m change 1m outside the perimeter of the external building walls	Yes
2.3.3.2	1m max. height retaining walls along road frontage	None proposed	N/A

setback and floor level

height >1m

screen to Southern end

(Condition recommended)

of deck on main dwelling.



	Requirements	Proposed	Complies
	Any retaining wall >1.0 in height to be certified by structure engineer	No retaining wall likely	Yes
	Combination of retaining wall and front fence height max 1.8m, max length 6.0m or 30% of frontage, fence component 25% transparent, and splay at corners and adjacent to driveway	No retaining wall front fence combination proposed.	N/A
2.3.3.8	Removal of hollow bearing trees	Trees indicated on site plan to be removed. An ecological report has been prepared for the site. Council arborist has visited the site and found no indications of concern to prevent the removal of the trees.	Yes
2.6.3.1	Tree removal (3m or higher with 100m diameter trunk at 1m above ground level and 3m from external wall of existing dwelling)	Trees indicated on site plan to be removed. An ecological report has been prepared for the site. Council arborist has visited the site and found no indications of concern to prevent the removal of the trees.	Yes
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.	
2.5.3.2	New accesses not permitted from arterial or distributor roads	No new access proposed to arterial or distributor road.	N/A
	Driveway crossing/s minimal in number and width including maximising street parking	Driveway crossing from private roads are not subject to Sec 138 approval	N/A
2.5.3.3	Parking in accordance with Table 2.5.1. 1 space per single dwelling (behind building line). Parking for secondary dwelling optional.	1 or capacity for more than 1 parking space behind the building line has been provided for.	Yes
2.5.3.11	Section 7.11 contributions	Refer to main body of report.	
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Development is for a secondary dwelling only with standard driveway. No specific landscaping	N/A



	Requirements	Proposed	Complies
		requirements recommended.	
2.5.3.14	Sealed driveway surfaces unless justified	Sealed driveways indicated	Yes
2.5.3.15 and 2.5.3.16	Driveway grades first 6m or 'parking area' shall be 5% grade with transitions of 2m length	Driveway to be from private internal road and not subject to Sec 138 approval.	N/A
2.5.3.17 Parking areas to be designed to avoid concentrations of water runoff on the surface.		Development is for a primary and attached secondary dwelling. Driveway stormwater drainage is capable of being managed as part of plumbing construction.	Yes

The proposal seeks to vary the following Development Provisions.

3.2.2.2 (b) - the primary front setback should be 4.5m

Objective: Front setbacks should support an attractive streetscape.

3.2.2.3 (c) - A garage should be at least 5.5m from a front boundary where the dwelling has a setback of less than 4.5m.

(f) - Driveway crossovers are a maximum of 1/3rd of the site frontage and no greater than 5m in width.

Objective: To minimise the impact of garages and driveways on the streetscape, on street parking and amenity.

To minimise the visual dominance of garages in the streetscape.

Discussion / Justification

The site is located within a private gated community estate. The road network and services / utilities are part of a private network. The site has been previously excavated and benched to establish a dwelling construction site, with the remainder of the lot having a steep grade.

Due to the grade of the site and to allow economical access and construction, it is required to locate the dwelling close to the front boundary.

Additionally, to provide access to the attached garage, the garage is to be located proud of the front wall of the dwelling.

The dwelling will be pole style construction which will allow space beneath the main floor of the dwelling. This will be utilised for additional off-street carparking / storage via a secondary sealed driveway to the side of the dwelling with another 2 spaces designated within this area and room for storage of vehicle accessories.

The DCP provides driveway width to be a maximum of 5m. it is proposed to increase the driveway width to 5.4m to allow for ease of access to the attached garage. Due to the relatively narrow streets, additional driveway width will assist with entering and



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exiting the garage. The road network is a private road and not subject to PMHC Sec 138 application.

3.2.2.6 (a) All dwellings should have a minimum area of private open space of 35m2 in one area, with

- (b) a minimum dimension of 4m x 4m; and
- (c) a maximum grade of 5% for minimum 4m x 4m of the total open space requirement; and
 - (d) direct accessibility from a ground floor living area.

Objective: To encourage useable private open space for dwellings to meet the occupant's requirements for privacy, safety, access, outdoor activities and landscaping.

Discussion / Justification

The lot has an area of some 1438m² which will cater for the required open space for the dwelling and secondary dwelling. Due to the slope of the site the design of the dwellings provides for a single front door only. There is no rear access from the dwellings to the external area.

The dwelling and secondary dwelling are provided with attached balconies which will allow the occupants to access open space directly from the dwellings. Although these areas do not have the dimensions required by the DCP they will provide adequate amenity for the occupants. The designated drying areas are located adjacent to the dwellings on the site and will provide the occupants with the required open space dimensions. These external areas will be accessed from the front door of the dwellings by direct pathways.

Having regard for the development provisions and relevant objectives, it is considered that the site constraints require alternate design solutions outside the guidelines of the DCP and unique design considerations for development.

Based on the above assessment, the variations proposed to the provisions of the DCP are considered acceptable and it is considered that the relevant objectives have been satisfied.

Cumulatively, the variations do not amount to an adverse impact or a significance that would justify refusal of the application.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into relating to the site.

iv) Any matters prescribed by the Regulations

New South Wales Coastal Policy

The proposed development is consistent with the objectives and strategic actions of this policy

Demolition of buildings AS 2601 - Clause 92

No demolition proposed.



- (b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality
 - The proposal will not have any significant adverse impacts on existing adjoining properties and satisfactorily addresses the public domain.
 - The proposal is considered to be compatible with other residential development in the locality and adequately addresses planning controls for the area.
 - The proposal does not have a significant adverse impact on existing view sharing.
 - The proposal does not have significant adverse lighting impacts.
 - There are no significant adverse privacy impacts.
 - There are no significant adverse overshadowing impacts. The proposal does not prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June.

Access, Traffic and Transport

The proposal will not have any significant adverse impacts in terms access, transport and traffic. The existing road network will satisfactorily cater for any increase in traffic generation as a result of the development.

Water Supply Connection

Service available – details required with S.68 application.

Sewer Connection

Service available – details required with S.68 application.

Stormwater

Service available – details required with S.68 application.

Other Utilities

Telecommunication and electricity services are available to the site.

Heritage

This site does not contain or adjoin any known heritage item or site of significance. The site is considered to be disturbed land.

Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

Soils

The proposed development will not have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

Air and microclimate



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The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Flora and fauna

Construction of the proposed development will require removal/clearing of native vegetation. An ecology report has been prepared and referred onto Council Natural Resource team for assessment. This assessment has confirmed that Part 7 of the Biodiversity Conservation Act 2016 is satisfied. Additionally, Council's arborist staff have attended the site and there were no matters of concern raised which would prevent the trees indicated being removed.

Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.

Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

Noise and vibration

The construction of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Bushfire

The site is identified as being bushfire prone.

The Applicant has submitted a bushfire report prepared by a Certified Consultant.

An assessment of bushfire risk having regard to section 4.3.5 of Planning for Bushfire Protection 2006 including vegetation classification and slope concludes that a Bushfire Attack Level 29 shall be required.

Management of bushfire risk is acceptable subject to BAL construction levels being implemented and APZ being maintained. An appropriate condition is recommended.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area.

Social impacts in the locality

Given the nature of the proposed development and its location the proposal is not considered to have any significant adverse social impacts.

Economic impact in the locality

The proposal is not considered to have any significant adverse economic impacts on the locality. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design



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The proposed development design satisfactorily responds to the site attributes and will fit into the locality. Adequate provisions have been made for off-street carparking which will assist in reducing any impact from vehicles on the street frontage including impacting such services as garbage collection. No adverse impacts are likely.

Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

Cumulative Impacts

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

Site constraints of bushfire/flooding have been adequately addressed and appropriate conditions of consent recommended.

(d) Any submissions made in accordance with this Act or the Regulations

Two (2) written submissions were received following public exhibition of the application. A copy of the written submissions has been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:

Submission Issue/Summary	Planning Comment/Response
Provision of adequate off- street carparking. It is considered that the off-street carparking provided will not cater for the proposed development and could	The proposed dwelling and attached secondary dwelling contains a maximum of 3 bedrooms. Councils DCP Table 2.5-1 requires 1 car parking space per dwelling thus requiring a total of 2 spaces for this development.
hinder the movement of service vehicles within the development.	The proposed development includes an attached double garage and additional carparking spaces at the side of the dwelling serviced by a dedicated sealed driveway. A total of 4 off-street spaces have been provided for the development.
	Additional space beneath the proposed dwelling will also be available for storage of trailers and the like. It is considered that adequate off-street car parking has been provided.
	Further it is noted that the By-laws of the community development provides inter alia that individual owners restrict parking boats/ trailers on the community parcel except on their own lot or other



Submission Issue/Summary	Planning Comment/Response
	specifically designated place.
Bushfire assessment. It is considered that a BAL rating of BAL29 is not an acceptable finding.	A bushfire assessment (BAL certificate) has been prepared by a qualified BPAD accredited consultant. The BAL level has been indicated to be BAL 29. This is consistent with other assessments within the locality.
	Advice was sought from the consultant regarding the classification of the vegetation on the site and the consultant advised that in her opinion the classification is correct.
	In viewing Table A2.1 of Appendix 2 of the Planning for Bushfire Protection - 2006 document, there is little difference in the fuel loads from Tall Coastal Heath - 25 F(r)/F(t) t/ha and that of a Dry Sclerophyll Forest - 20/25 F(r)/F(t) t/ha.
	It is considered that a rating of BAL 29 is acceptable.
Reduced setback of the proposed dwelling not allowing off-street carparking.	The dwelling has been designed to cater for the existing batter of the land. To allow for economical construction and reduce the need for extensive clearing of the existing vegetation the dwelling has been located close to the front carriageway. To offset the in-front-of-garage parking normally achieved by a 5.5m standard setback the design incorporates additional parking at the side of the dwelling serviced by a sealed driveway.
	Timbarra Estate has no set building line requirements as it is a private estate. Generally the setback distance for each lot is individual to cater for the varying topography of the individual lots.

(e) The Public Interest

The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

Development contributions will not be required under S64/S7.11 as the development is for a single dwelling and attached secondary dwelling. The secondary dwelling is under the minimum floor area requiring contributions and the lot is an existing lot.

5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.



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Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered to be suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report. **Attachment 1**

Attachments

1. DA2020 - 118.1 Recommended Conditions

2<u>1</u>. DA2020 - 118.1 Plans



FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2020/118.1 DATE: 28/06/2020

PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Plans	Project 1160POU	Draftworx Designs	27/3/2020
Ecological Report	Birramal Drive	JB Enviro	23/4/2020
BASIX Cert (Dwelling)	1074551S	Craig Maltman	20/2/2020
BASIX Cert (Granny Flat)	1077764S	Craig Maltman	20/2/2020
BAL cert	17 Birramal Dr.	S. and K. Johnson Constructions Pty Ltd	19/1/2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
 - a) the appointment of a Principal Certifying Authority and
 - b) the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

- (3) (A009) The development site is to be managed for the entirety of work in the following manner:
 - Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;

- 2. Appropriate dust control measures;
- Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained.
 Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
- Building waste is to be managed via appropriate receptacles into separate waste streams;
- 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
- Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

(4) Bitou Bush has been identified on the site. Under the NSW Biosecurity Act 2015 all landowners have a general biosecurity duty to manage weeds on their land.

B-PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
 - Position and depth of the sewer (including junction)
 - · Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location
- (2) (B046) The building shall be designed and constructed so as to comply with the Bushfire Attack Level (BAL) 29 requirements of Australian Standard 3959 and the specifications and requirements of Planning for Bush Fire Protection. Details shall be submitted to the Principal Certifying Authority with the application for Construction Certificate demonstrating compliance with this requirement.

Please note: Compliance with the requirements of the current Planning for Bush Fire Protection Guidelines to prevail in the extent of any inconsistency with the Building Code of Australia.

C - PRIOR TO ANY WORK COMMENCING ON SITE

(3) For plant used in clearing and construction to be "certified" as weed free they must follow the DPI decontamination guide prior to entering and leaving site.

http://www.dpi.nsw.gov.au/ data/assets/pdf_file/0010/545554/procedure-decontamination-vehicles-and-equipment.pdf

- (4) The area to be cleared/modified should be clearly marked (eg. with stakes and bunting before clearing in order to prevent inadvertent clearance beyond what is required and has been assessed).
- (5) Site induction is to specify that no clearing is to occur beyond the marked area, and vehicles are only to be parked in designated areas. Similarly, any materials are to be stored outside the drip line of retained trees.

D - DURING CONSTRUCTION

(1) (D003) The Port Macquarie-Hastings area is known to contain rock that may contain naturally occurring asbestos (NOA). Should potential NOA be located on site notification shall be provided to Council and Workcover prior to works proceeding. No work shall recommence until a NOA management plan has been approved by Council or Workcover.

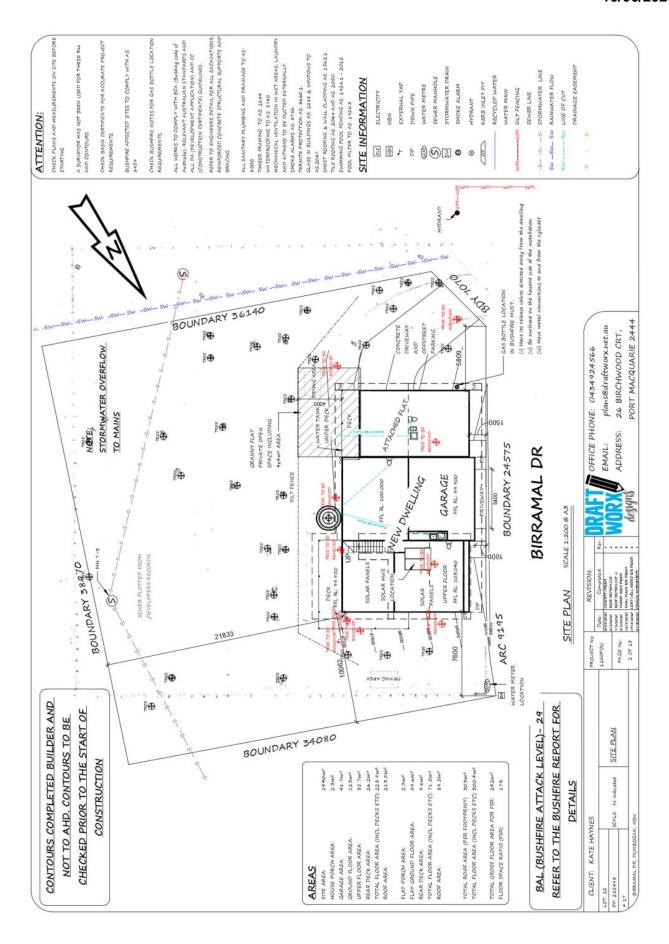
E - PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE

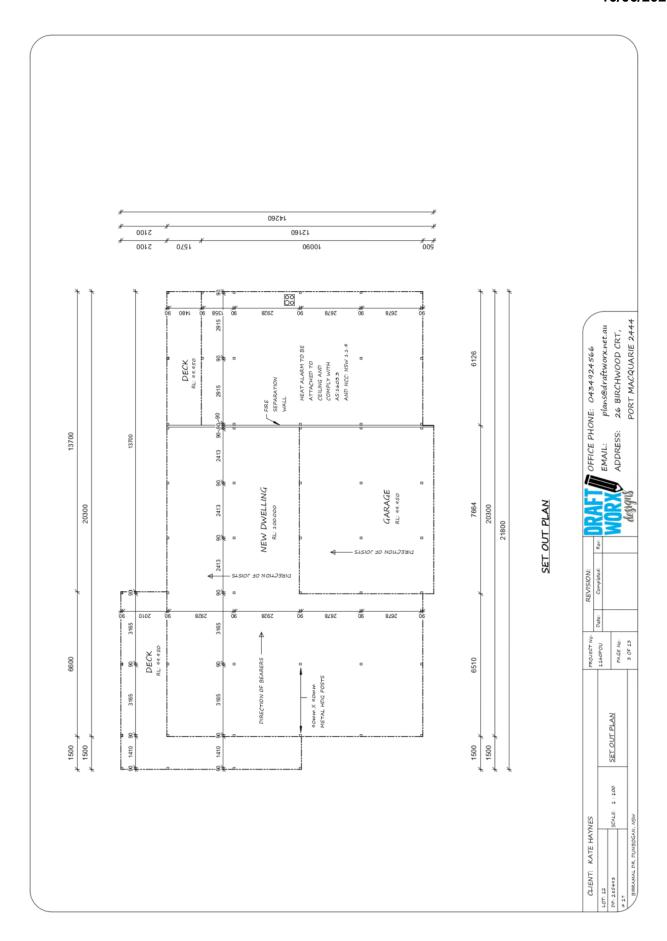
- (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (3) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.

F - OCCUPATION OF THE SITE

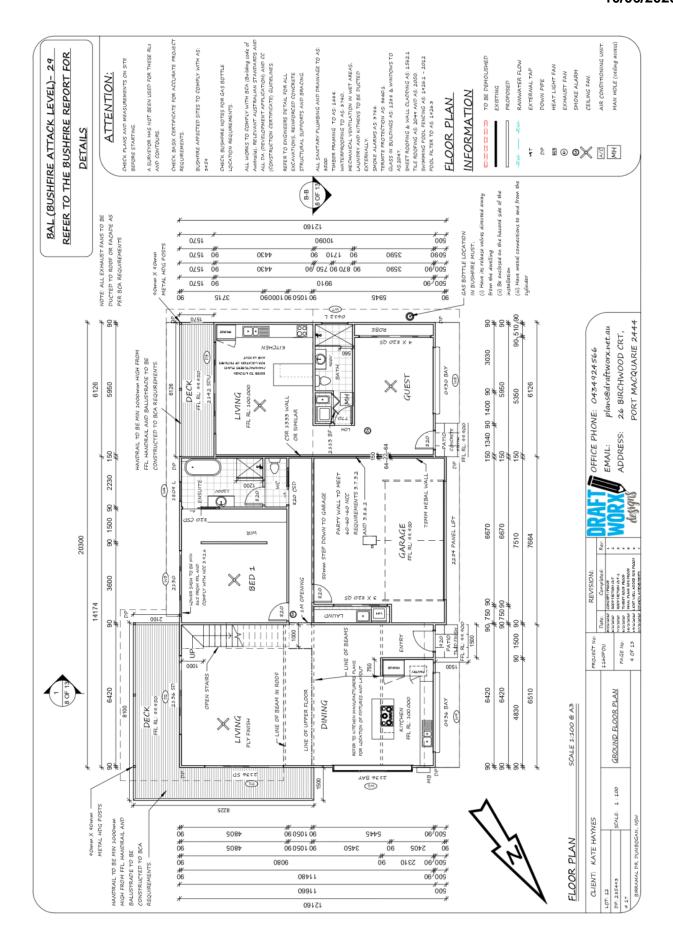
- (1) (F004) The dwellings are approved for permanent residential use and not for short term tourist and visitor accommodation.
- (2) In general, external lighting design and location must ensure lighting is directed to the ground within the site and not onto retained hollow-bearing trees or into adjacent vegetation to minimise impacts on fauna potentially using this habitat.
- (3) In general, sensor-based external lighting is preferred to reduce lighting period length and also reduce energy consumption and contributions to Climate Change (NSWSC 2004d)..

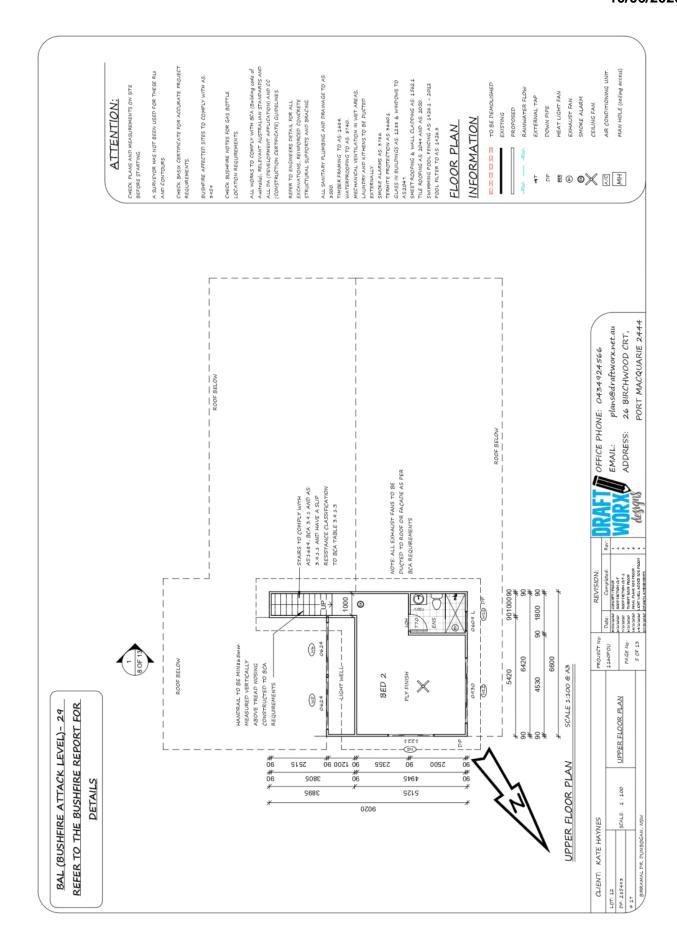




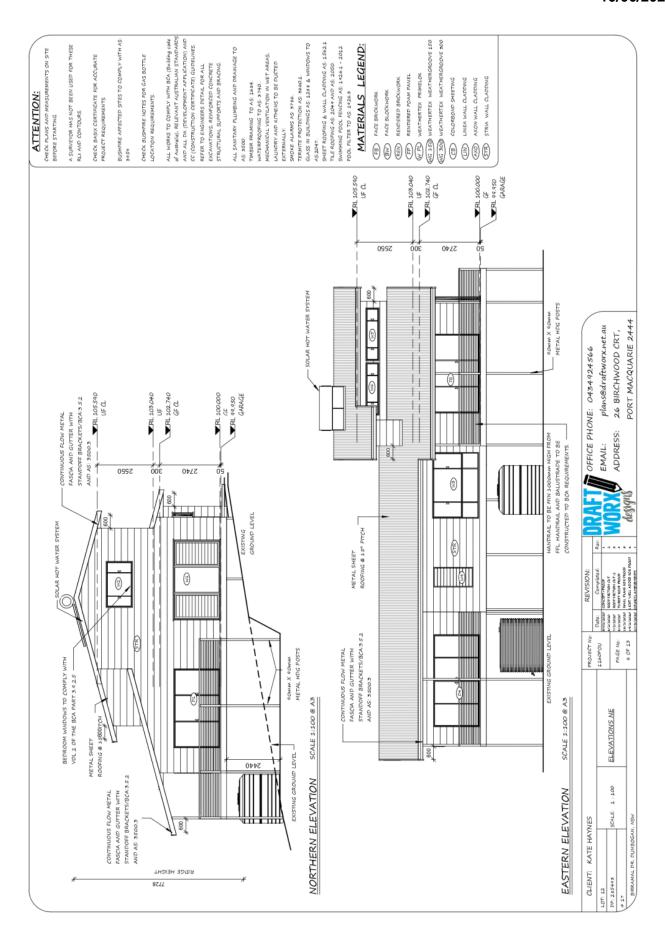


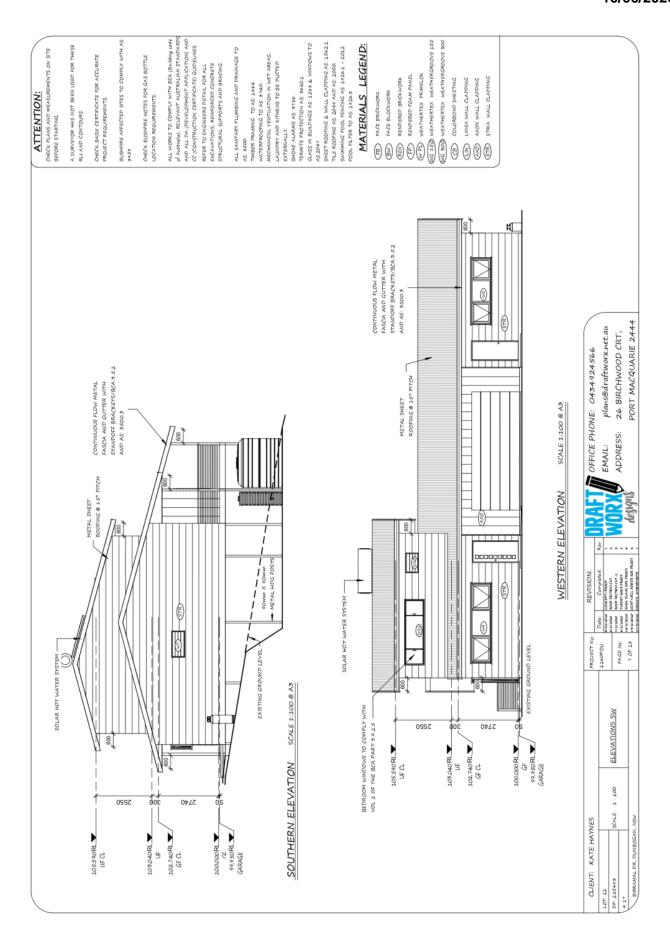
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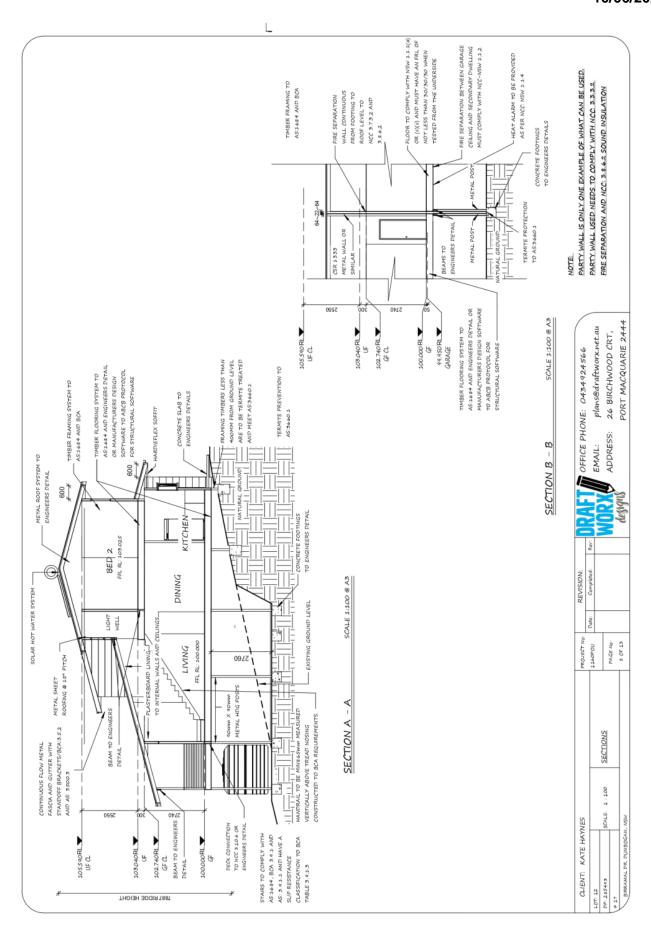




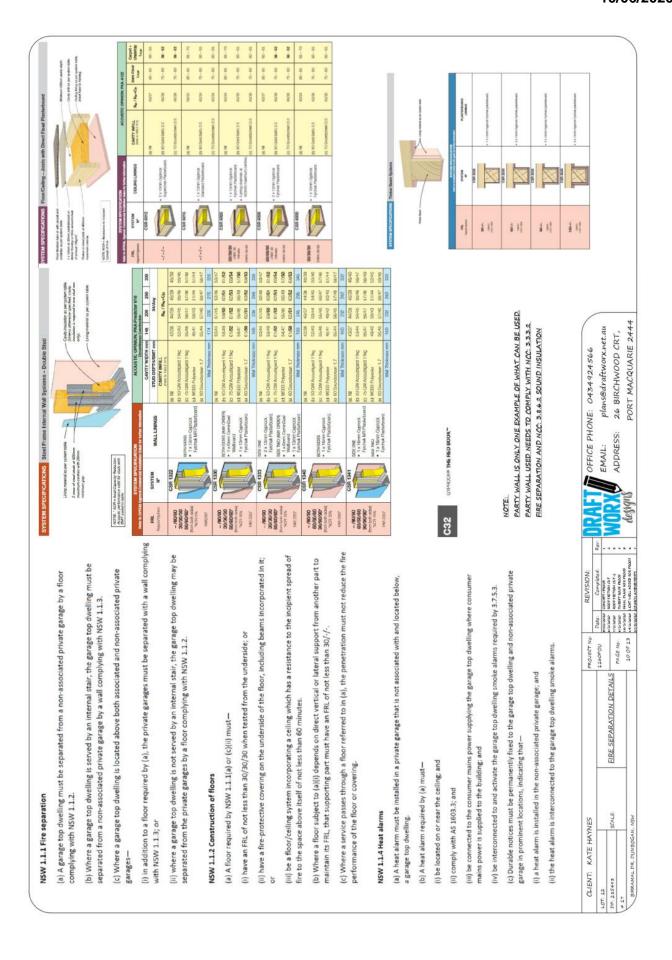
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WATER COMMITMENTS -		SUMMARY OF BASIX CERT	SUMMARY OF BASIX CERTIFICATE COMMITMENTS FLAT	
INDIVIDUAL WATER TANK -	The applicant wast plant indigenant or his waster out species of regulation affine affection.	(REFER TO THE BASIX CERTIFICATE	(REFER TO THE BASIX CERTIFICATE 1077764S FOR THOROUGH DETAILS)	
FIXTURES -	SHOWINGSERS. In minimum recing of a star (Nets there is the byte for open year opening the start of the start	WATER COMMITMENTS -		
INDIVIDUAL RAINWATER TANK -	TOLLTS. whithour rating of a tast in each wills in the development. Table. minimum rating it a tast in the fallow and albein age: SOCO Littles	FIXTURES -	SHOWEN IS IC. with more right 5 and (1.4 bits held with plot they first modelly extend of the state (1.4 bits modelly extend of they work in declaration modelly as and a state of the stat	
INDIVIDUAL RAINWATER COLLECTION -	300w1	INDIVIDUAL RAINWATER TANK -	3500 Litres	
RAINWATER CONNECTION -	Express start starts mustic the conventional to	INDIVIDUAL RAINWATER COLLECTION -	8 4MF	
	The solid water tag that tagsfiles each children in the development. Al less one entities tag in the development.	RAINWATER CONNECTION -	Reinworder danis must be convented to - All collect in the development. - The collection top that copylect and a letter under in the development.	WINDOW AND DOOR SCHEDULE
THERMAL COMFORT COMMITMENTS -	ENTS -		. At kets one entabler tap in the dentispense.	(REFER TO BASIX FOR THOROUGH DETAILS)
FLOOR, WALLS AND CEILING/ROOF	Surpender Recruich en best solbter Famed - Additional basistion State (dem) (or Sur-including construction)	THERMAL COMFORT COMMITMENTS	NTS -	ROOM No. ORIENTATION FLOOR DWELLING H W STYLE FRAME TYPE, GLAZING
ADDITIONAL INSULATION REQUIRED-	Rezerval Valil Fermed (vestrherboard-Filter, metal clos) - Adultional	FLOOR, WALLS AND CEILING/ROOF	Supraude fleer with exclused suffern flered - Additional tradition. 50:50-bloom) for St. S. includes contracted	KITCHEN W3 NORTH EAST GF MAIN 2300 3600 BOX BAY-LOUVRE ALUMINIUM STANDARD
	hashein the for the the including americaning	ADDITIONAL INSULATION REQUIRED-	Doz eucl Hall framed (neaderfaste, före, massi skut) - Addisional	D3 NORTH EAST GF MAIN 2300 3600 SLIDING DOOR ALUMINIUM
	real resolutions resolute on the groups and		briskein (1200 (er 12.40) including constructions	W2 NORTH EAST UF MAIN 3200 2300 SLIDING ALUMINIUM
	Absolut (Stanum) Book Halium salas disaspanea		Laterage and start - Auditorial Introduction coloning Million (1991), total manifestation following from the colonial starting of the colonial starting from	LIVING D2 SOUTH EAST GF MAIN 2300 SCIDING DUCK ALUMINUM STANDARD BED 3 W3 SOUTH EAST GF MAIN 2300 SCIDING ALUMINUM STANDARD
WINDOWS, GLAZED DOORS	Appliance ments install a velocities and the displays in a bath man (g) and a g in the development for each oil lighting.	WINDOWS, GLAZED DOORS	Applicate ausz inzult a uninden and der digiglie in a Dadinasme() zullat); in die dere konnene fer natural lefteing:	E W4 SOUTH EAST GF MAIN 1200 400 LOUNE ALUMINIUM
AND SKYLIGHTS -	Windows, placed storm and doubling deviate state class in the stable on the EASP/Confessor on the installed in exemptions with the specifications little.	AND SKYLIGHTS -	Vrivous, glass deviced duding device describel in the suite on the EASIX Cerefrons as the installed in accordance with the specifications from	GF FLAT 2300 4200 SLIDING DOOR ALWINIUM UF MAIN 600 2400 SLIDING ALWINIUM
HOT WATER SYSTEM -	SOLAR (ELECTRIC BOOSTED)	HOT WATER SYSTEM -	SOLAR (ELECTRIC BOOSTED)	LIGHT WELL WE SOUTH EAST UF MAIN 600 2400 SLIDING ALUMINIUM STANDARD
COOLING SYSTEM-	CELLINO DAN MICE DE PRETALLED - In activate à lévig analyt - In activate à lévidennée - In activate à levidennée - In activate à levidenné	COOTING SYSTEM-	COLING DAY PAST DE WETALLED That Meet I Ming Americ That Meet I Ming Americ	WS NORTH WEST GF FLAT 900 3000 BOX BAY-AWNING ALUMINIUM
HEATING SYSTEM-	Nowe to be fitted	HEATING SYSTEM-	None to be fitted	RICHEN WY NORTH WEST UF MAIN 600 GOD LOUNE ALUMINIUM STANDARD ENSUTE WJO NORTH WEST UF MAIN 600 GOD LOUNE ALUMINIUM STANDARD
VENTILATION -	At least 1 hadrones heritotalschause fan, desset se fassk er ned 'n ch. strond't se fan de se fa	VENTILATION -	Az bezz z Bacheren ire nedowiad reuzlicien (reuzo el rodg). ARTIERE: Invitrianal enfoace free, nestate urbis enemá sesión fransif. Lazastere: invitrianal free, nestad se fesade en red urbis mensal endach en virtil.	SED 2
АКТІРІСАL ЦАНТІМ -	The agreement of the deprivation	АВПРІСІА L ЦАНТИЯ -	The options were more often by the part of	ASSISTS FOR GLOSS IN BULLING ASSISTS FOR INSTITUTION INSTITUTIONS ASSISTS FOR CONSTRUCTION OF BULLINGS IN BUSINERE PROVE ARENS BEDROOM WINDOWS TO COMPLY WITH VOL. 2.0F THE BOA PART 31.2.5 (WHEN A BEDROOM PLOOR
NATURAL LIGHTING -	We applicate must intall a univolve and the digital in the litation of the devices for the devices of	NATURAL LIGHTING -	The applicant most install a vertices and/or disjugit in the literan of the control layer of the control layer of	LEVEL S ZM OR MORE ABOVE THE BELOW SURFACE).
	The applicant must install a window and for displication a backnown (s) miles (s) in the showleyment for manned lightings		The applicant must install a variables another thylight in a bashown (c) to bashown (c) to the steedy mass for reasonal lighting.	
ALTERNATE ENERGY -	Place responsed	ALTERNATE ENERGY -	the departed	
отнек -	The applicate mais install to intension mobility in destrict onto in the believes of the attitude. At the attitude of the atti	отнек -	The applicant most install magnetoellage is elected ones, in the following of an analysis of the applicant with a application. The application of	
CLIENT: KATE HAYNES	PRO	Io: REVISION:	OFFICE PHONE: 0434924566	0434924566
	STORE CHAPTER STORES	#160POU Date: Completed: Rev:	EMAIL: pla	plans@draftworx.net.au
DP: 285493 SCALE: 1:100	WINDOWS AND BASIX	TO THE TOTAL PROPERTY OF THE TOTAL COLUMN TO T	ADDRESS. 32	+a0 a001110aia 70



GENERAL SPECS

ALL SITE CONTOURS AND FINISHED LEVELS TO BE VERIFIED BY BUILDER SITE.

GRADIENT WHERE PRACTICAL THAN 1.4 BATTERED EMBANKMENT: WHERE RETAINING IS REQUIRED, ANY WALL EXCEEDING 1.0m IN HEIGHT ARE TO BE DESIGNED BY A CERTIFIED ENGINEER. ALL CUT AND FILL BATTERS WHERE NOT RETAINED TO BE NO GREATER BOUNDARY DIMENSIONS, BORDERING ON MINIMUM LOCAL COUNCIL SETBACKS TO BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR

SERVICES

PLUMBING WORKS TO BE CARRIED OUT BY A LICENSED PLUMBER ALL FITTINGS TO BE SUPPLIED AND INSTALLED TO MANUFACTURES INSTRUCTIONS HOT WATER SYSTEM AND RAINWATER TANK WILL BE ALL PLUMBING TO COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND AS:3500. INSTALLED TO MEET BASIX COMMITMENTS. STORMWATER DRAINAGE TO AS: 3500.3

ELECTRICAL WORKS TO BE CARRIED OUT BY A LICENSED ELECTRICIAN. UNLESS OTHERWISE SPECIFIED, THE ELECTRICAL SERVICE WILL BE 240 ALL ELECTRICAL TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL SUPPLY AUTHORITY AS/NZS 3000. volt, SINGLE PHASE SUPPLY. ALL GAS WORKS (including LPG) TO COMPLY WITH THE REQUIREMENTS GAS WORKS TO BE CARRIED OUT BY A LICENSED GAS FITTER. THE LOCAL SUPPLY AUTHORITY.

EXCAVATIONS, FOUNDATIONS AND FOOTINGS/SLAB

OR BULDINGS AND AN AREA OF AT LEAST ADDOMAN WIRE ADDUNDON BULDINGS AND AN AREA OF AT LEAST ADDOMAN WIRE ADDUNDON OF A BOUNDARD AND A BOUNDARD THE PART OF THE SITE TO BE COVERED BY THE PROPOSED BUILDING

ALL CONCRETE FOOTINGS AND CONCRETE SLABS TO AS 21170, BCA. REFER TO BCA 3.2.3 CONCRETE REINFORCEMENT TO BCA 3.2 FOOTINGS AND SLABS

ENSURE THAT TERMITE WILL NOT ENTER A BUILDING BY A CONCEALED COLD. TERMITE TREATMENT TO COMPLY WITH THE BCA AND AS 3660.1 TERMITE MANAGEMENT NEW BUILDING WORKS A DURABLE NOTICE IS TO BE PERMANENTLY FIXED TO THE BUILDING TO 8CA 3.1.4.4 THE INTENT IS TO PROVIDE FOR A TERMITE BARRIER THAT WILL

TIMBER FRAMING

ALL TIMBER FRAMEWORK TO COMPLY WITH THE BCA AND AS:1684 OR TO STRUCTURAL ENGINEERS DETAILS.

ROOF TRUSSES SUPPLIED BY TRUSS MANUFACTURERS SHALL COMPLY TO AS: £720 AND MANUFACTURERS DESIGN SOFTWARE MUST BE IN ROOF TRUSSES

BRACING

BRACING TO COMPLY WITH AS: 1684 AND/OR AS DESIGNED BY THE

ACCORDANCE WITH THE ABCB PROTOCOL FOR STRUCTURAL SOFTWARE

TRUSS MANUFACTURER OR STRUCTURAL ENGINEER. TIMBER FLOORING

FLOORJOISTS TO BE COVERED BY SHEET OR STRIP FLOORING AS SHOWN ON PLANS AND INSTALLED TO COMPLY WITH AS; \$624.

TIMBER POSTS

EXTERNAL APPLICATION AND COMPLY WITH AS! 1684. POSTS TO BE SUPPORTED ON GALVANISED OR TREATED POST SHOES. THERWISE SPECIFIED. ALL POSTS TO BE BOLTED TO ANY POSTS USED EXTERNALLY, TO BE OF SUITABLE TIMBERS FOR AN UNLESS

STEEL FRAMING

ROOFING

SARKING TO TILED ROOFS TO BE LOCATED DIRECTLY UNDER BATTENS ALL ROOFING TO COMPLY WITH THE BCA PART 3.5.1 ROOF CLADPING AS 2049 AND AS: 2050 FOR ROOF TILES AND AS: \$562, FOR METAL RODFING AND INSTALLED TO MANUFACTURES INSTRUCTIONS. ROOF BATTENS TO COMPLY TO BCA AND/OR AS, 1684 WITH A FLAMMABILITY INDEX NOT MORE THAN S.

INSTRUCTIONS AND COMPLY WITH BCA PART 3.5.2 AND AS; 21.74. BCA 3.5.3 REQUIRES DOWNPIPES TO BE BASED ON ROOF CATCHMENT AREAS AND FIVE MINUTE RAINFALL INTENSITIES/ TWENTY YEAR GUTTERS AND DOWNPIPES TO BE FIXED TO MANUFACTURES GUTTERS TO BE SLOTTED TO ALLOW OVERSLOW.

DOWNPIPES TO COMPLY WITH BCA 3.5.3 AND INSTALLED TO VERAGE.

SEALANTS

MANUFACTURERS INSTRUCTIONS.

FLASHINGS TO COMPLY WITH AND INSTALLED IN ACCORDANCE TO THE 8CA. INCOMPATIBLE MATERIALS ARE NOT TO BE USED TOGETHER. APPROPRIATE SEALANTS SHALL BE USED WHE APPLIED TO MANUFACTURERS INSTRUCTIONS. FLASHINGS

NOTTATION

THERMAL INSULATION TO BE INSTALLED TO MANUFACTURERS INSTRUCTIONS AND AS: 4659 ACHIEVE THE R-VALUES REQUIRED BY BCA AND THE BASIX

BRICK AND BLOCKWORK

ALL BRICKWORK TO BE ERECTED IN ACCORDANCE AS: 3700 AND BCA.

DAMP PROOF COURSE

ALL DAMP PROOF COURSES TO COMPLY WITH BCA AND AS:3700

WEEPHOLES OR VENTS MUST BE CREATED/PLACED DIRECTLY ABOVE ANY DAMP PROOF COURSE OR FLASHINGS AT CENTRES NO MORE THAN CAVITY AND SUB FLOOR VENTILATION

SUBFLOOR VENTILATION TO BCA 3:4.1 AND COMPLY TO BCA INTELS

LINTELS USED TO SUPPORT BRICKWORK OPENINGS TO COMPLY TO BCA. LINTELS TO HAVE CORROSION PROTECTION IN ACCORDANCE WITH BCA PART 3.4.4.

ALL EXPOSED BRICKWORK TO BE CLEANED BY AN APPROVED SYSTEM

CLEANING

CLADDINGS, INTERNAL AND EXTERNAL

EXTERNAL WALL CLADDINGS AND EAVE LININGS TO BE INSTALLED TO MANUFACTURERS INSTRUCTIONS AND BCA.

WALL AND CEILING LININGS TO BE INSTALLED AND FINISHED TO

WET AREA LININGS TO BE INSTALLED TO MANUFACTURERS MANUFACTURERS INSTRUCTIONS. INSTRUCTIONS AND BCA.

INSTRUCTIONS AND THE BIGA 3.44 AND
ASS YEA AND THE BIGA 3.44 AND
ASS YEA AND THE BIGA 3.44 AND
ASS YEA AND THE DIGA MATERIAGORER
ENTERNAL AND OF GROUND MEMBRANES TO BIGA 3.41.3, AS; 4654.4
AND AS 4654.2 WET AREA WATERPROOFING TO BE INSTALLED TO MANUFACTURERS WATERPROOFING

WINDOWS

WINDOWS TO BE MANUFACTURED AND INSTALLED IN ACCORDANCE 2047 WINDOWS IN BUILDINGS-SELECTION AND INSTALLATION ASS WIND LOADS FOR HOUSING AS 1288 GLASS IN BUILDINGS-SELECTION AND INSTALLATION WINDOWS TO MEET RELAVENT BAL REQUIREMENTS BEDROOM WINDOWS TO COMPLY WITH BCA 3.9.2.6 WTH THE BCA AND,

STAIRS AND BALUSTRADES

STAIRS TO BE CONSTRUCTED TO BCA 3.4.4 RISERS AND GOINGS TO COMPLY TO BCA TABLE 3.4.1.4 STAIRS TO HAVE A SLIP-RESISTANCE CLASSIPICATION TO BCA TABLE

NANDRAIL IS TO BE PROVIDED TO ONE SIDE OF EACH STAIRWAY TO BALLISTRA DES TO BCA PART 3 % 2. Ender of BALLISTADE TO BE A MINIMUM OF 1000mm FROM FLOORS, LAMPINGS. DECKS, AND BALCOMES, AND A MINIMUM OF 165mm ABOVE THE NOSING OF THE STAR TREADS.

RENOVATORS, MAINTENANCE WORKERS AND DEMOLISHERS plans@draftworx.net.au 26 BIRCHWOOD CRT, FFICE PHONE: 0434924566

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ADDRESS:

designs

EMAIL:

N PLIABLE BUILDING MEMBRANE INSTALLED IN AN EXTERNAL WALL CONDENSATION MANAGEMENT

EXTERNAL EXHAUST PANS FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY TO BE EXTERNALLY DUCTED. MUST COMPLY WITH BCA 3.8.7.2

SANITARY COMPARTMENTS

(G) BE READILY REMOVABLE FROM THE OUTSIDE UNLESS THERE IS A CLEAR SPACE OF AT LEAST 4.2m BETWEEN THE PAN AND THE NEAREST PART OF THE DOORWAY. BCA 3.8.3.3 REQUIRES THE DOOR TO A FULLY CLOSED SANITARY COMPARTMENT (WC) TO. (A) OPEN OUTWARDS (B) SLIDE OR

JOINERY

GENERAL

ALL JOINERY WORK TO BE MANUFACTURED AND INSTALLED TO ACCEPTABLE BUILDING PRACTICES. DOOR FRAMES

SOUD REBATED 12mm DEEP. INTERNAL JAMBS TO BE A MINIMUM EXTERNAL DOOR FRAMES TO BE A MINIMUM OF 32MM THICK AND HAVE 12mm THICK DOOR STOPS ISMM THICK AND

ALL INTERNAL AND EXTERNAL DOOR AND DOOR SETS TO BE INSTALLED TO ACCEPTABLE BUILDING PRACTICES AND MANUFACTURED IN ACCORDANCE WITH AS: 2688 AND AS: 2689, UNLESS WRITTEN

WALL AND FLOOR TILING

TALLATION OF TILES TO BCA AND AS: \$458.1 AND INSTALLED.

MANUFACTURERS INSTRUCTIONS. SMOKE ALARMS

ALARMS MANUFACTURED IN ACCORDANCE

TO BE INSTALLED TO COMPLY WITH BCA.

ALL BUILDING WORKS

DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING SUBFLOOR VENTILATION TO BCA 3-4.1 GLASS IN BUILDINGS - SELECTION AND INSTALLATION RESIDENTIAL TIMBER FRAMED CONSTRUCTION SMOKE ALARMS STRUCTURAL DESIGN ACTIONS - WIND LOADS WATERPROOFING OF DOMESTIC WET AREAS SAFETY BARRIERS FOR SWIMMING POOLS PLUMBING AND DRAINAGE CODE ALE BUILDING WORNS TO COMPLY WITHAS 3744 RESIDENTAL THOSES REAM
AS 3740 SHOOT THOSES REAM
AS 3170 STRUCTURAL DESGRIA ACTIO
AS 3640 T TENNITTE ANALAGEMENT
AS 3640 T TENNITTE ANALAGEMENT
AS 3740 WATERPOOPING TO POWER
AS 3740 WATERPOOPING TO POWER
AS 3740 WATERPOOPING TO POWER
AS 3740 THE RODRING
AS 3741 SHEET ANALATION OF AS
AS 3742 SHEET ANALATION OF AS
AS 3743 SHEET ANALATION OF AS
AS 3744 S

INCLUDES (but not excluded to), OWNER, BUILDER, THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT, THIS SUB-CONTRACTORS, CONSULTANTS,

> REVISION: 11 OF 13 PAGE No: 1160700 GENERAL SPECS 1:100 SCALE CLIENT: KATE HAYNES BIRRAMAL DR, DUNBOGAN DP: 285493 LOT: 12

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WHS REGULATIONS 2011

LOCATED ON OR AROUND THIS STTE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER LOCATED IN AND AROUND THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK, WHERE POSSIBLE AND PRACTICAL, OR OTHER ACTIVITY CREATES A VARIETY OF RISKS, INCLUDING RELEASE OF HAZARDOUS MATERIAL EXISTING SERVICES ARE EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED. UNDERGROUND AND OVERHEAD POWER LINES MAY BE EXCAVATION PRACTICE SHOULD BE USED AND WHERE RUPTURE OF SERVICES DURING EXCAVATION

FALLING OBJECTS

MATERIALS OR SMALL OBJECTS

CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR ARQUIND THIS BUILDING IS LIKELY TO INVOLVE PERSONS
WORKING AROVE GROUND LEVEL OR ABOVE FLOOR LEVELS.
WHERE THIS OCCURS, ONE OR MORE OF THE FOLLOWING
MEASURES SHOULD BE THERIT TO AVOID OBJECTS PALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT

BUILDING COMPONENTS PURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT RARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE, WHICH MAY INJURE ERSONS IN THE AREA IS A POSSIBILITY

PURNIG CONSTRUCTION, MANNTENANCE OR DEMOLITION PRESENTS A RISK OF PALLING OSLECTS. SOWTRACTORS SHOULD ENSINE THAT APPOPRIATE LITTING DEVICES ARE USED. THAT LOADS ARE ROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR ICAL LIFTING OF MATERIALS AND COMPONENTS

TRAFFIC MANAGEMENT

BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN. UPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL. SHOULD BE ADOPTED FOR THE WORK SITE.

PUBLIC ACCESS

BARRIERS TO UNAUTHORISES ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCANATIONS, PLANT OR PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION STES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE

FALL, SLIPS, TRIPS

OOSE MATERIALS ARE PRESENT, THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

JORKING AT HEIGHTS

NOITH CONSTRUCTION

WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING HAN TWO METRES IS A POSSIBILITY.

JURING OPERATION OR MAINTENANCE

BUILDING WILL REQUIRE PERSONS TO BE STILLATED WHERE A PALL FROM A HEIGHT WE RECESS OF TWO MITTERS IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED. SOAFPOLINIG, LUDDERS OF THESTLES SYOLUD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PMACTICE, REQUILATIONS OR EGISLATION. FOR BUILDINGS WHERE SCAFFOLD, LADDERS OR RESTLES ARE NOT APPROPRIATE: CLEANING AND CAFFOLDING IS APPROPRIATE: CLEANING AND MAINTENANCE SPENINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY TEQUIRED, SCAFFOLDING, FALL BARRIERS OR PERSONNEL NENTS OF THIS BUILDING WILL REQUIRE PERSONS NANCE OF WINDOWS, WALLS, ROOF OR OTHER ROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN COORDANCE WITH RELEVANT CODES OF PRACTICE, HOUSES OR OTHER LOW-RISE BUILDIN REGULATIONS OR LEGISLATION.

TEPS, LOOSE OBJECTS AND UNEVEN SURFACES

BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED CONSULTATION WITH THE DESIGNER OR IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUINALENT OR BETTER SUPRESISTANCE SHOULD BE USED. FINISHES MAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE SURFACES BECOMING SLIPPERY WHEN WET OR WHEN WALKED ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN ON WITH WET SHOES! FEET.

FRAFFICABLE AREAS OF THIS BUILDING. SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 147:1444 AND AS/NZ THE DESIGNER HAS NOT BEEN INVOLVED IN THE SELECTION SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN 586:2004

STEPS, LOOSE OBJECTS AND UNEVEN

CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND PALLS IN THE WUSENDALE, BATERIALS OR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATION AND MAINTENANCE SHOULD BE STORED IN DESIGNATIED ARE LEANED OR REMOVED FROM ACCESS WAYS. CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORKSITE DURING DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR HEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS AREA VHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSUR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE THAT SURFACES HAVE NOT MOVED OR CRACKED, SO THAT CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE.

CONFINED SPACES

TO PREVENT COLLADSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED. SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED РRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER 1 EXCAVATION: WHERE THIS IS NOT PRACTICAL, ADEQUATE CONSTRUCTION OF THIS BUILDING AND SOME MAINTENA ON THIS BUILDING WILL REQUIRE EXCAVATION AND NSTALLATION OF ITEMS WITHIN EXCAVATIONS, WHERE

ENCLOSED SPACES

ANY OTHER PURPOSE. THE DESIGN DOCUMENTATION CALLS ACCESS, SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING, WHERE WORKERS ARE REQUIRED TO ENTER SHOLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTEN OR OTHER ACCESS MAY BE REQUIRED: ENCLOSED SPACES VITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ROTECTIVE EQUIPMENT (PPE) SHOULD BE PROVIDED.

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR NAMEMENACE WOONERS. THE RESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRERS TO BUILDING THE BUILDING. THE BUILDING. OTHER ACCESS MAY BE REQUIRED: SOME SMALL SPACES

OTHER HIGH RISK ACTIVITY

DE LONANGING RISKS OF PLANT AT THE WORKELACE. ALL WORK SHOULD BE CARRED OUT WITH CODE OF PRACTICE. MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT. LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: ACCORDANCE WITH THE CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN THE ABOVE APPLIES.

PEMOLTION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT (PPE) INCLUDING

PROTECTION AGAINST INHALATION WHILE USING POWD MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MAT

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS

JUILDING CAN CAUSE HARM IF INHALED IN POWDERED

PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR

MANUAL TASKS

HARMFUL PERSONS WORKING ON OR IN THE BULLDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR

THE DESIGN OF THIS BUILDING MAY INCLUDE THE PROVISION STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE

REATED TIMBER

FOR THE INCLUSION OF TREATED TIMBER WITHIN THE

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25kg SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT SAFETY
THG. ALL SAFETY GLARBO OR DEVICES SHOULD BE REGULARLY
HECKE AND PERSONAL PROTESTIVE EQUIPMENT (PP.E)
SHOULD BE USED IN ACCORDANCE WITH MANUTACTURESS THE COMPONENT MASS. ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL, ALL MECHANICAL DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIES OR FABRICATORS SHOULD BE REQUIRED TO LIMIT OCCUR. CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BULLDIA WILL REQUIRE THE ESE OF PORTAGE TOOLS AND EQUIPMENT. THESE SOULD BE FULLY MAINTANED BY ACCORDANCE WITH THE MANUFACTURES SPECIETALONS. AND MOT USED WHERE FALLTY OR (BY THE CASE OF BENDING BEFORE LIFTING, ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY TEMS SHOULD BE STORED ON SITE IN A WAY WHICH

OPERATIONAL USE OF BUILDING

THIS BUILDING HAS BEEN DESIGNED AS RESIDENTIAL BUILDING, IF IT, AT A LATER DATE, IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE.

HAZARDOUS SUBSTANCES

FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1440: IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR

10 1440-IT THEREFORE MAY CONTAIN ASBESTOS. 1486-IT HEREFORE IS LIKELY TO CONTAIN EITHER IN CLADDING

AATERIAL OR IN FIRE RETARDANT INSULATION MATERIAI

ETTHER CASE, THE BUILDER SHOULD CHECK AND, IF

ECESSARY, TAKE APPROPRIATE ACTION BEFORE

NSTURBING THE EXISTING STRUCTURE.

POWDERED MATERIALS

DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE PERSONAL PROTECTIVE EQUIPMENT (PPE) INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL ALED OR IF IT COMES IN CONTACT WITH THE SKIN, EYES AN APPLIED FINISH. AREAS WHERE FINISHES ARE APPLIED SHOULD BE KEPT WELL VENTILATED DURING SANDING AND WHEN SANDING, DRILLING, CUTTING OR USING TREATED IMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION, PRESONAL PROTECTURE (GUIPMENT (PPE) MAY ALGO BE REQUIRED THE MANUFACTURES RECOMMENDATIONS FOR USE MUST BE CAREFULLY THIS BUILDING MAY CONTAIN TIMBER FLOORS WHICH HAVE PROTECTIVE EQUIPMENT (PPE) INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED, WHEN INSTALLING, REMOVING OR WORKING NEAR MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEAVING MATERIALS AND USED FOR THERMAL OR SOUND INSULATION MAY CONTAIN IBREGLASS, ROCKWOOL, CERAMIC AND OTHER MATERIAL NPPLICATION AND FOR A PERIOD AFTER INSTALLATION HESE RAE USED SHOULD BE KEPT WELL VENTILATED OR OTHER SENSITIVE PART SOF THE BODY. PERSONAL TO BE RELEASED. DO NOT BURN TREATED TIMBER. PANTHETIC MINERAL FIBRE WHICH MAY BE HARMI ULK INSULATION MATERIAL ONSIDERED AT ALL TIMES. SYNTHETIC MINERAL FIBRE OLATILE ORGANIC COMPO

PERSONAL PROTECTIVE EQUIPMENT (PPE) MAY ALSO BE REQUIRED. THE MANUFACTURERS RECOMMENDATIONS FOR JSE MUST BE CONSIDERED AT ALL TIMES.

> THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT, THIS INCLUDES (but not excluded to), OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, MAINTENANCE WORKERS AND DEMOLISHERS

REVISION: 12 OF 13 PROJECT NO: PAGE NO: 1160700 WHS 1:100 SCALE KATE HAYNES BIRRAMAL PR, DUNBOGAN CLIENT: DP: 285493 LOT: 12

POFFICE PHONE: 0434924566 ADDRESS: EMAIL: designs

PORT MACQUARIE 2444 plans@draftworx.net.au 26 BIRCHWOOD CRT,

	BAL-LOW	BAL-12.5	BAL-19	BAL-29	BAL-40	BAL-FZ
SUBFLOOR SUPPORTS	NO SPECIAL CONSTRUCTON REQUIREMENTS	NO SPECIAL CONSTRUCTION REQUIREMENTS	но эксом. Сомутистом сомутистом	ENCLOSE BY EXTERNAL WALL OR BY STEEL, BEOVER OR ALLIMINAL MESH, NOW COMBUSTIBLE, SUPPORTS WHERE THE FOREIGNEOR INTURNALLY FROM COMBUSTION IN TIMBER.	PERIODINAL WALL REFER BECON WYTENAL WALES SECTION WY TABLE OR NOW-COMPUSTRILE SUBFLOOR SUPPORTS OR TESTIS FOR BLISHING	CONTROL SPECIAL: AND ONE BY DESTROY OF CONTROL OT CONTROL OF CONTR
FLOORS	NO SPECIAL CONSTRUCTION REQUIREMENTS	но вресил. Сомятистом Кесимементъ	но въесит сомашения констисно	CONCRETE SLAB ON GROUND OR ENCLOSURE BY EXTERNAL UMLI, METAL MESH AS AROVE OR FLOORING LESS THAN 4-COMMA MOVE CROUND LEVELT O BE MON-COMBUSTRILE. MATURALLY THREER OR POPERETRON THE UNDERSORE WITH SARRING OR MIREAL WOOL INSULATION.	CONCRETE SAIS ON GROWN OR ENCLOSINE BY EXTERNAL WALL OR PROTECTION OF UNDERSORS WITH A MON-COMBISTREE MATERIAL SICH AS TIME COMBIT SHEET ON SE MON-COMBISTINE TO AS ESTIMENT OR SIGNAMER RESISTANCE TO AS ESSOR	CONDUCTS SAME ON CORONIO OR ENGLOSIVE OR ESTIMATIONAL MALL OS AN PRO- ON SOURCE OF PROPERTIES OF UNITARIESTIC WITH SO MINJETT RECEIVED STATES OF THIS SYSTEM ON BY TESTED OR PURPHISH PROSTANIE TO AS 1550-82
EXTERNAL WALLS	NO SPECIAL CONSTRUCTOM REQUIREMENTS	EXTERNAL WALLS. PARTS LESS THAN 400mm Agove Ground or decks etc to be of non Congustrale Myteral, einem fibre Expert Cald or dissering RESISTANT/NATURALLY FIRE RESISTANT THUBERS ALL JOHYTS TO BE LESS THAN SININ & YENTS TO BE SCREEKED.	EXTERNAL WALLS- PARTS LESS THAN AGONN ABOVE GROUND OR DEGGS RETT TO BE ON NOW FORE CEMBIY CALD OR BUSHERE RESSTANT THORSESALL, JOHNS TO BE LESS THAN SHOW & VEHYS TO BE SCREENED.	NON-COMBUSTBLE MATERIALMASSONEY, BROLV VEHEER, MUD BRICK, ASENTED CONCRETE, CONCRETE, VEHEER MANDED, STETE, RAAMED MALLS SARKED ON THE OUTSIDE AND CALD WITH ANN TIBRE CENTRIA SHETTING OR STEEL SASSONED RESISTANT THREASALL, CHINTS TO BE ESSENTED.	NOW-COMPUTINE MATERIAL PRASCHEY, GRACK VENEER, ALD SHICK, AENTED CONCERT. CONCERT. CONCERT. CONCERT. CONCERT. CONCERT. CONCERT. CONCERT. CONCERT. CONTENT OF THE CONTINUE AND CALD WITH 444M REJECT. SHEETING ON STEEL SHEETING TO SE TESTED FOR SUCCESSIVE TO ACT SECOND CONCERT.	HON-CONFESTION ANTERIOR, PARSONEN- SECONDERS, ALP SECONDESS ASSAULT CONFESTION OF A MANAGED PROVISED OF HOME OF A MANAGED PROVISED OF HOME OF A PAR- OF A MANAGED ASSAULT AND A CONFESTION OF SECONDESS AND A MANAGED AND A
EXTERNAL WINDOWS	NO SPECIAL CONSTRUCTON REQUIREMENTS	HANN GANDE A SAETY GLASS OR GLASS BLOOKS WITHIN 400MM OF GROUND, DECK. ETC WITH ORDSHABLE DOTHON HETAL. SCREINED WITH REAME OF MITTAL OF METAL RELINDORGED PUC-U OR BUSHTIRE RESSTING TIMBER.	Sww. TOUGHENED GLASS OR GLASS BLOCKS WITH HOLDON OR GROUND OR DECKS ETC WITH OPENSELE PORTHALOR METAL SCREENED WITH RALABOP BYTHALOR METAL SCREENED RENITOREED NAC-1, OR BUSHERE RESSING THINGER ABOVE 400mm ANNEALED GLASS OAN BE USED WITH ALL GLASS SCREENED	SAM TOUGHENED GLAGS, WITH OPRIVABLE PORTION SPRENENAND PRANE OF METAL OF METAL REINFORDED PACAL OR BUSHMER RESSTÄMT TARER AND PORTOR WITHIN 400mm OFF CROUNT, PECKET'S SCREENED.	ehm TOJGHENED GLASS FORD AND OPENALE PORTON SCHENED WITH STEEL. OR DROHZE MESH	PROTECTO OF BUSHING SHITTER OF THE OF "ANY" AND OPPORGET PORTION SCHEME OF HIS TOTAL OF PROJECT HIS OF THE TOTAL OF BUSHING PORTION OF
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CLENT: KATE HAYNES 107. 12 107. 124 107. 12	1 - 1.00 BUSHFIRE NOTES	PROJECT No. 1160-00 Dige. Completed. Rev. 1160-00 Options conversed to the converse to t	DRAFT OFFICE PHON WORK ADDRESS:	OFFICE PHONE: 0434924566 EMAIL: plans@draftworx.net.au ADDRESS: 26 BIRCHWOOD CRT, PORT MACQUARIE 2444	THESE NOITES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT, THIS INCLUDES (but not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, MAINTENANCE WORKERS AND DEMOUSHERS	RSTOOD BY ALL INVOLVED IN THE ed to): OWNER, BUILDER, SUB- TORS, MAINTENANCE WORKERS

Item: 06

Subject: DA2020 - 120.1 DWELLING-HOUSE AND TWO(2) LOT STRATA

SUBDIVISION AT LOT 15 DP 1228922, WILLOW DENE AVENUE

BEECHWOOD

Report Author: Development Assessment Planner, Steven Ford

Applicant: P R Auld

Owner: Holly May Pty Ltd

Estimated Cost: \$334,000 Parcel no: 67318

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA 2020 - 120.1 for a Dwelling-House and Two (2) Lot Strata Subdivision at Lot 15, DP 1228922, Willow Dene Avenue, Beechwood, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for a dwelling-house and two (2) Lot Strata Subdivision at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, one submission was received. A copy of the submission has been provided to the members of the DAP.

The proposal has been amended during the assessment of the application. Changes have been made to the driveway for the dwelling to enable vehicles to enter and leave the site in a forward direction.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the conditions in **Attachment 1**.

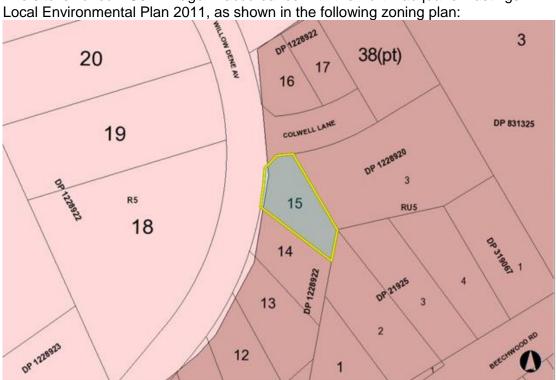
1. BACKGROUND

Existing Sites Features and Surrounding Development

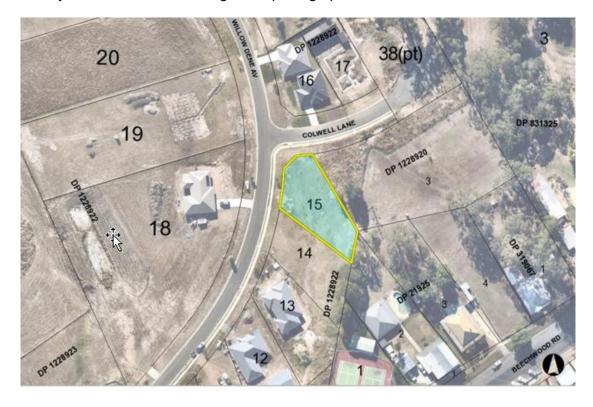


The site has an area of 1,117m².

The site is zoned RU5 - Village in accordance with the Port Macquarie-Hastings



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:





2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Proposed dwelling on proposed Lot 2.
- One into two lot strata subdivision, both lots achieve the minimum lot size.
 Proposed Lots are 554m² and 562m².
- An indicative future dwelling envelope on proposed Lot 1.

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

Application Chronology

- 24 February 2020 Application Received
- 5 March 2020 Additional information received
- 16 March to 30 March 2020 Public Notification
- 20 March 2020 Revised plans and shadow diagrams received
- 24 April 2020 RFS determination received

3. STATUTORY ASSESSMENT

Section 4.15(1) Matters for Consideration

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

State Environmental Planning Policy (Koala Habitat Protection) 2019

Clause 5 - This SEPP applies to the Port Macquarie-Hastings Local Government Area.

Clause 10 - The site is not identified on the Koala Development Application Map and the land has an area less than 1 hectare including adjoining land in the same ownership. The application has also demonstrated that no habitat will be removed or modified therefore no further investigations are required.

State Environmental Planning Policy No. 55 – Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

State Environmental Planning Policy (Coastal Management) 2018

The site is not located within a coastal use area / coastal environment area.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004



A BASIX certificate (number 959517S) has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 The subject site is zoned RU5 Village.
- Clause 2.3(1) and the RU5 zone landuse table The proposed dwelling and strata subdivision is a permissible landuse with consent.

The objectives of the RU5 zone are as follows:

- To provide for a range of land uses, services and facilities that are associated with a rural village
- To permit development that is appropriate in scale and type with the characteristics of a rural village
- To minimise conflict between land uses within the zone and land uses within adjoining zones
- Clause 2.3(2) The proposal is consistent with the zone objectives having regard to the following:
 - o the proposal is a permissible landuse; and
 - the subdivision will allow for a variety of future housing types.
 1
- Clause 4.1 Whilst the proposal is a strata subdivision, the lot sizes within the proposed subdivision range from 554m² to 562m². All proposed lots comply with the minimum lot sizes identified in the Lot Size Map relating to the site.
- Clause 4.3 The maximum overall height of the building above ground level (existing) is 8.35 m. There is no maximum standard height limit applying to the site.
- Clause 4.4 The floor space ratio of the proposal is 0.52:1.0 for proposed lot 2. There is no maximum floor space ratio limit applying to the site.
- Clause 7.13 Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.
 2.
- (ii) Any draft instruments that apply to the site or are on exhibition:

No draft instruments apply to the site.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

	DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development			
	Requirements	Proposed	Complies	
3.2.2.1	Ancillary development: • 4.8m max. height • Single storey	Water tank is appropriately located to the side of the	Yes	



nouses	& Ancillary development	Dronocod	Complies
	Requirements	Proposed	Complies
	 60m² max. area 100m² for lots >900m² 24 degree max. roof pitch Not located in front setback 	dwelling	
3.2.2.2	 Articulation zone: Min. 3m front setback An entry feature or portico A balcony, deck, patio, pergola, terrace or verandah A window box treatment A bay window or similar feature An awning or other feature over a window A sun shading feature 	No elements within the articulation zone. The future dwelling on proposed Lot 1 is capable of complying.	N/A
	Front setback (Residential not R5 zone): • Min. 6.0m classified road • Min. 4.5m local road or within 20% of adjoining dwelling if on corner lot • Min. 3.0m secondary road • Min. 2.0m Laneway	Front building line setback requirements are complied with. Lot 1 - future dwelling is capable of complying	Yes
		Lot 2 - is characterised as a battle-axe lot.	
3.2.2.3	Garage 5.5m min. and 1m behind front façade. Garage door recessed behind building line or eaves/overhangs provided	Garage door setback requirements are complied with.	Yes
	6m max. width of garage door/s and 50% max. width of building	Width of garage door requirements are complied with.	Yes
	Driveway crossover 1/3 max. of site frontage and max. 5.0m width	Driveway crossing width requirements are complied with.	Yes
3.2.2.4	4m min. rear setback. Variation subject to site analysis and provision of private open space	Min. 1.22 to 8.27m rear setback for proposed Lot 2.	No*
3.2.2.5	 Side setbacks: Ground floor = min. 0.9m First floors & above = min. 3m setback or where it can be demonstrated that overshadowing not adverse = 0.9m min. Building wall set in and out every 12m by 0.5m 	The minimum side setback requirements are complied with. Shadow diagrams have been provided demonstrating that	Yes



	3: Dwellings, Dual occupancies, Dwe & Ancillary development		
	Requirements	Proposed	Complies
		the minimum side setback on 1.95m from the southern side boundary for the first floor will not adversely impact the solar access to future development on the adjoining land.	
		The wall articulation softens the impact of the reduced side setbacks and satisfies the objectives of the development provision.	
3.2.2.6	35m² min. private open space area including a useable 4x4m min. area which has 5% max. grade	Each occupancy contains sufficient 35m² area to utilise as open space in one area including a useable 4m x 4m area.	Yes
		Lot 2 has approximately 180m ² of useable area	
3.2.2.10	 Privacy: Direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent dwellings. ie. 1.8m fence or privacy screening which has 25% max. openings and is permanently fixed Privacy screen required if floor level > 1m height, window side/rear setback (other than bedroom) is less than 3m and sill height less than 1.5m 	No direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent dwellings. A privacy screen is proposed along the side of the north- eastern first floor	Yes
	Privacy screens provided to balconies/verandahs etc which have <3m side/rear setback and floor level height >1m	No other privacy screens are recommended.	



3: Dwellings, Dual occupand & Ancillary development	ies, Dwelling houses, Mul	ti dwelling
Requirements	Proposed	Complies

DCP 201	CP 2013: General Provisions				
	Requirements	Proposed	Complies		
2.7.2.2	Design addresses generic principles of Crime Prevention Through Environmental Design guideline	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes		
2.3.3.1	Cut and fill 1.0m max. 1m outside the perimeter of the external building walls	Cut and fill <1.0m change 1m outside the perimeter of the external building walls	Yes		
2.3.3.2	1m max. height retaining walls along road frontage	None proposed	N/A		
	Any retaining wall >1.0 in height to be certified by structure engineer	No retaining wall likely >1m	N/A		
	Combination of retaining wall and front fence height max 1.8m, max length 6.0m or 30% of frontage, fence component 25% transparent, and splay at corners and adjacent to driveway	No retaining wall front fence combination proposed.	N/A		
2.3.3.8	Removal of hollow bearing trees	No trees proposed to be removed	N/A		
2.6.3.1	Tree removal (3m or higher with 100m diameter trunk at 1m above ground level and 3m from external wall of existing dwelling)	No trees proposed to be removed	N/A		
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.			
2.5.3.2	New accesses not permitted from arterial or distributor roads	No new access proposed to arterial or distributor road.	N/A		
	Driveway crossing/s minimal in number and width including maximising street parking	Driveway crossing is minimal in width including maximising street parking. Lot 1 - capable of complying as it has	Yes		
		approximately a 31m frontage to the road. Lot 2 - driveway is			
		minimal in width and will be a battle-axe			



DCP 201	13: General Provisions	Ι	
	Requirements	Proposed	Complies
		with a 3.6m crossover and a 5m wide access handle.	
2.5.3.3	Parking in accordance with Table 2.5.1. Dwelling/dual occupancies 1 space per dwelling/occupancy (behind building line). Multi dwelling 1 space per 1 & 2 bedroom occupancies 1.5 spaces per 3+ bedroom occupancies 0.25 spaces per occupancy for visitor parking.	Lot 1 is capable of complying and Lot 2 has a proposed double garage. No visitor parking is required.	Yes
2.5.3.11	1	Contributions apply - refer to ET calc and NOP.	Yes
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Suitable landscaping is capable of being proposed around driveway/parking locations.	Yes
2.5.3.14	Sealed driveway surfaces unless justified	Sealed driveway areas proposed.	Yes
2.5.3.15 and 2.5.3.16	area' shall be 5% grade with	Driveway grades capable of satisfying Council standard driveway crossover requirements. Condition recommended for section 138 Roads Act	Yes
0 5 0 47	Darking aroon to be decimand to	permit.	Voc
2.5.3.17	Parking areas to be designed to avoid concentrations of water runoff on the surface.	Stormwater drainage is capable of being managed as part of plumbing construction.	Yes

The proposal seeks to vary Development Provision relating to 3.2.2.4 - 4m minimum rear setback. The proposal is seeking approval for a minimum rear setback of 1.22m at the nearest point and varied to 8.27m (perpendicular to the eastern rear boundary).

The relevant objectives are:

- To allow adequate natural light and ventilation between dwellings/buildings and to private open space areas.
- To provide useable yard areas and open space.



Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- It is acknowledged that the site is situated on the corner of Willow Dene Avenue and Colwell Lane, but due to the shape of the lot, there is a rear boundary.
- The rear eastern boundary is at an irregular angle.
- The rear north-east rear corner of the dwelling has a setback of 1.22m and the south west rear corner is 8.27m to an open verandah, which softens the impact of the north-east corner variation.
- Shadow diagrams have demonstrated that there would be no adverse overshadowing due to the variation on the adjoining developments and/or future developments.
- Although the proposed private open space has not been positioned to achieve optimum solar access for the development, there is approximately 180m² of private open space within the rear and side yard.
- The adjoining lots to the north and south-east, are currently vacant and do not have any approved developments or have a residential development being considered by Council. The shadow diagrams indicate that the future development on the adjoining properties will not be impacted.
- The existing dwelling-house on No.736 Beechwood Road is positioned >12m from the subject proposed dwelling and is no parallel to the rear eastern boundary. The building line of the property adjoining the rear boundary is approximately 32m from the encroachment on a slight elevation. Providing the separation and there are no identifiable adverse impacts due the variation.
- The side setbacks comply and are greater than 3m on the southern side setback for a large proportion of the building footprint.

Cumulatively, the variations do not amount to an adverse impact or a significance that would justify refusal of the application.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into relating to the site.

(v) Any matters prescribed by the Regulations

N/A

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

Context and setting

- The proposal will be unlikely to have any adverse impacts to existing adjoining properties or the public domain.
- The proposal is considered to be consistent with other residential development in the locality and adequately addresses planning controls, as justified, for the area.
- There are no adverse impacts on existing view sharing.
- There are no adverse privacy impacts.



AGENDA

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

- There are no adverse overshadowing impacts. The proposal does not prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June.
- Proposed Lot 1 is of a sufficient size and design to satisfactorily accommodate for a future single dwelling.

Access, Traffic and Transport

The proposal will be unlikely to have any adverse impacts in terms access, transport and traffic. The existing road network will satisfactorily cater for any increase in traffic generation as a result of the development.

Water Supply Connection

Each proposed dwelling/lot will need to be separately metered for water, meters may be either located at the road frontage or internally with a master meter at the boundary. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.

Detailed plans will be required to be submitted for assessment with the S.68 application. A standard condition has been recommended in this regard.

Sewer Connection

The proposed development shall drain all sewage to the existing sewer junction unless otherwise agreed by PMHC's Water & Sewer Planning Manager. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.

Detailed plans will be required to be submitted for assessment with the S.68 application. A standard condition has been recommended in this regard.

Stormwater

Service available – details required with S.68 application. Drainage easement exists at the rear of the property. A standard condition has been recommended in this regard.

Other Utilities

Telecommunication and electricity services are available to the site.

Heritage

No known items of Aboriginal or European heritage significance exist on the property. No adverse impacts anticipated. The site is in a residential context, is part of a recent approved subdivision and considered to be disturbed land.

Other land resources

The site is within an established and developing village-context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

Soils

The proposed development will not have any significant adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.



AGENDA

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

Air and microclimate

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.

Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

Noise and vibration

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Bushfire

The site is identified as being bushfire prone. The Applicant has submitted a bushfire report prepared by a Certified Consultant.

An assessment of bushfire risk having regard to section 4.3.5 of Planning for Bushfire Protection 2006 including vegetation classification and slope concludes that a Bushfire Attack Level LOW shall be required.

Bushfire Safety Authority (BFSA) has been issued by the NSW Rural Fire Service subject only to a condition to manage a satisfactory Asset Protection Zone within the site. An appropriate condition is recommended to require compliance with the BFSA.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The increase in housing density will improve natural surveillance within the locality and openings from each dwelling overlook common and private areas.

Social impacts in the locality

Given the nature of the proposed development and its location the proposal is not considered to have any significant adverse social impacts.

Economic impact in the locality

The proposal is not considered to have any significant adverse economic impacts on the locality. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design



AGENDA

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

Cumulative impacts

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

Site constraints of bushfire risk have been adequately addressed and appropriate conditions of consent recommended.

(d) Any submissions made in accordance with this Act or the Regulations

One written submission was received following public exhibition of the application. A copy of the written submission has been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:

Submission Issue/Summary	Planning Comment/Response
Impact on solar access the proposed dwellings will have to adjoining properties.	Shadow diagrams have demonstrated that there are no adverse overshadowing impacts due to the side setback variation, as previously discussed, to the existing and future adjoining developments.
The over-bearing nature of the two storey high roofed dwellings proposed.	The proposed dwelling is 8.35m at the highest point. This achieves the objectives of clause 4.3 of the Port Macquarie Hastings Local Environmental Plan 2011, ensuring the proposed building is compatible with the height, bulk and scale of existing and future character of the locality. The building is considered to have good articulation noting its orientation and building materials, which softens any perceived bulk and scale.
	The adjoining lots to the north and south-east, are currently vacant and do not have any approved developments. The shadow diagrams indicate that the future development on the adjoining properties will not be impacted. There are no adverse bulk and scale issues
	identifiable to refuse this application.
Inconsistencies on the	Amended plans have been provided during the



Submission Issue/Summary	Planning Comment/Response
proposed Plans and	assessment to resolve the errors and provide
Statement of Environmental	additional plans to demonstrate how the proposal
Effects	complies with the Port Macquarie Hastings
	Development Control Plan 2013.

(e) The Public Interest

The proposed development satisfies relevant planning controls, as justified, and will not adversely impact on the wider public interest.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- Development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- Development contributions will be required in accordance with Section 7.11 of the Environmental Planning and Assessment Act 1979 towards roads, open space, community cultural services, emergency services and administration buildings.
- A copy of the contributions estimate is included as Attachment 3.

5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in **Attachment 1** of this report.

Attachments

- 1. DA2020 120.1 Recommended Conditions
- 2. DA2020 120.1 Plans
- 31. DA2020 120.1 Contributions Estimate



FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2020/120 DATE: 1/06/2020

A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Plans	18-1364	Robert Smallwood Building Plans	20/03/2020
Subdivision Plan	11116	Beukers and Ritter Consulting	Unknown
Bushfire Hazard Assessment		David Pensini	January 2019
Service plan	11116	Beukers and Ritter Consulting	21/08/2018
BASIX Certificate	959517S	Robert Smallwood Building Plans	18 January 2019

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No building or subdivision work shall commence until a Construction Certificate or Subdivision Works Certificate has been issued and the applicant has notified Council of:
 - a. the appointment of a Principal Certifying Authority; and
 - b. the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

- (3) (A005) This consent allows the strata-subdivision, subject to the submission of an application for a Strata Certificate.
- (4) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
- (5) (A009) The development site is to be managed for the entirety of work in the following manner:
 - Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 - 2. Appropriate dust control measures;

- Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
- Building waste is to be managed via appropriate receptacles into separate waste streams:
- 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
- Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

- (6) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (7) (A013) The general terms of approval from the following authorities, as referred to in section 93 of the Environmental Planning and Assessment Act 1979, and referenced below, are attached and form part of the consent conditions for this approval.
 - NSW Rural Fire Service The General Terms of Approval, Reference DA20200316001002-Original-1 and dated 24 April 2020, are attached and form part of this consent.
- (8) (A033) The applicant shall provide security to the Council for the payment of the cost of the following:
 - a. making good any damage caused to any property of the Council as a consequence of doing anything to which the consent relates,
 - completing any public work (such as road work, kerbing and guttering, footway construction, utility services, stormwater drainage and environmental controls) required in connection with the consent,
 - remedying any defects in any such public work that arise within twelve (12) months after the work is completed.

Such security is to be provided to Council prior to the issue of the Subdivision Certificate/Construction Certificate or Section 138 of the Roads Act, 1993.

The security is to be for such reasonable amount as is determined by the consent authority, being the estimated cost plus 30% for building development of public works or \$5000, whichever is the greater of carrying out the development by way of:

- i. deposit with the Council, or
- ii.an unconditional bank guarantee in favour of the Council.

The security may be used to meet any costs referred to above and on application being made to the Council by the person who provided the security any balance remaining is to be refunded to, or at the direction of, that person. Should Council have to call up the bond and the repair costs exceed the bond amount, a separate invoice will be issued. If no application is made to the Council for a refund of any balance remaining of the security within 6 years after the work to which the security relates has been completed the Council may pay the balance to the Chief Commissioner of State Revenue under the Unclaimed Money Act 1995.

- (9) (A007) The development must only proceed in accordance with the approved stages as set out below:
 - Stage 1 Construction of proposed Lot 2 dwelling, including driveway, fencing
 - · Stage 2 One into two lot strata subdivision
 - Stage 3 subject to separate development consent, construction of dwelling on proposed Lot 1

Unless specified, the conditions of this consent will apply to all stages, with any decision on any discrepancy with conditions and associated staging resting with Council. Any decision to allow a change to staging will rest with Council along with applicable conditions and any contributions payable.

B – PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE OR SUBDIVISION WORKS CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
 - Position and depth of the sewer (including junction)
 - Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location
- (2) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.

Such works include, but not be limited to:

- Civil works
- Traffic management
- Work zone areas
- Hoardings
- Concrete foot paving
- Footway and gutter crossing
- · Functional vehicular access

Where works are proposed on an RMS classified facility, the Road Authority shall obtain RMS concurrence prior to any approval.

- (3) (B003) Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate or Subdivision Works Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
 - 1. Sewerage reticulation.
 - Water supply plans shall include hydraulic plans for internal water supply services and associated works in accordance with AS 3500, Plumbing Code of Australia and Port Macquarie-Hastings Council Policies.

- (6) (B024) Submission to Council of an application for water meter hire, which is to be referred to the Water Supply section so that a quotation for the installation can be prepared and paid for prior to the issue of a Construction Certificate. This application is also to include an application for the disconnection of any existing service not required.
- (7) (B037) The finished floor level of the building shall be at least 1050mm above the soffit of Council's sewer main. Details indicating compliance with this are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.
- (8) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.
- (9) The proposed development shall drain all sewage to the existing sewer junction unless otherwise agreed by PMHC's Water & Sewer Planning Manager. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.
- (10) Each proposed dwelling will need to be separately metered for water, meters may be either located at the road frontage or internally with a master meter at the boundary. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.

C - PRIOR TO ANY WORK COMMENCING ON SITE

(1) (C013) Where a sewer manhole and/or Vertical Inspection Shaft (VIS) exists within a property, access to the manhole/VIS shall be made available at all times. Before during and after construction, the sewer manhole/VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.

D - DURING WORK

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
 - a. when trenches are open, stormwater/water/sewer pipes and conduits iointed and prior to backfilling:
 - b. prior to the pouring of concrete for sewerage works and/or works on public property;
 - c. during construction of sewer infrastructure;

All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public Infrastructure and any other Council approval, prior to proceeding to the next hold point.

(2) (D006) A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.

E - PRIOR TO OCCUPATION OR THE ISSUE OF SUBDIVISION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (3) (E034) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (4) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (5) (E061) Landscaped areas being completed prior to occupation or issue of the Certificate.
- (6) (E056) A Certificate of Compliance under the provisions of Section 307 of the Water Management Act must be obtained prior to the issue of any occupation or subdivision certificate. The application for the certificate is to include an acceptable Work-As-Executed plan for water and sewer mains and services from a Professional Engineer or Registered Surveyor.
- (7) (B010) Payment to Council, prior to the issue of the Strata Certificate of the Section 7.11 contributions set out in the "Notice of Payment Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental Planning and Assessment Act 1979 as amended, and in accordance with the provisions of the following plans:
 - Hastings S94 Administration Building Contributions Plan
 - Hastings Administration Levy Contributions Plan
 - Community Cultural and Emergency Services Contributions Plan 2005
 - · Hastings S94 Major Roads Contributions Plan
 - Port Macquarie-Hastings Open Space Contributions Plan 2018

The plans may be viewed during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.

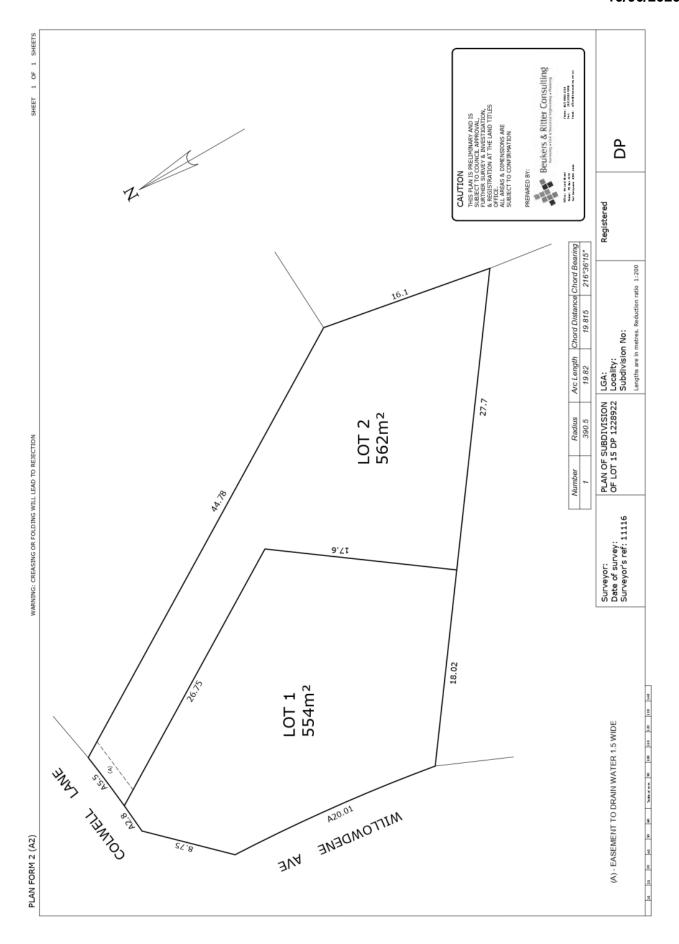
(8) (B011) As part of Notice of Requirements by Port Macquarie-Hastings Council as the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution, prior to the issue of a Strata Certificate of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with the provisions of the relevant Section 64 Development Servicing Plan towards the following:

- augmentation of the town water supply headworks
- augmentation of the town sewerage system headworks

F - OCCUPATION OF THE SITE

(1) (F004) The dwelling is approved for permanent residential use and not for short term tourist and visitor accommodation.





ROBERT SMALLWOOD

 $^\prime BETTERBYDESIGN$ EMAIL: design@robertsmallwood.com.au

PH: (02) 6559 5222

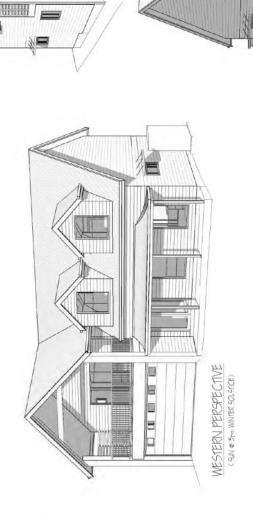
453 OCEAN DRIVE, LAURIETON NSW 2443 www.robertsmallwood.com.au chartered memer of Bullunde des Geners Association of Australia

PROPOSED RESIDENCE

AT: LOT 15 CNR WILLOWDENE AVE ¢ COLWELL LANE, BEECHWOOD

FOR: P. ¢ M. AULD REF: 18-1364

REF: 18-1364 DATE: JANUARY 2019



NORTHERN PERSPECTIVE

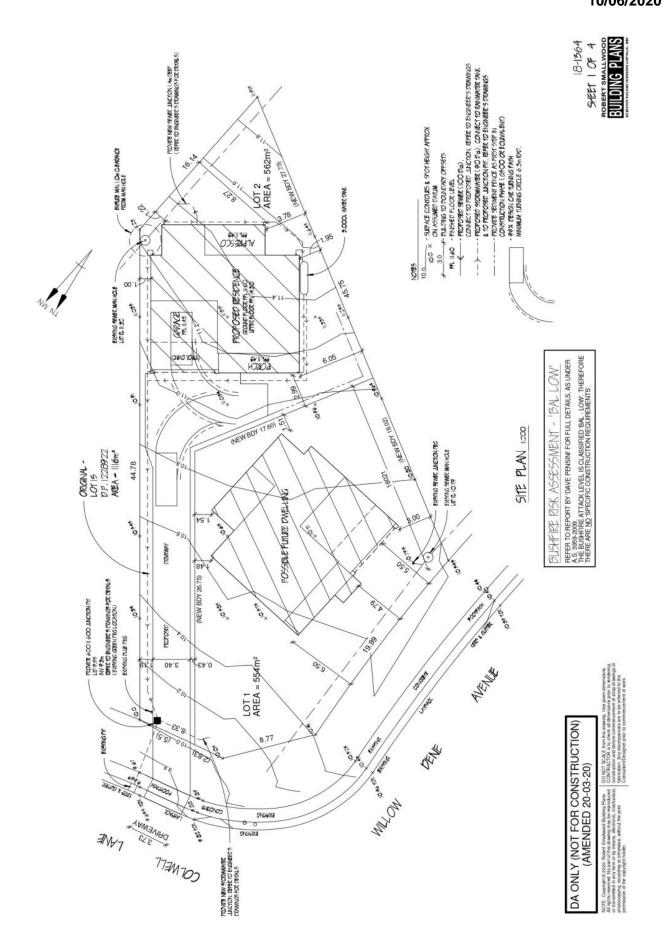
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(SUN @ 12pm WINTER SOLSTICE)

DA ONLY (NOT FOR CONSTRUCTION)

SOUTHERN PERSPECTIVE (SUN & 92m SUMMER SOLSTICE)

Item 06 Attachment 2 Page 69



Item 06 Attachment 2 Page 70



WINDOW & GLAZED DOOR SCHEDULE - PROPOSED DWELLING

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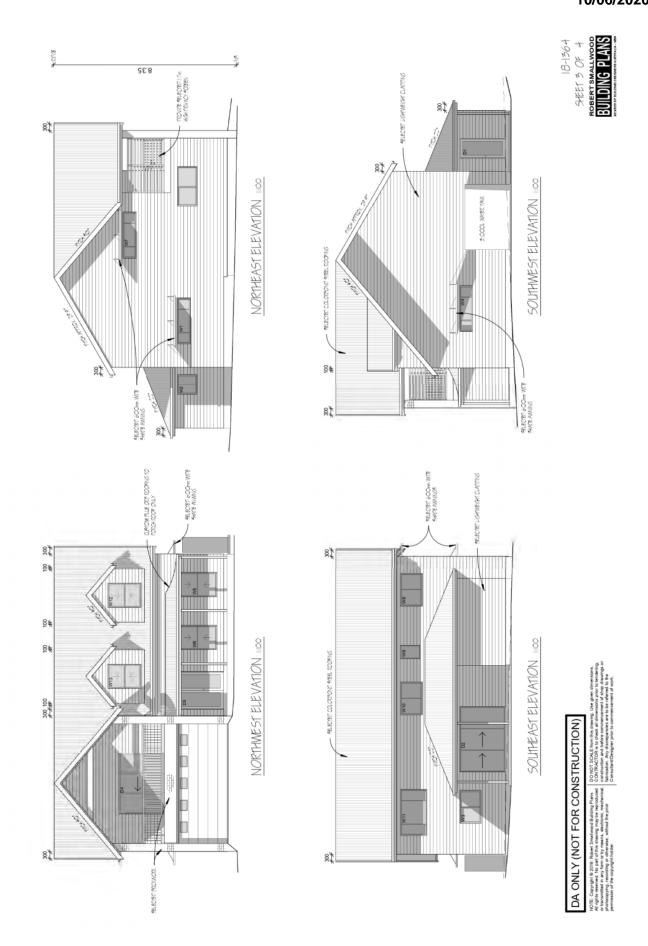
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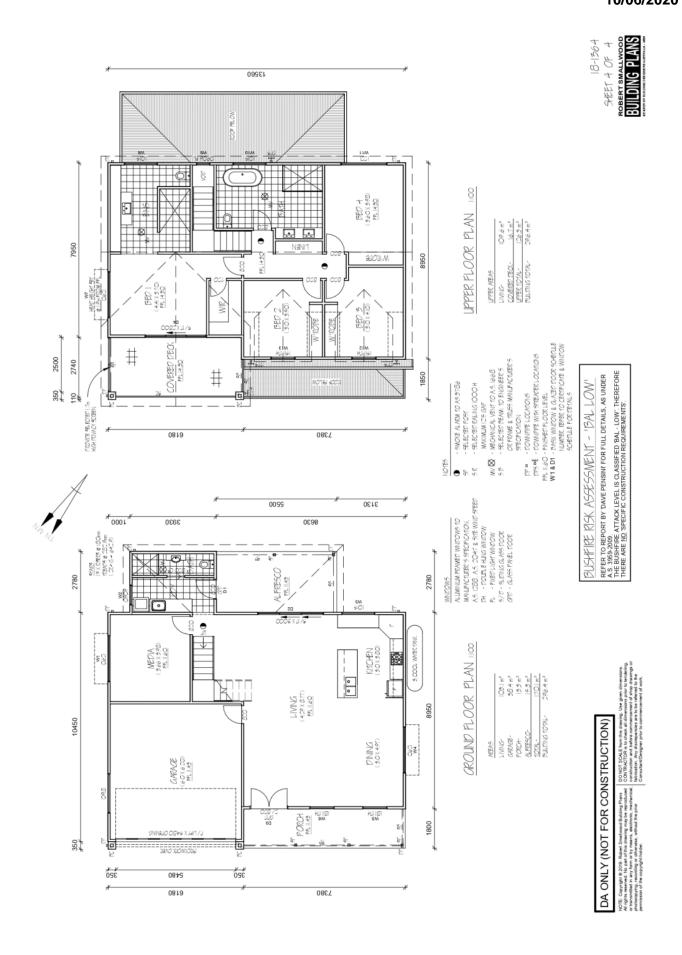
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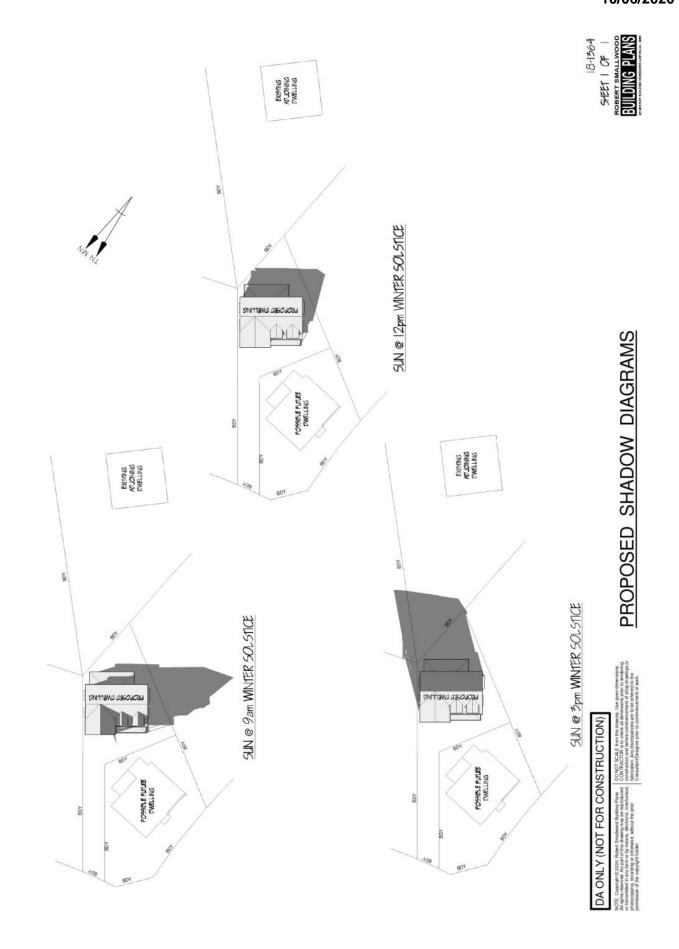
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DA ONLY (NOT FOR CONSTRUCTION)

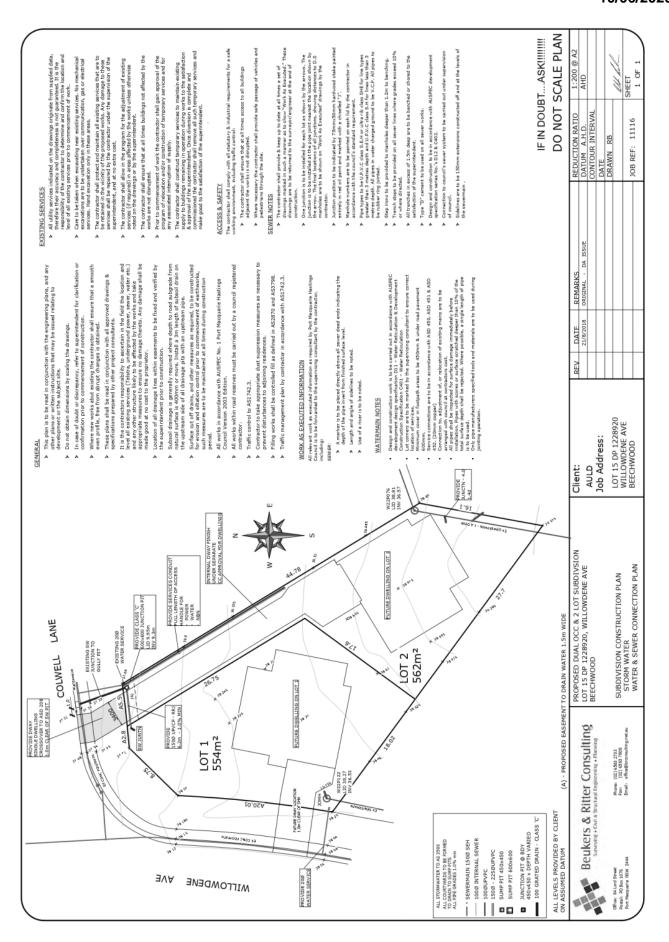
P. Robert Smallwood Building Plans and of this drawing may be reproduced in or by means, electronic, mechanical, or otherwise, without the prior or otherwise, without the prior







Item 06 Attachment 2 Page 74



Developer Charges - Estimate

Applicants Name: P Auld
Property Address: Willow Dene Avenue, Beechwood Lot & Dp: Lot(s):15,DP(s):1228922 Development: Dual Occupancy and Strata Subdivision



Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000.

Other contributions are levied under Section 7.11 of the Environmental Planning and Assessment Act and Council's Contribution Plans. Units Cost Estimate \$10,322.00 \$10.322.00 Per ET 1 Water Supply 2 Sewerage Scheme Wauchope \$3,916.00 Per ET \$3,916.00 Since 1.7.04 - Major Roads - Rural -\$5,843.00 \$5,843.00 Per ET Since 31.7.18 - Open Space - Rural -\$4,905.00 Per ET 1 Per ET Commenced 3 April 2006 - Com, Cul and Em Services CP - Rural \$4,507.00 Per ET \$4,507.00 Com 1.3.07 - Administration Building 6 1 \$921.00 Per ET \$921.00 Commenced 3 April 2006 - Com, Cul and Em Services CP - Bushfire \$511.00 Per ET \$511.00 8 N/A 9 N/A 10 N/A 11 N/A Not for Payment Purposes 12 N/A 14 N/A Admin General Levy - Applicable to 15 2.2% S94 Contribution \$367.10 Consents approved after 11/2/03 16 17 18 \$31,292.10 Total Amount of Estimate (Not for Payment Purposes)

NOTES: These contribution rates apply to new development and should be used as a guide only.

Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).

DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement. Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

3-Jun-2020

Estimate Prepared By Steven Ford

This is an ESTIMATE ONLY - NOT for Payment Purposes

s\P Auld, Willow Dene Avenue, Beechwood, 3-Jun-2020.xls

PORT MACQUARIE-HASTINGS COUNCIL

Item: 07

Subject: DA2020 - 65.1 STAGED MULTI DWELLING HOUSING INCLUDING

CLAUSE 4.6 VARIATION TO CLAUSE 4.3 (HEIGHT OF BUILDINGS)
OF PORT MACQUARIE-HASTINGS LOCAL ENVIRONMENTAL PLAN
2011 AND COMMUNITY TITLE SUBDIVISION AT LOT 2 DP 1188545.

PACIFIC DRIVE, PORT MACQUARIE

Report Author: Development Assessment Planner, Benjamin Roberts

Applicant: Land Dynamics Australia
Owner: Transit Hill Estate Pty Ltd

Estimated Cost: \$6,270,000 Parcel no: 63335

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA2020 - 65.1 for Staged Multi Dwelling Housing including a Clause 4.6 Variation to Clause 4.3 (Height of Buildings) of Port Macquarie-Hastings Local Environmental Plan 2011 and Community Title Subdivision at Lot 2, DP 1188545, Pacific Drive, Port Macquarie, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for staged multi dwelling housing including a clause 4.6 variation to clause 4.3 (height of buildings) of Port Macquarie-Hastings Local Environmental Plan 2011 and community title subdivision at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, two (2) submissions were received. A copy of the submissions has been provided separately to the DAP members.

Amendments have been made to the proposal during assessment which primarily include Lot 5 dwelling and Lot 9 dwelling driveways.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls as justified. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.



This report recommends that the development application be approved subject to the conditions included in **Attachment 1**.

1. BACKGROUND

Existing Sites Features and Surrounding Development

The subject land is described as Lot 2 DP 1188545, Livingstone Road, Port Macquarie. However, the site primarily fronts Pacific Drive and has an area of 7.688 hectares. The site is located on the southern aspect of what's commonly known as 'Transit Hill' and slopes away significantly from north to south.

The site is vacant land (i.e. contains no dwelling or building structures). The north western portion of the site is heavily vegetated and the south eastern portion is partly cleared. These areas of the site are zoned E2 Environmental Conservation and R1 General Residential, respectively, in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011 as shown in the following zoning plan:



The site is predominantly surrounded by residential dwelling houses to the south, east and north which are typically two storey in nature having regard to the slope.

The site adjoins Council road reservation (unconstructed) to the west and combination of Crown and Council owned land to the north containing a water supply reservoir and telecommunication infrastructure (i.e. towers).

The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:





Background and Development History

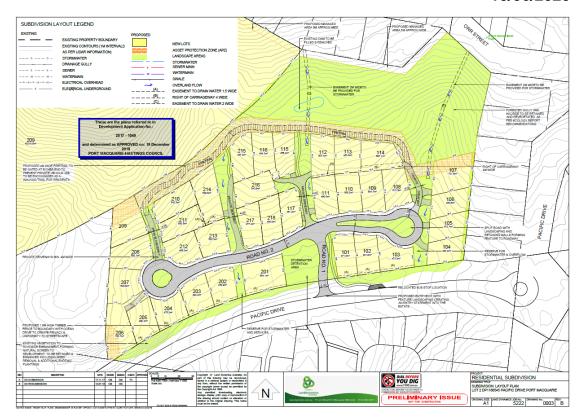
On 19 December 2018 a deferred commencement consent (via DA2017/1049) was granted by Council for a staged residential community title subdivision comprising 35 lots which included earthworks and vegetation removal. The deferred commencement conditions were satisfied and development consent issued on 3 September 2019.

Vegetation removal and earthworks have commenced on the site.

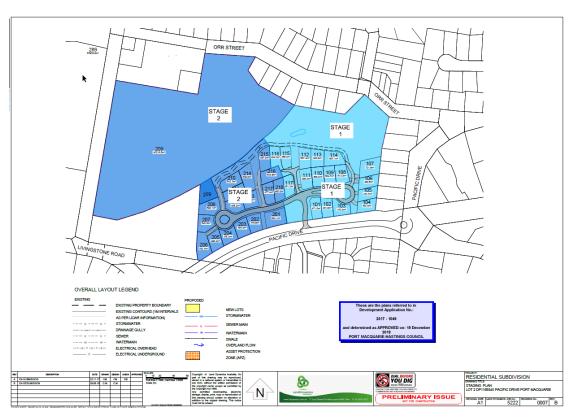
The approved subdivision layout and staging under DA2017/1049 is provided below:



DEVELOPMENT ASSESSMENT PANEL 10/06/2020



The approved staging plan is provided as follows:



The approved concept landscaping plan is provided as follows:



DEVELOPMENT ASSESSMENT PANEL 10/06/2020



2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Construction of nineteen (19) dwellings
- Community Title subdivision and associated infrastructure
- Staging

The applicant has advised during the assessment of the application that all civil works under this application and DA2017/1049 are to be completed prior to the release of the linen plan/subdivision certificate for the community title subdivision across this section of the site.

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

Application Chronology

- 4 February 2020 Application lodged.
- 12 February 2020 Referral to NSW Rural Fire Service.
- 14 to 27 February 2020 Public exhibition via neighbour notification.
- 21 February 2020 Additional information request.
- 30 March 2020 Additional information response with revised SOEE and plans.
- 14 April 2020 Bushfire Safety Authority received from NSW Rural Fire Service.
- 4 May 2020 Additional information request.
- 19 May 2020 Additional information response with revised plans.

3. STATUTORY ASSESSMENT

Section 4.15(1) Matters for Consideration



In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

State Environmental Planning Policy (Koala Habitat Protection) 2019

Clause 5 - This SEPP applies to the Port Macquarie-Hastings Local Government Area.

Clause 10 - The site is identified on the Koala Development Application Map and the land has an area greater than 1 hectare including adjoining land in the same ownership.

Clause 15 - A development application made, but not finally determined, before the commencement of this Policy in relation to land to which this Policy applies must be determined as if this Policy had not commenced. The application was made and not finally determined prior to the commencement of this policy, and the application is therefore required to be assessed under the relevant provisions of State Environmental Policy No 44 - Koala Habitat Protection. See assessment comments below.

State Environmental Planning Policy No. 44 - Koala Habitat Protection

With reference to clauses 6 and 7, the subject land is greater than 1 hectare (including any adjoining land under same ownership) and therefore the provisions of SEPP must be considered.

There is no Koala Plan of Management on the site and no tree removal proposed. Therefore, no further investigations are required.

It is noted that DA2017/1049 for the subdivision was supported by a Koala Habitat assessment which concluded that the site did not qualify as potential Koala habitat.

State Environmental Planning Policy No.55 – Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended residential use.

State Environmental Planning Policy No. 62 – Sustainable Aquaculture

Given the nature and location of the proposed development there will be no adverse impacts on any existing aquaculture industries.

State Environmental Planning Policy No. 64 – Advertising and Signage

The proposal does not incorporate any signage.

State Environmental Planning Policy (Infrastructure) 2007



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Consistent with clause 102 and taking into consideration the guideline titled "Development near rail corridors and busy roads – Interim Guideline 2008" the daily traffic volumes along Pacific Drive are not in the vicinity of 40,000 average daily vehicles, rather approximately 7,000 based on Council traffic data counts. Having regard to traffic volumes, approximate setback to kerb from Pacific Drive and the 1.8m high timber fence approved along the rear of the lots, the standard LAeq levels are expected to be met for residential accommodation and no adverse impacts are anticipated by road noise or vibration.

Pacific Drive is not a classified road and the proposal is not a traffic generating development identified in schedule 3 via clause 104 of this policy. Accordingly, the application was not referred to Roads and Maritime Services. Refer roads, transport and traffic heading later within this report for traffic impacts.

State Environmental Planning Policy (State and Regional Development) 2011

The proposed development does not have a capital investment value of more than \$30 million and is therefore not recognised regional development under this policy.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 The site of the proposed development is zoned R1 General Residential. Multi dwelling housing is permissible with consent in the R1 zone.
- Clause 2.3(2) The objectives of the R1 zone are as follows:
 - To provide for the housing needs of the community.
 - o To provide for a variety of housing types and densities.
 - To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- Clause 2.3(2) The proposal is consistent with the zone objectives specifically:
 - o the proposal is a permissible landuse;
 - o the proposal will provide for housing needs of the community;
- Clause 2.6 Consistent with clause 2.6, land to which the LEP applies may be subdivided with development consent.
- Clause 4.1 Does not apply as the proposal is for community title subdivision.
- Clause 4.3 This clause establishes the maximum "height of a building" (or building height) that a building may be built to on any parcel of land. The term "building height (or height of building)" is defined in the LEP to mean "the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like". The term "ground level (existing)" is also defined in the LEP to mean "the existing level of a site at any point".

The subject site has a maximum building height of 8.5m identified on the height of buildings map. The maximum building height proposed (dwelling 15) is 9.2m, which represents a variation of 9%. Six (6) dwellings are proposed that would exceed the height limit and they are as follows:



- Dwelling 2 at 8.8m, representing a 3.5% variation
- Dwelling 3 at 8.9m representing a 4.7% variation
- Dwelling 4 at 8.9m, representing a 4.7% variation
- Dwelling 7 at 9.079m representing a 6.8% variation
- Dwelling 8 at 8.55m representing a 0.5% variation
- Dwelling 15 at 9.2m representing a 9% variation

The submitted plans identify the parts of the buildings that exceed the height limit. The applicant has submitted a clause 4.6 variation supporting the application, which is addressed under the following clause 4.6 section of this report.

- Clause 4.4 The floor space ratio of the proposal is 0.39:1 (residential zoned land in eastern portion only). The maximum floor space ratio standard applicable to the site is 0.65:1 and the proposal complies.
- Clause 4.6 This clause establishes a degree of flexibility for certain development standards in certain circumstances which have demonstrated that a better planning outcome will occur from that flexibility.
 - As illustrated on the plans the bulk of the dwellings exceeding the height limit sit within the building height standard. Specifically, its portions of the roof that protrude above the height plane.

Assistance on the approach to variation of this standard is also taken from NSW Land and Environment Court and NSW Court of Appeal decisions in:

- 1. Wehbe v Pittwater Council (2007) NSW LEC 827 (Wehbe):
- 2. Four2Five Pty Ltd v Ashfield Council (2015) NSWLEC 1009; and
- 3. Al Maha Pty Ltd v Huajun Investments Pty Ltd (2018) NSWCA 245
- Having regard to specific requirements of clause 4.6(3) and 4.6(4) the following assessment comments are provided:
- (3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:
 - (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and
 - (b) that there are sufficient environmental planning grounds to justify contravening the development standard.

Comments: The applicant has submitted a written request in writing seeking justification for contravention of the building height standard for the following reasons (as summarised):

- The steep slope (topography represents a significant site constraint in providing strict compliance with the standard.
- The proposal is consistent with the height of buildings objectives and zone objectives notwithstanding non-compliance with the standard.
 Compliance with the development standard in unnecessary in the circumstances of this case notwithstanding the numerical variation.

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- (4) Development consent must not be granted for development that contravenes a development standard unless:
 - (a) the consent authority is satisfied that:
 - (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3)

In *Wehbe* 'five methods' have been developed to test whether a compliance with the standard is unreasonable or unnecessary:

- The objectives of the standard are achieved notwithstanding the noncompliance with the numerical standard and therefore compliance is unnecessary.
- 2. The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary.
- 3. The underlying object or purpose of the standard would be defeated or thwarted if compliance was required and therefore compliance is unreasonable.
- The development standard has been virtually abandoned or destroyed by the Council's own actions in granting a consent to proposals departing from the standard and hence compliance is unreasonable and unnecessary.
- 5. The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land.

The proposal relies upon the first test and it is considered that the applicant's written request has satisfactorily demonstrated that the proposed development will achieve the objectives of the height of building development standard despite numerical non-compliance.

There are considered to be sufficient environmental planning grounds to justify a variation to the development standard on the following basis:

- The site contains some steep topography. The building designs respond to this constraint by stepping up the sites.
- The buildings have an appropriate built form and appearance envisaged for the locality and the objectives of both the building height standard and R1 zone are achieved.
- The portions of the roofs that exceed the height limit are a small part of the roof and generally located where the building steps to accommodate the fall of the land.
- The building heights would not result in any adverse amenity impacts to neighbouring properties.
- The height variation does not result in the development achieving any additional floor area compared with a compliant proposal.
- The only dwellings with height variations fronting Pacific Drive are Lot 2, 3 and 4. The southern sections of these dwellings are under the building height limit and setback greater than the standard minimum 4.5m setback to Pacific Drive. The Lot 5 and 6 dwellings fronting Pacific Drive comply with the 8.5m height limit.

On the basis of the above, it is considered that the Applicant's clause 4.6 variation has adequately addressed the matters required to be demonstrated by clause 4.6(3).



(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out,

The consistency of the proposal with the zone objectives has been discussed above under clause 2.3. Consideration of the proposal's consistency with the objectives of the building height standard (clause 4.3) is provided as follows:

•

(a) to ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality,

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- Comments: The variations are primarily for small portions of roofing in response to the site topography. The majority of the buildings and their bulk sit beneath the 8.5m height limit. The two-storey design is consistent with that of dwellings in the immediate locality.
- (b) to minimise visual impact, disruption of views, loss of privacy and loss of solar access to existing development,

Comments: The visual impact of the buildings is minimal and considered satisfactory. There are no adverse view or solar access impacts.

Visual privacy is maintained by provision of landscape screen plantings along the eastern boundaries of dwellings 6 to 10.

(c) to minimise the adverse impact of development on heritage conservation areas and heritage items,

Comments: The site does not contain or adjoin and heritage conservation areas or heritage items. No adverse impacts would result.

(d) to nominate heights that will provide a transition in built form and land use intensity within the area covered by this Plan.

Comments: The proposal will provide for buildings that adequately respond to the site constraints and provide built forms and land use intensity envisaged for the area.

The development is consistent with the building height and zone objectives of the LEP 2011 and is unlikely to have any implications on State related issues or the broader public interest.

(a) the concurrence of the Secretary has been obtained.

Comments: In accordance Planning Circular PS20-002 issued by NSW Planning and Environment, dated 5 May 2020, Council can assume the Director's concurrence for clause 4.6 variations to the height of buildings standard. The proposed variations contravene the numerical standard by less than 10% and therefore may be determined under delegation and does not need to be determined at an Ordinary meeting of Council.

Having regard to the above consideration and comments it is recommended that the building height variations be supported.

 Clause 5.10 – Heritage. The site does not contain or adjoin any known heritage items or sites of significance.

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- Clause 7.13 Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required:
 - (a) The supply of water

Comments: A preliminary services plan supports the application which includes provision of water connections to each lot and dwelling. Council's water supply section are satisfied that adequate arrangements will be made for the supply of water expected to be generated from the development.

Specific consent conditions have been recommended requiring final water service sizing to be determined by a hydraulic consultant consistent with the requirements of Australian Standard 3500: Plumbing and Drainage with details to be provided as part of the subdivision works certificate application and section 68 application.

(b) The supply of electricity

Comments: Electricity supply is available. Council is satisfied that satisfactory arrangements will be made with the electricity service provider to accommodate the proposed development.

(c) The disposal and management of sewage

Comments: A preliminary services plan supports the application which includes provision of sewer to each lot and dwelling. Council's sewer supply section are satisfied that adequate capacity is available and arrangements will be made for connection and disposal of sewage expected to be generated from the development. The internal sewerage network shall be privately owned and outlined within a Community Management Statement. The development will be required to discharge all sewage to a single point of connection to Council's sewerage system. Multiple connection points may be permitted subject to the approval of the Water and Sewer Planning Manager. Specifically consent conditions have been recommended requiring sewerage reticulation details to be provided as part of the subdivision works certificate application and section 68 application.

(d) Stormwater drainage or on-site conservation

Comments: A preliminary services plan supports the application which includes provision of stormwater connections to each lot and dwelling. Council's development and stormwater engineers are satisfied that adequate arrangements will be made for stormwater collection and disposal.

(e) Suitable road access

Comments: Suitable road access is capable of being provided directly from Pacific Drive.

Satisfactory arrangements are available for the provision of essential services.

(ii) Any draft instruments that apply to the site or are on exhibition



No draft instruments apply.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

The proposal is for community title subdivision and while the provisions of this plan are targeted at typical Torrens title subdivisions it is appropriate that consideration be given to the provisions to ensure the purpose and intent of the plan is achieved in the development.

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development				
	Requirements	Proposed	Complies	
3.2.2.1	Ancillary development: 4.8m max. height Single storey 60m2 max. area 100m2 for lots >900m2 24 degree max. roof pitch Not located in front setback	No ancillary development located forward of the building line.	Yes	
3.2.2.2	 Articulation zone: Min. 3m front setback An entry feature or portico A balcony, deck, patio, pergola, terrace or verandah A window box treatment A bay window or similar feature An awning or other feature over a window A sun shading feature 	Dwellings 5 and 6 have elements within the articulation zone to Pacific Drive closer than 3m.	No*	
	Front setback (Residential not R5 zone): • Min. 6.0m classified road • Min. 4.5m local road or within 20% of adjoining dwelling if on corner lot • Min. 3.0m secondary road • Min. 2.0m Laneway	Front building line setback to Pacific Drive less than 4.5m for dwellings 4, 5 and 6.	No*	
3.2.2.3	Garage 5.5m min. and 1m behind front façade. Garage door recessed behind building line or eaves/overhangs provided	All garages and parking areas directly connect to the proposed internal private road. To the private road garage doors of dwellings 6, 7, 8, 9 and 10 closer than 5.5m.	No*	
		The garages of	No*	



DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development				
	Requirements	Proposed	Complies	
		dwellings 1, 2, 3 and 4 are not >1m behind the building line.		
		Garage doors are recessed.	Yes	
	6m max. width of garage door/s and 50% max. width of building	All garages and parking areas directly connect to the proposed internal private road.		
		Width of garage doors are 6m or less.	Yes	
		The width of the garage doors are 50% of less of the building width.	Yes	
	Driveway crossover 1/3 max. of site frontage and max. 5.0m width	All garages and parking areas directly connect to the proposed internal private road.	Yes	
		Driveway crossing width requirements are complied with.		
3.2.2.4	4m min. rear setback. Variation subject to site analysis and provision of private open space	The rear boundary is considered to be the northern boundary adjoining the properties along Orr Street. Greater than 4m is provided to the proposed dwellings.	Yes	
		The internal rear setback to the community title boundary is less than 4m for dwellings 16, 17 and 20 to the proposed private fire trail and common property.	No*	
3.2.2.5	Side setbacks: Ground floor = min. 0.9m First floors & above = min. 3m setback or where it can be	The boundary adjoining the existing dwellings to the east is considered the	Yes	



DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development				
	Requirements	Proposed	Complies	
	demonstrated that overshadowing not adverse = 0.9m min. • Building wall set in and out every 12m by 0.5m	eastern side boundary. Side setbacks to the eastern and western side boundary comply.		
		The internal side setbacks of dwellings within the community title lots vary and some are proposed with a zero lot line.	No*	
		The wall articulation satisfies the objectives of the development provision.	Yes	
3.2.2.6	35m2 min. private open space area including a useable 4x4m min. area which has 5% max. grade	Each occupancy contains greater than 35m² open space.	Yes	
		Some dwellings do not contain a directly accessible 4m x 4m dimensioned area.	No*	
3.2.2.7	 Front fences: If solid 1.2m max height and front setback 1.0m with landscaping 3x3m min. splay for corner sites Fences >1.2m to be 1.8m max. height for 50% or 6.0m max. length of street frontage with 25% openings 0.9x0.9m splays adjoining driveway entrances 	No front fences proposed.	N/A	
3.2.2.8	Front fences and walls to have complimentary materials to context No chain wire, solid timber, masonry or solid steel front fences	No front fences proposed.	N/A	
3.2.2.10	Privacy: • Direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent dwellings. ie. 1.8m fence or privacy screening which has 25%	The development will not compromise privacy in the area due to a combination of having high sill windows that face side boundaries, limiting living areas that face adjoining	Yes	



DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development				
Requ	uirements	Proposed	Complies	
fix Plessi be he be he	ax. openings and is permanently ked rivacy screen required if floor evel > 1m height, window de/rear setback (other than edroom) is less than 3m and sill eight less than 1.5m rivacy screens provided to alconies/verandahs etc which eve <3m side/rear setback and por level height >1m	living areas/open space, compliant separation and use of screening/fencing.		

DCP 20	13: General Provisions		
	Requirements	Proposed	Complies
2.7.2.2	Design addresses generic principles of Crime Prevention Through Environmental Design guideline	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes
2.3.3.1	1 Cut and fill 1.0m max. 1m outside the perimeter of the external building walls Cut and fill proposed >1m outside the perimeter of the external building walls		No*
2.3.3.2	1m max. height retaining walls along road frontage	None proposed	N/A
	Any retaining wall >1.0 in height to be certified by structure engineer	Condition recommended to require engineering certification	Yes
	Combination of retaining wall and front fence height max 1.8m, max length 6.0m or 30% of frontage, fence component 25% transparent, and splay at corners and adjacent to driveway	No combination proposed.	N/A
2.3.3.8	Removal of hollow bearing trees	No trees proposed to be removed.	N/A
2.6.3.1	Tree removal (3m or higher with 100m diameter trunk at 1m above ground level and 3m from external wall of existing dwelling)	No trees proposed to be removed.	N/A
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.	
2.5.3.2	New accesses not permitted from arterial or distributor roads	No new access proposed to arterial or distributor road.	N/A
	Driveway crossing/s minimal in number and width including	Driveway crossings are minimal in width	Yes



	Requirements	Proposed	Complies
	maximising street parking	including maximising street parking.	
2.5.3.3	Parking in accordance with Table 2.5.1. Multi dwelling 1.5 spaces per 3+ bedroom occupancies 0.25 spaces per occupancy for visitor parking.	The proposal would result in 19 dwellings comprising 3 or more bedrooms. Therefore, a total of 34 spaces is required. Each dwelling comprises a double garage with additional stacked parking available in each driveway for visitors i.e. 57 spaces proposed.	Yes
2.5.3.11	Section 94 contributions	Contributions apply - refer to ET calc and NOP.	Yes
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Suitable landscaping proposed around driveway/parking locations.	Yes
2.5.3.14	Sealed driveway surfaces unless justified	Sealed driveway areas proposed.	Yes
2.5.3.15 and 2.5.3.16	Driveway grades first 6m or 'parking area' shall be 5% grade with transitions of 2m length	Driveway grades capable of satisfying Council standard driveway crossover requirements. Condition recommended for section 138 Roads Act permit	Yes
2.5.3.17	Parking areas to be designed to avoid concentrations of water runoff on the surface.	Stormwater drainage is capable of being managed as part of plumbing construction.	Yes

The proposal seeks to vary Development Provision 3.2.2.2 relating to dwelling incorporating an articulation zone to a street frontage of no less than 3m. Proposed dwellings 4, 5 and 6 incorporate elements within 3m.

The relevant objectives are:

• Front setbacks should support an attractive streetscape.

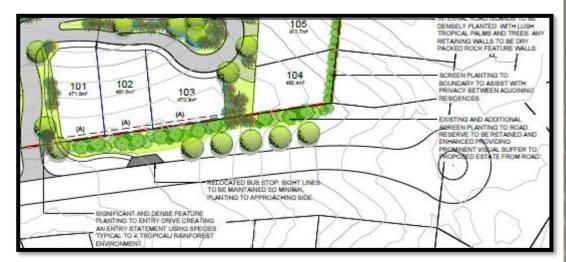
Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

• Lot 5 is oddly shaped and the design and orientation of the proposed dwelling has responded to this lot shape. The setback to Pacific Drive boundary for



dwelling 5 is variable with two sections being closest at 2.722m and 1.925m respectively.

- Lot 6 is angled and the setback to the Pacific Drive boundary for dwelling 6 is variable with two sections being closest at 2.018m and 1.526m which extends out to 2.503m.
- No boundary fencing is proposed under this application but it's assumed that
 1.8m fencing will follow as exempt development along the Pacific Drive frontage.
- Landscaping and screen plantings are approved under DA2017/1049 and it has been recommended via consent conditions that it be undertaken as part of this development to soften the streetscape appearance from Pacific Drive. A screen shot from the approved landscape concept plan is provided below for context:



The distance to the edge of the Pacific Drive kerb is approximately 10m in this
area which provides for appropriate visual buffer and accommodation of
landscaping that will support an improved streetscape appearance from that
which typical exists along this road frontage and immediately opposite the site.

The proposal seeks to vary Development Provision relating to 3.2.2.2 relating to a minimum 4.5m setback to the primary road frontage. Pacific Drive is considered to be the primary road frontage. Dwellings 4, 5 and 6 propose a reduced setback being a minimum 4.102m, 1.925m and 1.526m respectively.

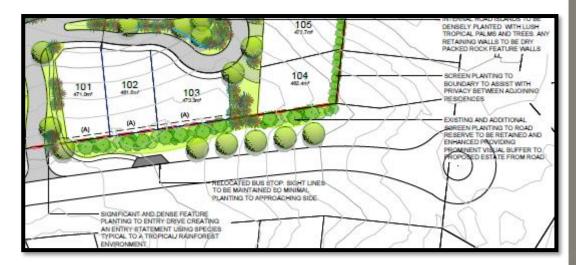
The relevant objectives are:

• Front setbacks should support an attractive streetscape.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- It is unique in that a conventional Torrens subdivision would typically identify this boundary as being the rear. Similar to existing lots along Pacific Drive a rear 1.8m boundary fence presents to the frontage. No boundary fencing is proposed under this application but it's assumed that 1.8m fencing will follow as exempt development along the boundary of these lots and dwellings.
- Landscaping and screen plantings are approved under DA2017/1049 and it has been recommended via consent conditions that it be undertaken as part of this development to soften the streetscape appearance from Pacific Drive. A screen shot from the approved landscape concept plan is provided below for context:





- Dwelling 5 has been designed to respond to the odd lot shape and the open space and living areas orientated north for better solar access which is considered to be a better outcome and is what a normal reduced rear setback encourages within this plan.
- The distance to the edge of the Pacific Drive kerb is approximately 10m in this
 area which provides for appropriate visual buffer and accommodation of
 landscaping that will support an improved streetscape appearance from that
 which typical exists along this road frontage and immediately opposite the site.

The proposal seeks to vary Development Provision relating to 3.2.2.3 relating to garages being 1m behind the building line. The following variations have been identified:

- Dwellings 1, 2, 3, 4 garage is 600mm behind the building line.
- Dwelling 6, 7, 8, 9 and 10 portions of garages closer than 5.5m.

The relevant objectives are:

• Front setbacks should support an attractive streetscape.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- Dwellings 1, 2, 3 and 4 still incorporate an entry porch feature forward of the garage and first floor extension over the garage which take away from any garage dominance.
- The portions of the garages within 5.5m for dwellings 6, 7, 8, 9 and 10 is primarily a result of the lot shape angle at the frontage. The garage setbacks extend beyond 5.5m as the lot angle is followed. There will be sufficient length in the driveway to accommodate off-street parking.
- The internal road network is proposed as private under community title and the
 portions of the garages closer than 5.5m and those with the garage only 600mm
 behind the building line will not be visible from the public domain so will not
 impact upon its streetscape appearance.

The proposal seeks to vary Development Provision relating to 3.2.2.4 relating to the rear boundary setback of 4m. Specifically the internal rear setback to the community title boundary is less than 4m for dwellings 16, 17 and 20 to the north.



The relevant objectives are:

- To allow adequate natural light and ventilation between dwellings/buildings and to private open space areas.
- To provide useable yard areas and open space.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- For dwelling 16 it is only a portion of building that is setback 1.56m from the
 internal community title boundary. The main alfresco area and open space
 area has been position in the north western part of the lot and is setback over
 4m from that part of the lot boundary.
- The design of dwelling 16 and positioning of the private open space provides for usable yard space and adequate natural light and ventilation.
- Only a small portion of the wall to dwelling 17 is setback 3.781m. The setback extends out to 5.2m given the angle of the rear boundary. The minor encroachment still provides adequate light and ventilation to the private open space area and useable yard area.
- The rear setback of 2.923m for dwelling 20 still provides for adequate natural light and ventilation to the open space area given the north orientation.
 Useable yard area is limited noting the extent of cut and rock retaining proposed however it does provide the 4x4 area with usable yard area in the front setback of the dwelling.

The proposal seeks to vary Development Provision relating to 3.2.2.5 relating to side boundary setbacks. Specifically, the internal side setbacks to the community title boundaries (assumed that subdivision will come first) is less than 900mm for ground floor and 3m for first floor for some dwellings. Specifically, the following variations are identified:

- Dwelling 2 zero lot line to eastern boundary. First floors within 3m.
- Dwelling 3 zero lot line to western boundary. First floors within 3m.
- Dwelling 4 first floors within 3m.
- Dwelling 6 first floors within 3m.
- Dwelling 7 first floors within 3m.
- Dwelling 8 first floors within 3m.
- Dwelling 9 first floors within 3m.
- Dwelling 10 first floors within 3m.
- Dwelling 11 first floors within 3m.
- Dwelling 12 first floors within 3m.
- Dwelling 13 first floors within 3m.
- Dwelling 14 first floors within 3m.
- Dwelling 15 first floors within 3m.
- Dwelling 16 ground floor 0.218m and first floors within 3m.
- Dwelling 17 first floors within 3m.
- Dwelling 18 first floors within 3m.
- Dwelling 19 first floors within 3m.
- Dwelling 20 first floors within 3m.

The relevant objectives are:



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- To reduce overbearing and perceptions of building bulk on adjoining properties and to maintain privacy.
- To provide for visual and acoustic privacy between dwellings.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The proposal is for a community title arrangement with private internal road network and not typical of a standard Torrens title subdivision and layout that would otherwise provide separation between dwellings.
- The reduced setback is primarily a result of the topography of the site. Specifically, the split levels proposed which appear as two storey and above are a direct result of stepping up the sites.
- The bulk and scale impacts to adjoining properties outside of the development proposal is considered minimal.
- The design of the dwellings and location of primary open space areas accompanied with window treatments maintains sufficient visual and acoustic privacy between proposed dwellings and adjacent primary open space areas.

The proposal seeks to vary Development Provision 3.2.2.6 requiring a minimum dimensioned 4m x 4m area that is directly accessible from a ground floor living area. Specifically, the following has been identified:

- Dwelling 2 ground floor alfresco is dimensioned 3.75m x 5.17m.
- Dwelling 3 ground floor alfresco is dimensioned 3.52m x 5.17m.
- Dwelling 4 ground floor alfresco is dimensioned 3.75m x 5.17m.
- Dwelling 5 ground floor alfresco is dimensioned 3.6m x 3.2m.
- Dwelling 6 ground floor alfresco is dimensioned 4.5m x 3.55m.
- Dwelling 7 ground floor alfresco is dimensioned 4.5m x 3.55m.
- Dwelling 8 ground floor alfresco is dimensioned 4.5m x 3.55m.
- Dwelling 9 ground floor alfresco is dimensioned 6m x 3.55m.
- Dwelling 10 ground floor alfresco is dimensioned 6m x 3.5m.
- Dwelling 15 ground floor alfresco is dimensioned 3.92m x 5.56m.
- Dwelling 17 ground floor alfresco is dimensioned 3.9m x 4.3m.
- Dwelling 18 ground floor alfresco is dimensioned 3.9m x 4.3m.

The relevant objectives are:

 To encourage useable private open space for dwellings to meet the occupant's requirements for privacy, safety, access, outdoor activities and landscaping.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- In most instances the dimensioned area falls just short (being no more than 0.6m as the minimum) of the 4m length along one dimension but provides extra length >4m on the other dimension.
- In most cases additional useable areas are provided either in the form of balconies or additional areas joined to the direct accessible areas.
- The variation is considered minor and the dwellings will be provided with useable directly accessible open space.



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The proposal seeks to vary Development Provision relating to 2.3.3.1 which provides that development shall not exceed a maximum cut of 1m and fill of 1m outside the perimeter of the external walls of the building. The proposal incorporates cut and fill over 1m. Specifically the following has been identified:

- Fill over 1m to the rear of lots 2 to 4 and side of lot 6.
- Cut and fill over 1m to southern and northern boundaries of lot 7.
- Cut over 1m along the northern boundary of lot 8.
- Cut and fill over 1m to northern and southern boundaries of lot 9.
- Cut and fill over 1m to northern and southern boundaries of lot 10.
- Cut over 1m along the northern boundary of lot 11.
- Cut over 1m along the northern boundary of lot 12.
- Cut over 1m along the northern boundary of lot 13.
- Cut over 1m along the northern boundary of lot 14.
- Cut over 1m along the northern boundary of lot 15.
- Cut over 1m along the northern boundary of lot 16.
- Cut over 1m along the northern boundary of lot 17.
- Cut over 1m along the northern boundary of lot 18.
- Cut over 1m along the northern boundary of lot 19.
- Cut over 1m along the northern boundary of lot 20.

The relevant objectives are:

- Minimise the extent of site disturbance caused by excessive cut and fill to the site.
- Ensure there is no damage or instability to adjoining properties caused by excavation or filling.
- Ensure that there is no adverse alteration to the drainage of adjoining properties.
- Ensure the privacy of adjoining dwellings and private open space are protected.
- Ensure that adequate stormwater drainage is provided around the perimeter of buildings and that overflow paths are provided.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The extent of cut and fill proposed is a direct result of the steep topography of the site.
- The cut and fill exceeding 1m is required to be engineer designed and certified. Suitable consent condition is recommended.
- Stormwater drainage is capable of being managed to ensure no adverse impacts to adjoining properties.
- The privacy between dwellings and adjoining open space areas is maintained.

Based on the above assessment, the variations proposed to the provisions of the DCP are considered acceptable and the relevant objectives have been satisfied.

Cumulatively, the variations do not amount to an adverse impact or a significance that would justify refusal of the application.



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Note: Subdivision provisions of the DCP are aimed at the creation of vacant lots (i.e. not lots within an integrated housing proposal such as this) and have therefore been excluded from the above assessment. Servicing requirements are discussed later in this report.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into.

(iv) Any matters prescribed by the Regulations

New South Wales Coastal Policy

The proposed development is consistent with the objectives and strategic actions of this policy.

(v) Any coastal zone management plan (within the meaning of the <u>Coastal Protection Act 1979</u>), that apply to the land to which the development application relates

No Coastal Zone Management Plan applies to the subject site.

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

Context and setting

The site primarily fronts Pacific Drive and has an area of 7.688 hectares. The site is located on the southern aspect of what's commonly known as 'Transit Hill' and slopes away significantly from north to south.

The site is vacant land (i.e. contains no dwelling or building structures). The north western portion of the site is heavily vegetated and the south eastern portion being the location of this proposal is cleared with earthworks undertaken for internal roads and infrastructure under DA2017/1049.

The site is predominantly surrounded by residential dwelling houses to the south, east and north which are typically two storey in nature having regard to the slope.

Having regard to existing development within the locality the proposal is considered to be consistent with the locality and adequately addresses planning controls for the area.

Roads

The site has road frontage to Pacific Drive.

Pacific Drive is a two-coat sealed public road under the care and control of Council. It has a 2m wide sealed shoulder for the frontage of the site. Pacific Drive is classified as an Urban Distributor.

This development has proposed an access to the site from Pacific Drive in the vicinity of the sag point along Pacific Drive. The development has proposed a channelised right turn into the development only. Review of the traffic impact statement would indicate that an auxiliary left turn is also required, given the downward grade of the approach and the sight distances from the crest of the road. The design of the



DEVELOPMENT ASSESSMENT PANEL 10/06/2020

intersection will be required to comply with AustRoads. Road widening shall be required to facilitate the additional lane widths to accommodate the turning lanes whilst maintaining the 2.0m sealed shoulders. All road works have been conditioned for AC finish to the surface.

Transport and Traffic

The application includes a Traffic Impact Assessment prepared by Streetwise Road Safety, which was updated on the 3 October 2019.

This application includes an additional 2 lots within Stage 1 (subject eastern section) of the site compared to that of the original DA being 2017/1049. The additional traffic associated with the development is unlikely to have any adverse impacts to the existing road network within the immediate locality.

Traffic Impact Assessment from Streetwise Road Safety suitably addresses this proposal and the previously required intersection upgrades are still relevant and sufficient.

Site Frontage and Access

Vehicle access to the site is proposed though an individual driveway to internal private roads. The accessway shall be provided in concrete and compliant with Council's heavy duty standard crossover. Access shall comply with Council AUSPEC and Australian Standards, and conditions have been imposed to reflect these requirements.

Due to the type and size of development, additional works are required to include:

- Road widening to accommodate turning lanes and maintain the existing sealed shoulders.
- Concrete footpath paving (minimum 1.5m wide) along the full frontage and including a refuge to the existing network on Boonamin Road.

Stormwater

The site naturally grades towards Pacific Drive. Council's development engineer has reviewed the proposed development and preliminary stormwater management plan and is satisfied that adequate details and arrangements are proposed for effective stormwater management and drainage of the proposed development. A more detailed stormwater management plan is required prior to issue of any construction certificate. Refer to recommend conditions of consent.

Water Supply Connection

Each proposed dwelling will need to be separately metered for water, meters may be either located at the road frontage or internally with a master meter at the boundary. All design and works shall be in accordance with Council's adopted AUSPEC Specifications. Final water service sizing will need to be determined by a hydraulic consultant to suit the development as well as addressing fire service coverage to AS 2419 and backflow protection.

Detailed plans will be required to be submitted for assessment with the S.68 application. Refer to recommended conditions of consent.

Sewer Connection

The proposed development shall drain all sewage to a new junction out of the existing sewer manhole on Pacific Drive road reserve unless otherwise agreed by Council's Water and Sewer Planning Manager.



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All design and works shall be in accordance with Council's adopted AUSPEC Specifications. Detailed plans will be required to be submitted for assessment with the S.68 application. Refer to recommended conditions of consent.

Other Utilities

Telecommunication and electricity services can be made available to the site.

Evidence of satisfactory arrangements with the relevant utility authorities for provision to each proposed lot will be required prior to Subdivision Certificate approval. Refer to recommended conditions of consent.

Heritage

No known items of Aboriginal or European heritage significance exist on the property. No adverse impacts anticipated.

Other land resources

The site is within an urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will be unlikely to have any adverse impacts on water resources and the water cycle.

Soils

The proposed development will be unlikely to have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

Air and microclimate

The construction and/or operations of the proposed development will be unlikely to result in any adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

Waste

Satisfactory arrangements can be made for proposed storage and collection of waste and recyclables. A private waste collection service will be necessary and conditions have been recommended to reinforce this. No adverse impacts anticipated. Standard precautionary site management condition recommended.

Energy

No adverse impacts anticipated. BASIX certificates accompanied the application.

Noise and vibration

No adverse impacts anticipated. Condition recommended to restrict construction to standard construction hours.

Bushfire

The site is identified as being bushfire prone. The applicant has submitted a bushfire assessment report prepared by Building Code & Bushfire Hazard Solutions Pty Ltd,



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dated 22 January 2020. In accordance with Section 100B of the Rural Fires Act, 1997, the application proposes development for a Special Fire Protection Purpose.

The Commissioner has assessed the development and has issued a Bushfire Safety Authority consisting of General Terms of Approval which form part of the recommended conditions of consent.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The increase in housing density will improve natural surveillance within the locality and openings from each dwelling overlook common and private areas.

Social impacts in the locality

Given the nature of the proposed development and its' location the proposal is unlikely to result in any adverse social impacts.

Economic impact in the locality

No adverse impacts. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

Construction

No potential adverse impacts identified to neighbouring properties with the construction of the proposal.

Cumulative Impacts

The proposed development is not expected to have any adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development:

The proposal will fit into the locality and site constraints have been adequately addressed and appropriate conditions of consent recommended.

(d) Any submissions made in accordance with this Act or the Regulations

Two (2) written submissions were received following public exhibition of the application. Copies of the written submissions have been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:



Submission Issue/Summary	Planning Comment/Response
The addition of an extra lot and dwelling along the eastern boundary	The site has a residential zoning and the impact to any views into and across this
will further diminish views from the	site is considered negligible.
existing dwelling at 200 Pacific Drive.	
The screen plantings proposed to	Refer to above comments surrounding
protect privacy will further disrupt views from the existing dwelling at 200	view impact. The addition of landscaped plantings will not only protect privacy but
Pacific Drive.	soften the visual outlet looking west.
With the increased traffic it would be a	This is not considered a relevant matter
good time to install 'concealed	to this development application. The
driveway' signs on the north bound lead up to the Pacific Drive roundabout	existing road network has the capacity to accommodate the increased traffic
to make it safer for existing residents	attributable to this development.
along Pacific Drive to enter the traffic	Appropriate intersection treatments are
flow.	required at the entry point to Pacific
T1	Drive.
The extent of the height variation sought is not clear. No height variation	The height variations sought to proposed dwellings 2, 3, 4, 7, 8 and 15 are clearly
should be granted as it will impact on	illustrated on the revised plans received
ongoing development and existing	during assessment and attached to this
development. Especially those	report. Refer to assessment comments
enjoying a southern aspect.	under clause 4.6 of LEP heading within
The proposed DAL 20 construction	this report.
The proposed BAL 29 construction standard and APZs are not considered	The proposed BAL construction and APZs are considered appropriate,
enough due to expected fire	consistent with Planning for Bushfire
behaviour. High density development	Protection Guidelines and have been
close to forest with high undergrowth is	reviewed by the NSW RFS.
dangerous.	
Object to high density development	The proposed density and roof lines are
with various roof lines higher than normal. The roofs may not be wind	considered appropriate and consistent with what could be expected in a
tolerant and will add to low sunlight in	residential zone on a slopping site. Refer
winter promoting mould growth.	to LEP comments.

(e) The Public Interest

The proposed development satisfies relevant planning controls as justified and will not adversely impact on the wider public interest.

DEVELOPMENT CONTRIBUTIONS APPLICABLE 4.

- Development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- Development contributions will be required in accordance with Section 7.11 of the Environmental Planning and Assessment Act 1979 towards roads, open space, community cultural services, emergency services and administration buildings.
- A copy of the contributions estimate is included as Attachment 3.



5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls as justified. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

Attachments

- 1. DA2020 65.1 Recommended Conditions
- 2. DA2020 65.1 Plans
- 31. DA2020 65.1 Development Contributions Estimate
- 4. DA2020 65.1 Bushfire Safety Authority conditions NSW RFS
- 5. DA2020 65.1 DCP Compliance Table
- 6. DA2020 65.1 SOEE
- 7. DA2020 65.1 Bushfire Report
- 8. DA2020 65.1 Traffic Assessment



FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS

NOTE: THESE ARE DRAFT ONLY

DA NO: 2020/65 DATE: 1/06/2020

PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Statement of Environmental Effects	Revision A	Land Dynamics	26 March 2020
Overall Site Plan with Dwellings	5222 Drawing No:0002 Revision B	Land Dynamics	11 May 2020
Subdivision Lot Layout	5222 Drawing No: 0001 Revision A	Land Dynamics	30 January 2020
Services Concept Layout	5222 Drawing No: 0003 Revision B	Land Dynamics	11 May 2020
Dwelling 2 Plans	D4244 Sheets 1 to 5 Issue H	Collins W Collins	10 March 2020
Dwelling 3 Plans	D4244 Sheets 1 to 5 Issue H	Collins W Collins	10 March 2020
Dwelling 4 Plans	D4244 Sheets 1 to 6 Issue H	Collins W Collins	10 March 2020
Dwelling 5 Plans	D4244 Sheets 1 to 5 Issue J	Collins W Collins	19 May 2020
Dwelling 6 Plans	D4244 Sheets 1 to 5	Collins W Collins	11 March 2020

	Issue G		
Dwelling 7 Plans	D4244 Sheets 1 to 5 Issue G	Collins W Collins	11 March 2020
Dwelling 8 Plans	D4244 Sheets 1 to 5 Issue G	Collins W Collins	11 March 2020
Dwelling 9 Plans	D4244 Sheets 1 to 5 Issue H	Collins W Collins	12 May 2020
Dwelling 10 Plans	D4244 Sheets 1 to 5 Issue G	Collins W Collins	11 March 2020
Dwelling 11 Plans	D4244 Sheets 1 to 5 Issue F	Collins W Collins	12 March 2020
Dwelling 12 Plans	D4244 Sheets 1 to 5 Issue G	Collins W Collins	12 March 2020
Dwelling 13 Plans	D4244 Sheets 1 to 5 Issue D	Collins W Collins	12 March 2020
Dwelling 14 Plans	D4244 Sheets 1 to 5 Issue F	Collins W Collins	12 March 2020
Dwelling 15 Plans	D4244 Sheets 1 to 5 Issue D	Collins W Collins	13 March 2020
Dwelling 16 Plans	D4244 Sheets 1 to 5 Issue H	Collins W Collins	12 March 2020
Dwelling 17 Plans	D4244 Sheets 1 to 5 Issue E	Collins W Collins	12 March 2020
Dwelling 18 Plans	D4244 Sheets 1 to 5 Issue F	Collins W Collins	12 March 2020
Dwelling 19 Plans	D4244 Sheets 1 to 6 Issue D	Collins W Collins	12 March 2020
Dwelling 20 Plans	D4244 Sheets 1 to 6 Issue J	Collins W Collins	12 March 2020

BASIX Certificate	1049587M	Collins w Collins	12	
			December	
			2019	

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No building or subdivision work shall commence until a Construction Certificate or Subdivision Works Certificate has been issued and the applicant has notified Council of:
 - a. the appointment of a Principal Certifying Authority, and
 - b. the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

- (3) (A003) The proponent shall submit an application for a Subdivision Certificate for Council certification with all relevant documentation.
- (4) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
- (5) (A009) The development site is to be managed for the entirety of work in the following manner:
 - Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 - 2. Appropriate dust control measures;
 - Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
 - 4. Building waste is to be managed via an appropriate receptacle;
 - 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
 - Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

- (6) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (7) (A013) The general terms of approval from the following authorities, as referred to in section 4.50 of the Environmental Planning and Assessment Act 1979, and referenced below, are attached and form part of the consent conditions for this approval.
 - NSW Rural Fire Service The General Terms of Approval, Reference DA20200219000652-Original-1 and dated 14 April 2020, are attached and form part of this consent.

- (8) (A017) A separate development application for any proposed advertising signs (other than signs which are exempt development or approved under this consent) must be submitted to and approved by council prior to the erection or display of any such signs.
- (9) (A032) The developer is responsible for any costs relating to minor alterations and extensions to ensure satisfactory transitions of existing roads, drainage and Council services for the purposes of the development.
- (10) (A033) The applicant shall provide security to the Council for the payment of the cost of the following:
 - a. making good any damage caused to any property of the Council as a consequence of doing anything to which the consent relates.
 - completing any public work (such as road work, kerbing and guttering, footway construction, utility services, stormwater drainage and environmental controls) required in connection with the consent.
 - remedying any defects in any such public work that arise within twelve (12) months after the work is completed.

Such security is to be provided to Council prior to the issue of the Subdivision Certificate/Construction Certificate or Section 138 of the Roads Act, 1993.

The security is to be for such reasonable amount as is determined by the consent authority, being an amount that is 10% of the contracted works for Torrens Title subdivision development/the estimated cost plus 30% for building development of public works or \$5000, whichever is the greater of carrying out the development by way of:

i. deposit with the Council, or

ii. an unconditional bank guarantee in favour of the Council.

The security may be used to meet any costs referred to above and on application being made to the Council by the person who provided the security any balance remaining is to be refunded to, or at the direction of, that person. Should Council have to call up the bond and the repair costs exceed the bond amount, a separate invoice will be issued. If no application is made to the Council for a refund of any balance remaining of the security within 6 years after the work to which the security relates has been completed the Council may pay the balance to the Chief Commissioner of State Revenue under the Unclaimed Money Act 1995.

- (11) New 1.8m boundary fencing shall be provided along the boundaries between existing adjoining properties to the east, specifically numbers 197, 198, 199, 200, 201 and 203 Pacific Drive and Number 4 Orr Street. The fencing shall be clearly illustrated on the Construction Certificate plans.
- (12) The ameliorative measures detailed in section 8 on pages 65 to 69 of the statutory ecological assessment, prepared by JB Enviro, dated 29 June 2018, form part of this consent and shall be implemented at the respective stages throughout this development.
- (13) This consent permits the carrying out the development in stages in any order in regards to construction of individual dwellings and/or subdivision lots.

Unless specified, the conditions of this consent will apply to all stages, with any decision on any discrepancy with conditions and associated staging resting with Council.

B - PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE OR SUBDIVISION WORKS CERTIFICATE

(1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings

Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:

- · Position and depth of the sewer (including junction)
- · Stormwater drainage termination point
- Easements
- Water main
- · Proposed water meter location
- (2) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.

Such works include, but not be limited to:

- Civil works
- Traffic management
- · Work zone areas
- Hoardings
- · Concrete foot paving
- Footway and gutter crossing
- · Functional vehicular access
- (3) (B003) Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate or Subdivision Works Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
 - Sewerage reticulation.
 - Water supply plans shall include hydraulic plans for internal water supply services and associated works in accordance with AS 3500, Plumbing Code of Australia and Port Macquarie-Hastings Council Policies.
 - 3. Stormwater systems.
 - 4. Road works along the frontage of the development.
 - 5. New roads within the subdivision.
 - 6. Earthworks, including filling of the land for flood protection
 - Retaining walls.
 - 8. Stormwater systems.
 - 9. Erosion & Sedimentation controls.
 - 10. Landscaping.
 - 11. Traffic management control plan.
 - 12. Detailed driveway profile in accordance with Australian Standard 2890, AUSPEC D1, and ASD202, Port Macquarie-Hastings Council current version.
 - 13. Provision of a bus bays and shelters in accordance with Council's adopted AUSPEC Design and Construction Guidelines and shelters in accordance with Council standard drawings located at Pacific Drive (both sides).
 - 14. Provision of a 1.5m (unless varied in writing by Council) concrete footpath across the full Pacific Drive road frontage of the property.
 - 15. Detailed intersection layout at the junction of development and Pacific Drive in accordance with the current version of the AUSTROADS guidelines for Intersection design, giving particular attention to sight distance.

- (4) (B010) Payment to Council, prior to the issue of the Construction or Subdivision Certificate (whichever occurs first) of the Section 7.11 contributions set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental Planning and Assessment Act 1979 as amended, and in accordance with the provisions of the following plans:
 - Port Macquarie-Hastings Administration Building Contributions Plan 2007
 - Hastings S94 Administration Levy Contributions Plan
 - Port Macquarie-Hastings Open Space Contributions Plan 2018
 - Hastings S94 Major Roads Contributions Plan
 - Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005

The plans may be viewed during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council

- (5) (B011) As part of Notice of Requirements by Port Macquarie-Hastings Council as the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution, prior to the issue of a Construction or Subdivision Certificate (whichever occurs first), of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with the provisions of the relevant Section 64 Development Servicing Plan towards the following:
 - augmentation of the town water supply headworks
 - · augmentation of the town sewerage system headworks
- (6) (B016) Provision to each lot of a separate sewer line to Council's main. All work will need to comply with the requirements of Council's adopted AUSPEC Design and Construction Guidelines and Policies. Any abandoned sewer junctions are to be capped off at Council's sewer main and Council notified to carry out an inspection prior to backfilling of this work.
 - Construction details are to be submitted to Port Macquarie-Hastings Council with the application for Subdivision Works Certificate.
- (7) (B024) Submission to Council of an application for water meter hire, which is to be referred to the Water Supply section so that a quotation for the installation can be prepared and paid for prior to the issue of a Construction Certificate. This application is also to include an application for the disconnection of any existing service not required.
- (8) (B030) Prior to issue of Construction Certificate, a pavement design report shall be prepared by a suitably qualified geotechnical or civil engineer and submitted to Council, including soil test results and in-situ CBR values (NATA certified). Council's minimum pavement compaction testing criteria are as follows:

- a. 98% (modified) base layers Maximum Modified Dry Density test in accordance with AS1289.5.2.1
- 95% (modified) sub-base layers Maximum Modified Dry Density test in accordance with AS1289.5.2.1
- c. 100% (standard) subgrade/select layers Maximum Standard Dry Density test in accordance with AS1289.5.1.1 (or for in-situ subgrade soils only, wet density testing may be used)
- (9) (B034) Prior to release of the Construction Certificate the submission of details to Council for the disposal of any spoil gained from the site and/or details of the source of fill, heavy construction materials and proposed routes to and from the site, including, but not limited to:
 - The pavement condition of the route/s proposed (excluding collector, subarterial and arterial roads) for the haulage of fill material to the site and/or haulage of excess material from the site. The condition report shall include photographs of the existing pavement and pavement deflection test results taken in the travel lanes;
 - Recommended load limits for haulage vehicles and;
 - A procedure for monitoring the condition of the pavement during the haulage;
 - Bond to guarantee public infrastructure is not damaged as a result of construction activity,

and

Council shall determine the need for and extent of any rectification work on the haulage route/s considered attributable by the haulage of materials to and/or from the site.

- (10) (B037) The finished floor level of the building shall be at least 1050mm above the soffit of Council's sewer main. Details indicating compliance with this are to be submitted to the Principal Certifying Authority with the application for Construction Certificate
- (11) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.
- (12) (B039) Detailed drawings and specifications prepared by a professional engineer for all retaining walls supporting:
 - earthworks that are more than 600mm above or below ground level (existing);
 or
 - ii. located within 1m of the property boundaries; or
 - earthworks that are more than 1m above or below ground level (existing) in any other location:

are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.

- (13) (B052) The provision of 3m x 3m splay corners or otherwise agreed to by Port Macquarie-Hastings Council. Details must be submitted to and approved by Port Macquarie-Hastings Council prior to release of the Construction Certificate.
- (14) (B054) A driveway longitudinal section shall accompany the section 138 application pursuant to section 138 of the Roads Act, 1993. The section shall demonstrate compliance with Council's adopted AUSPEC Design and Construction Guidelines.

- (15) (B056) The Stormwater network proposed with the application for Construction Certificate is to include provision to each subdivided lot of a direct point of connection to Council's future piped drainage system.
- (16) (B065) The applicant shall implement a landscape maintenance program for a minimum period of twelve (12) months to ensure that all landscape work becomes well established by regular maintenance. Details of the program must be submitted with the Detailed Landscape Plan with the Construction Certificate application.
- (17) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.
- (18) (B072) A stormwater drainage design is to be submitted and approved by Council prior to the issue of a Construction Certificate. The design must be prepared in accordance with Council's AUSPEC Specifications and the requirements of Relevant Australian Standards and make provision for the following:
 - a) The legal point of discharge for the proposed development is defined as the public piped drainage system.
 - b) The design is to be generally in accordance with the stormwater drainage modelling and plans as approved in PMHC DA 2017.1049.
 - The design requires the provision of interallotment drainage in accordance with AUSPEC D5
 - d) The design shall incorporate on-site stormwater detention facilities to limit site stormwater discharge to pre development flow rates to the lesser of all storm events up to and including the 100 year ARI event, or the existing downstream capacities as determined in DA 2017.1049. Note that pre development discharge shall be calculated assuming that the site is a 'greenfield' development site as per AUSPEC requirements.
 - e) The design shall include water quality controls designed to achieve the targets specified within AUSPEC D7.
 - f) Where works are staged, a plan is to be provided which demonstrates which treatment measure/s is/are are to be constructed with which civil works stage. Separate plans are required for any temporary treatment (where applicable e.g. for building phase when a staged construction methodology is adopted) and ultimate design.
- (19) (B046) The dwellings shall be designed and constructed so as to comply with the Bushfire Attack Levels (BAL) nominated in the bushfire safety authority issued by NSW RFS dated 14 April 2020. Details shall be submitted to the Principal Certifying Authority with the application for Construction Certificate demonstrating compliance with this requirement.
 - Please note: Compliance with the requirements of the current Planning for Bush Fire Protection Guidelines to prevail in the extent of any inconsistency with the Building Code of Australia.
- (20) Each proposed dwelling will need to be separately metered for water, meters may be either located at the road frontage or internally with a master meter at the boundary. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.
- (21) The proposed development shall drain all sewage to a new junction out of the existing sewer manhole on Pacific Drive road reserve unless otherwise agreed by PMHC's Water & Sewer Planning Manager. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.

- (22) (B199) The intersection serving the development shall be designed in accordance with AustRoads. Road widening along Pacific Drive is required to facilitate a channelised right hand turn and an auxiliary left hand turn compliant with AustRoads. An AC surface finish, complaint with Council Aus-Spec standards shall be required for full width of the pavement (i.e. east and westbound) and for the full extent of the roadworks along Pacific Drive. The required road widening shall accommodate a 2m wide shoulder to match into existing. All road widening associated with the development and any alterations required to Councils piped stormwater system as a result of the intersection improvements, shall be undertaken at no cost to Council. The intersections works shall be a requirement as part of stage 1. Design Plans shall be provided as part of the Roads Act application.
- (23) Prior to issue of any subdivision works certificate or construction certificate a notice of modification consistent with the requirements of clause 97 of the Environmental Planning and Assessment Regulation 2000, shall be provided to Port Macquarie-Hastings Council with regard to DA2017 - 1049 affected by this consent
- (24) The location of electricity substations are to be clearly illustrated on the Construction Certificate plans. All substations are to remain on private property unless otherwise agreed to by Port Macquarie-Hastings Council.
- (25) Prior to issue of any Construction Certificate certification shall be provided to the certifying authority from a suitably qualified bushfire professional confirming the final construction plans comply with both the General Terms of Approval issued by NSW RFS dated 14 April 2020 which includes compliance with Planning for Bushfire Protection Guidelines and specifically with regard to access roads, fire trails and landscaping.

C - PRIOR TO ANY WORK COMMENCING ON SITE

- (1) (C001) A minimum of one (1) weeks' notice in writing of the intention to commence works on public land is required to be given to Council together with the name of the principal contractor and any major sub-contractors engaged to carry out works. Works shall only be carried out by a contractor accredited with Council.
- (2) (C004) Prior to works commencing an application being made to the electricity and telecommunications service providers. Services are required to be underground.
- (3) (C013) Where a sewer manhole and/or Vertical Inspection Shaft (VIS) exists within a property, access to the manhole/VIS shall be made available at all times. Before during and after construction, the sewer manhole/VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.

D - DURING WORK

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
 - a. at completion of installation of erosion control measures
 - b. prior to installing traffic management works
 - c. before commencement of any filling works;
 - d. when the sub-grade is exposed and prior to placing of pavement materials;

- e. when trenches are open, stormwater/water/sewer pipes and conduits jointed and prior to backfilling;
- f. at the completion of each pavement (sub base/base) layer;
- g. before pouring of kerb and gutter;
- h. prior to the pouring of concrete for sewerage works and/or works on public property;
- on completion of road gravelling or pavement;
- during construction of sewer infrastructure;
- k. during construction of water infrastructure;
- prior to sealing and laving of pavement surface course.

All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public Infrastructure and any other Council approval, prior to proceeding to the next hold point.

- (2) (D006) A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.
- (3) (D022) The proponent is responsible for ensuring that the existing stormwater pipe traversing/adjoining the land is not damaged while performing any works. If the existing stormwater pipe is damaged during the course of performing the works, the proponent will:
 - a. notify Council immediately when the breakage occurs, and
 - b. repair the damage at no cost to Council
- (4) (D023) During all phases of demolition, excavation and construction, it is the responsibility of the applicant and their contractors to:
 - a. Ascertain the exact location of the Council stormwater drainage pipeline and associated pits traversing the site in the vicinity of the works.
 - b. Take measures to protect the in-ground Council stormwater drainage pipeline and associated pits.
 - Ensure dedicated overland flow paths are satisfactorily maintained through the site.

Stormwater drainage pipes can be damaged through applying excessive loading (such as construction machinery, material storage and the like). All proposed structures and construction activities must be sited fully clear of Council's stormwater drainage pipes, pits, easements, watercourses and overland flow paths on the site.

If the Council pipeline is uncovered during construction, all work must cease and the Certifying Authority and Council must be contacted immediately for advice.

Any damage caused to Council's stormwater drainage system must be immediately repaired in full and at no cost to Council.

- (5) (D033) Should any Aboriginal objects be discovered in any areas of the site then all excavation or disturbance to the area is to stop immediately and the National Parks and Wildlife Service, Department of Environment and Conservation is to be informed in accordance with Section 91 of the National Parks and Wildlife Act 1974. Subject to an assessment of the extent, integrity and significance of any exposed objects, applications under either Section 87 or Section 90 of the National Parks and Wildlife Act 1974 may be required before work resumes.
- (6) (D041) Provision of the entrance threshold landscaping shall be undertaken at the full cost of the proponent and shall be maintained for the duration of subdivision works. Any structures shall be removed within two (2) years after the expiration of the roadworks and infrastructure maintenance period.

E - PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE / SUBDIVISION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E010) Driveways, access aisles and parking areas shall be provided with a concrete surface. Such a surface shall be on a suitable pavement, constructed and maintained in accordance with Council's Development, Design and Construction Manuals (as amended).
- (3) (E011) Submission prior to the issue of a Subdivision Certificate of a plan prepared by a Registered Surveyor showing location of existing road formation relative to reserved and dedicated roads to enable determination of any road widening necessary. Any road widening is to be at no cost to Council.
- (4) (E012) Dedication as public road to Council, the area required for road widening, if required, along the frontage of the development at no cost to Council. Details are to be incorporated in the plan of subdivision.
- (5) (E013) Restrictions and/or positive covenant must be provided over the overland flow path for on-site detention storage areas with appropriate public awareness signage.
- (6) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (7) (EO34) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (8) (EQ42) Where stormwater pipelines traverse lots other than those which they benefit appropriate drainage easements shall be created and registered on the title of the relevant lot(s) with the Lands and Property Information NSW.
 - a. For pipes less than 500mm diameter, the easement width must be a minimum of 1500mm. Easements for larger diameter pipes must be the pipeline diameter plus 1200mm wide, with a minimum width of 2400mm.
 - b. Where easements are associated with a subdivision, the easement shall be established with the plan of subdivision and Section 88B instrument. Details to be submitted to Council prior to issue of Subdivision Certificate.

Where easements are not associated with a subdivision, the easement shall be approved by Council prior to lodgement at Lands and Property Information (LPI) NSW and evidence of registration shall be submitted to the Principal Certifying Authority prior to any Occupation Certificate.

(9) (E043) An easement in favour of Council must be obtained over Lots traversed by stormwater drainage pipelines. The easement width must be the pipe diameter plus 1200mm, with a minimum width of 3000mm and the pipeline should be generally located central to the easement.

The easements shall be created and registered on the title of the relevant lot(s) with the Lands and Property Information (LPI) NSW. The plan and terms of the easement must be endorsed by Council through formal application with Council prior to lodgement at the Lands and Property Information NSW. Evidence of registration shall be provided to Council prior to issue of any Subdivision Certificate.

(10) (E046) Prior to the issue of a Subdivision Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to maintain the on-site stormwater detention facilities on the property.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

- a. The Proprietor of the property shall be responsible for maintaining and keeping clear all pits, pipelines, trench barriers and other structures associated with the on-site stormwater detention facilities ("OSD").
- b. The Proprietor shall have the OSD inspected annually by a competent person.
- c. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all pits, pipelines, trench barriers and other structures in or upon the said land which comprise the OSD or which convey stormwater from the said land; and recover the costs of any such works from the proprietor.
- d. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the OSD, or failure to clean, maintain and repair the OSD.

The proprietor or successor must bear all costs associated in the preparation of the subject 88E instrument. Evidence of registration with the Lands and Property Information NSW shall be submitted to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate.

(11) (E047) Prior to the issue of a Subdivision Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to ensure the ongoing maintenance of the existing overland flowpath through the site.

The terms of the 88E instrument with positive covenant are to include, but not be limited to, the following:

- a. The proprietor of the property shall be responsible for maintaining and keeping clear the overland flowpath traversing the site.
- b. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all components or structures in or upon the said land which comprise the overland flowpath; and recover the costs of any such works from the proprietor.
- c. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the overland flowpath, or failure to clean, maintain and repair the overland flowpath.
- (12) (E048) Prior to the issue of a Subdivision Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to maintain the water quality control facilities within the site.

In addition, a maintenance schedule for the water quality controls must be submitted to Council for approval with the stormwater work-as executed plans. This maintenance schedule and work as executed plan shall be registered and referred to as part of the positive covenant.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

a. The Proprietor of the property shall be responsible for inspecting, maintaining and keeping clear all components of and structures associated with the

- stormwater quality improvement device (SQID) in accordance with the maintenance plan in order to achieve the design system performance targets.
- b. The Proprietor shall have the SQID inspected annually by a competent person.
- c. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all components or structures in or upon the said land which comprise the SQID and recover the costs of any such works from the proprietor.
- d. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the SQID, or failure to clean, maintain and repair the SQID.

The instrument shall be created and registered on the title of the relevant lot(s) with the Lands and Property Information (LPI) NSW. The plan and terms of the easement must be endorsed by Council through formal application prior to lodgement at the Lands and Property Information NSW.

- (13) (E050) Prior to Council accepting new stormwater infrastructure, a CCTV inspection of all new and modified stormwater assets must be undertaken in accordance with the Conduit Inspection Reporting Code of Australia WSA 05.
 - A copy of the CCTV inspection footage and inspection report prepared and certified by a suitably qualified person shall be provided to Council prior to the acceptance of works into the nominated 'into maintenance period'.
- (14) (E053) All works relating to public infrastructure shall be certified by a practicing Civil Engineer or Registered Surveyor as compliant with the requirements of AUSPEC prior to issue of Occupation/Subdivision Certificate or release of the security bond, whichever is to occur first.
- (15) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (16) (E061) Landscaped areas being completed prior to occupation or issue of the Certificate.
- (17) (E056) A Certificate of Compliance under the provisions of Section 307 of the Water Management Act must be obtained prior to the issue of any occupation or subdivision certificate. The application for the certificate is to include an acceptable Work-As-Executed plan for water and sewer mains and services from a Professional Engineer or Registered Surveyor.
- (18) (E064) Provision of street lighting to all new roads in accordance with AS1158 and compliance with the requirements of the electricity authority regarding provision of electricity to serve the development. Provision shall be made for placement of conduits for future requirements or upgrades. Evidence by way of letter from the electricity provider, indicating compliance with this condition shall be submitted prior to the issue of the Subdivision Certificate.

Any proposal to erect non-standard, prestige or Smart Poles (or equivalent) street lighting shall:

- Forward all plans to the service provider for comment;
- Include instruction for completion of 'Lighting Requirements';
- be referred to Council together with details of the difference in annual charges over a twenty five (25) year period in accordance with Policy R5 – Street Lighting on Public Roads;

- Supply to Council to keep in stock, one (1) extra pole for every six (6) run of
 poles, for all poles that are non-standard poles.
- (19) (E066) Ancillary works shall be undertaken at no cost to Council to make the engineering works required by this Consent effective to the satisfaction of Director of Council's Infrastructure Division. Such works shall include, but are not limited to the following:
 - The relocation of underground services where required by civil works being carried out.
 - b. The relocation of above ground power and telephone services
 - c. The relocation of street lighting
 - d. The matching of new infrastructure into existing or future design infrastructure
- (20) (E068) Prior to the issue of an occupation or subdivision certificate, evidence to the satisfaction of the Certifying Authority from the electricity and telecommunications providers that satisfactory services arrangements have been made to the lots or dwellings (including street lighting and fibre optic cabling where required).
- (21) (E072) Lodgement of a security deposit with Council upon practical completion of the subdivision works.
- (22) (E076) The plan of subdivision and Section 88B instrument shall establish the following restrictions, easements and/or covenants; with Council having the benefit and having the sole authority to release, vary or modify each restriction, easement and/or covenant. Wherever possible the extent of the land affected by these covenants shall be defined by bearings and distances shown on the plan of subdivision:
 - a. Prohibiting direct vehicular access to and from Pacific Drive for proposed lots 2, 3, 4, 5 and 6.
 - b. Restriction as to user in respect of all residential lots for a private garbage service to be in place requiring the collection of all domestic waste comprising general waste (rubbish), recycling and food and garden organics by a private contractor. All wastes are to be collected as separate waste streams.
 - Restriction as to user in respect to the community environmental land and any lots burdened by the management obligations of this land (i.e. Vegetation Management Plan).
 - d. Restriction as to user with respect of all residential lots specifying driveways to future dwellings being a minimum of 5.5m in length from the front property boundary.

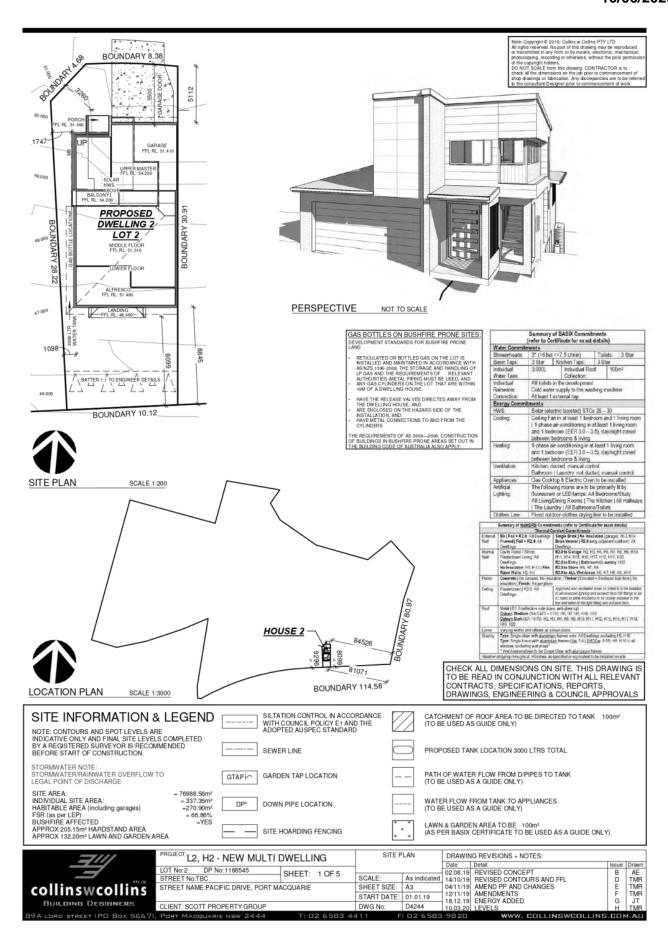
Details are to be submitted to Council prior to issue of the Subdivision Certificate.

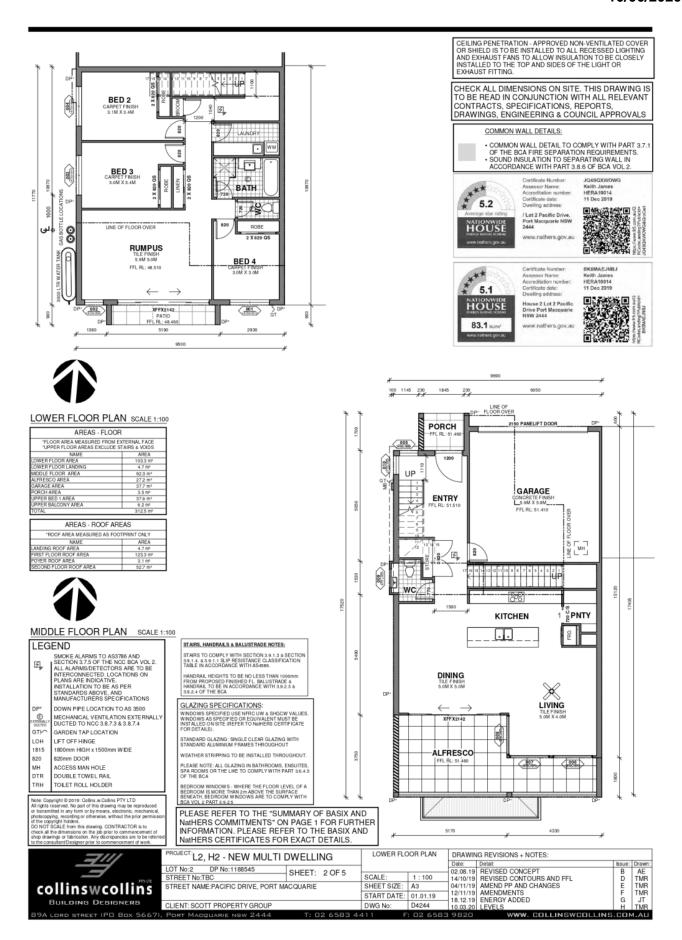
- (23) (E080) The applicant is required to make provision in the application for a Subdivision Certificate:
 - a. dedication as public road of any area required for road widening,
 - b. dedication as public road of any splay corner.
- (24) (E081) The applicant will be required to submit prior to the issue of the Subdivision Certificate, a geotechnical report certifying construction of all earthworks as controlled fill in accordance with Council AUS-SPEC Standard and AS 37898. Such report to provide details of:
 - a. The surface levels of the allotments created, filled or reshaped as part of the development.
 - b. Compaction testing carried out to Controlled Fill Standard as per AS 3798.
 - c. Standard penetration tests and calculated N values.
 - d. Bore logs

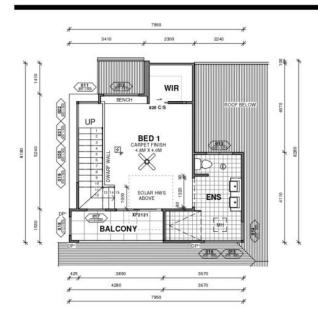
- e. Site classification of all allotments in accordance with AS2870.2011 Residential Slabs and Footings.
- (25) (E082) Submission of a compliance certificate accompanying Works as Executed plans with detail included as required by Council's current AUSPEC Specifications. The information is to be submitted in electronic format in accordance with Council's "CADCHECK" requirements detailing all infrastructure for Council to bring in to account its assets under the provisions of AAS27. This information is to be approved by Council prior to issue of the Subdivision Certificate. The copyright for all information supplied, shall be assigned to Council.
- (26) Prior to the issue of any Subdivision Certificate all associated subdivision work i.e. inter-allotment drainage, shared driveways, internal roads; shall be completed in each stage of the development.
- (27) (E195) The subdivision certificate shall not be issued until such time that the dwellings associated with this development are substantially commenced (as determined by Council) or where a strata management statement, or restriction as to user, prohibits any dwelling on each lot other than the dwelling approved as part of this consent.
- (28) Prior to issue of any subdivision or occupation certificate the screen planting to the rear of proposed lots 6 to 10 shall be established to the satisfaction of the certifying authority.
- (29) Prior to the issuing of any Subdivision Certificate details shall be provided to the satisfaction of the certifying authority demonstrating successful implementation of relevant recommendations of ecological assessment and approved Vegetation Management Plan.

F - OCCUPATION OF THE SITE

- (1) (F004) The dwellings are approved for permanent residential use and not for short term tourist and visitor accommodation.
- (2) (F035) The consent only permits the use of each building as a single dwelling and does not permit the adaption or use of the building so as to create a second occupancy.







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to the consultant Designer prior to commencement of work



UPPER FLOOR PLAN SCALE 1:100

AREAS - FLO	OOR
'FLOOR AREA MEASURED FRO 'UPPER FLOOR AREAS EXCLU	
NAME	AREA
LOWER FLOOR AREA	103.3 m ²
LOWER FLOOR LANDING	4.7 m²
MIDDLE FLOOR AREA	92.3 m²
ALFRESCO AREA	27.2 m²
GARAGE AREA	37.7 m²
PORCH AREA	3.5 m²
UPPER BED 1 AREA	37.6 m²
UPPER BALCONY AREA	6.2 m²
TOTAL	312.5 mF

AREAS - ROOF A	REAS
"ROOF AREA MEASURED AS FO	DOTPRINT ONLY
NAME	AREA
LANDING ROOF AREA	4.7 m²
FIRST FLOOR ROOF AREA	123.3 m²
FOYER ROOF AREA	3.1 m²
SECOND FLOOR ROOF AREA	52.7 m²

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS 图。 DOWN PIPE LOCATION TO AS 3500 MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GARDEN TAP LOCATION

LOH LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE 820mm DOOR 1815

мн ACCESS MAN HOLE DOUBLE TOWEL RAIL TRH TOILET ROLL HOLDER

GLAZING SPECIFICATIONS: WINDOWS SPECIFIED USE NERC UW & SHGCW VALUE WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NaIHER'S CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.2 OF THE BCA

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS.

CEILING PENETRATION - APPROVED NON-VENTIAED COVER OR SHELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS. DRAWINGS, ENGINEERING & COUNCIL APPROVALS

COMMON WALL DETAILS:

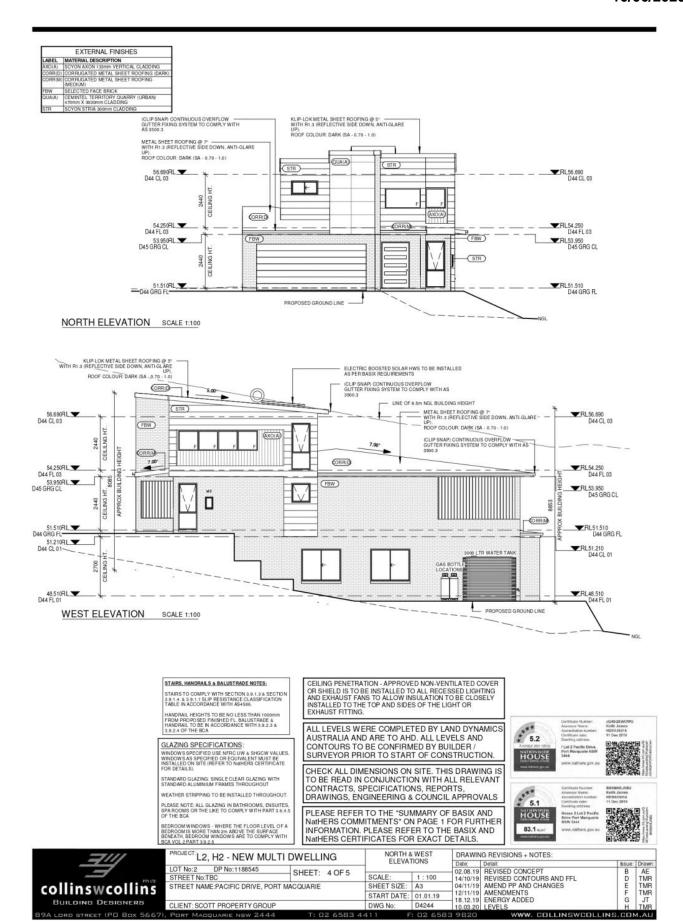
- COMMON WALL DETAIL TO COMPLY WITH PART 3.7.1
 OF THE BCA FIRE SEPARATION REQUIREMENTS.
 SOUND INSULATION TO SEPARATING WALL IN
 ACCORDANCE WITH PART 3.8.6 OF BCA VOL 2.

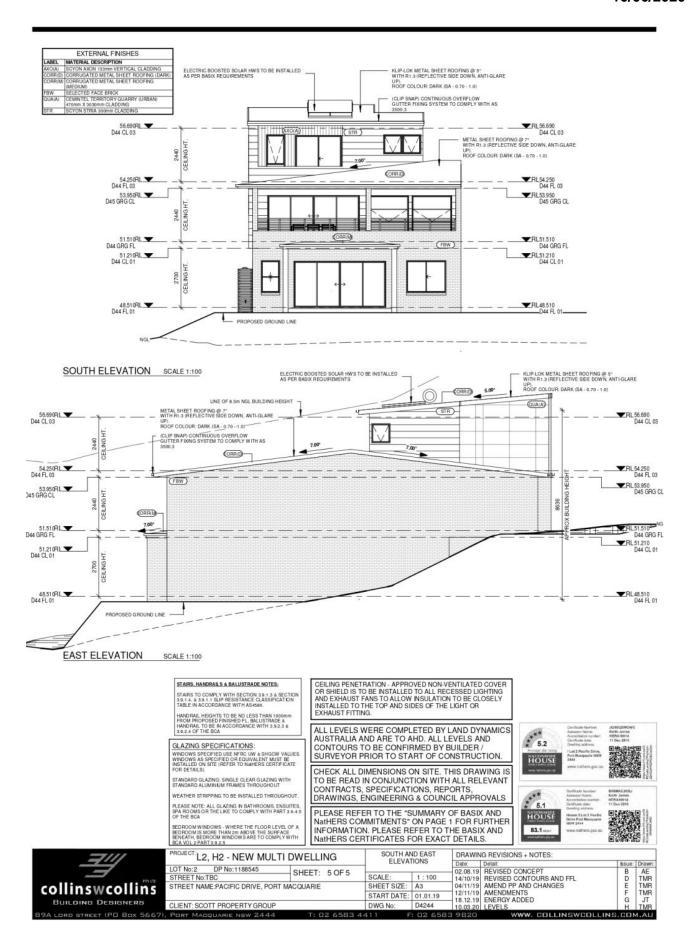
PROJECT: L2, H2 - NEW MULTI DWELLING UPPER FLOOR PLAN DRAWING REVISIONS + NOTES SCALE SHEET SIZE: A3

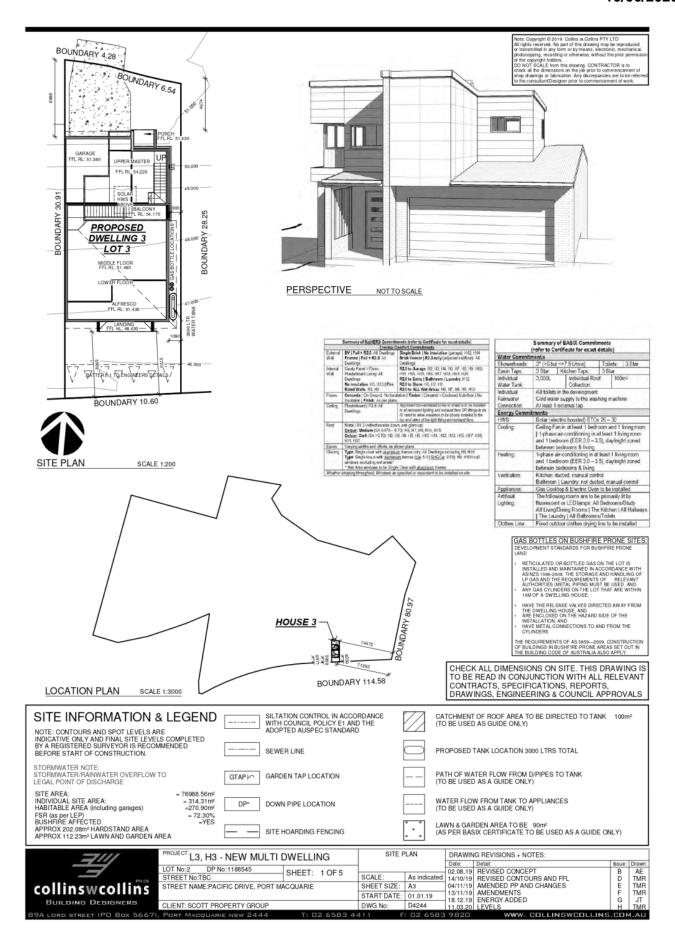
5.2 / Lot 2 Pacific Drive, Port Macquarie NSV 2444 5.1 House 2 Lot 2 Pacific Drive Port Macquarie NSW 2444 HOUSE 83.1 M

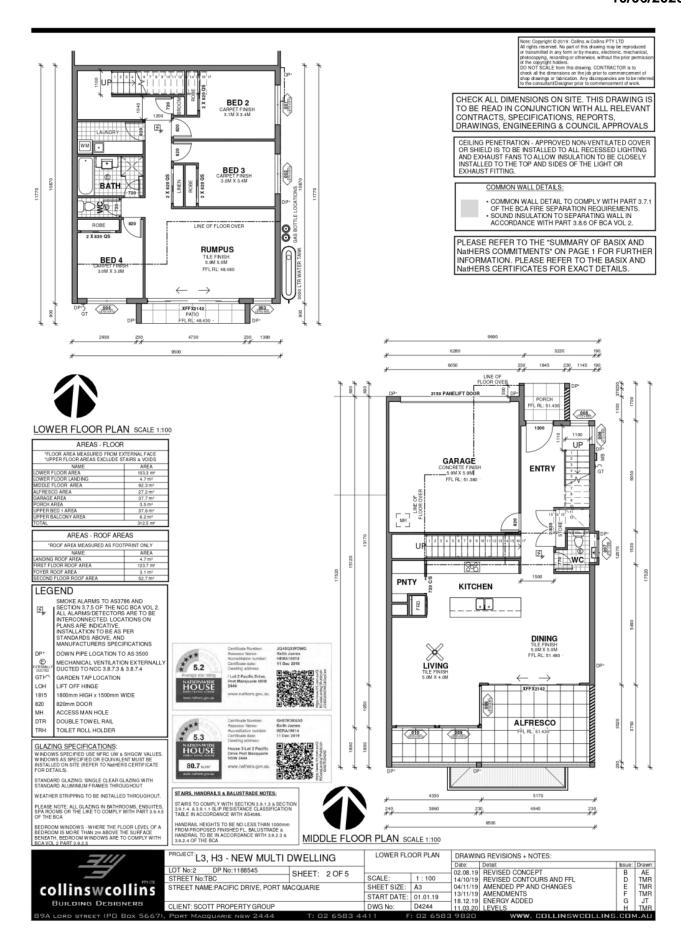


LOT No:2 DP No:1188545 SHEET: 3 OF 5
STREET NAME:PACIFIC DRIVE, PORT MACQUARIE AE TMR TMR TMR TMR JT START DATE: 01.01.19
DWG No: D4244 CLIENT: SCOTT PROPERTY GROUP WWW. COLLINSWCOLLINS.COM.AU











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TOTAL	312.5 m²

AREAS - ROOF AREAS				
*ROOF AREA MEASURED AS F	OOTPRINT ONLY			
NAME	AREA			
LANDING ROOF AREA	4.7 m²			
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LEGEND

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE ROIDCATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS DOWN PIPE LOCATION TO AS 3500

MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GARDEN TAP LOCATION LIFT OFF HINGE

LOH 1815 1800mm HIGH x 1500mm WIDE 820mm DOOR ACCESS MAN HOLE мн

DTR DOUBLE TOWEL RAIL TOILET ROLL HOLDER

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WEATHER STRIPPING TO BE INSTALLED THROUGHOUT. PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.9 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5

STAIRS, HANDRAILS & BALUSTRADE NOTES

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTIO 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4596.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

COMMON WALL DETAILS:

COMMON WALL DETAIL TO COMPLY WITH PART 3.7. OF THE BCA FIRE SEPARATION REQUIREMENTS.
 SOUND INSULATION TO SEPARATING WALL IN ACCORDANCE WITH PART 3.8.6 OF BCA VOL 2.

PLEASE REFER TO THE "SUMMARY OF BASIX AND Nathers Commitments" on Page 1 For Further Information. Please refer to the Basix and NatHERS CERTIFICATES FOR EXACT DETAILS

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Certificate Number

/ Lot 2 Pacific Drive, Port Macquarie NSW 2444

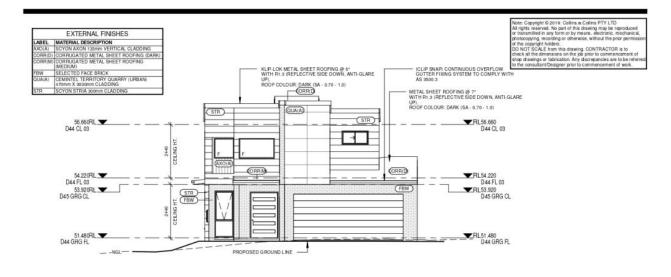


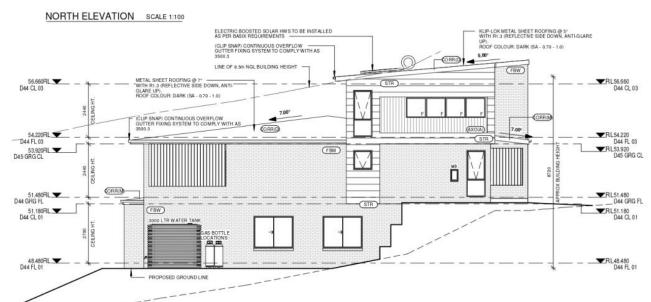
JQ4SQXWOWG



Certificate Number: GH87R3K6A0 Assessor Name: Accreditation number; Certificate date: Dwelling address: House 3 Lot 2 Pacific







EAST ELEVATION SCALE 1:100

STAIRS, HANDRALS & BALUSTRADE NOTES:

TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GLAZING SPECIFICATIONS

WINDOWS SPECIFIED USENFROUW & SHOCK VALUE WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NaMERS CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT. PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.2 OF THE BOX.

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FAMS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

ALL LEVELS WERE COMPLETED BY LAND DYNAMICS AUSTRALIA AND ARE TO AHD. ALL LEVELS AND CONTOURS TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

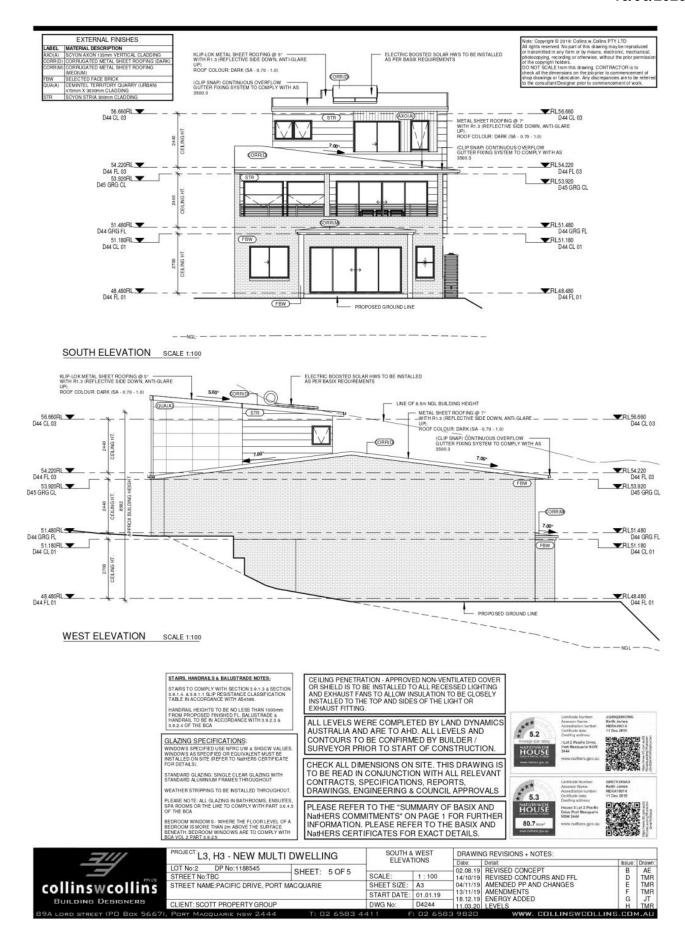
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

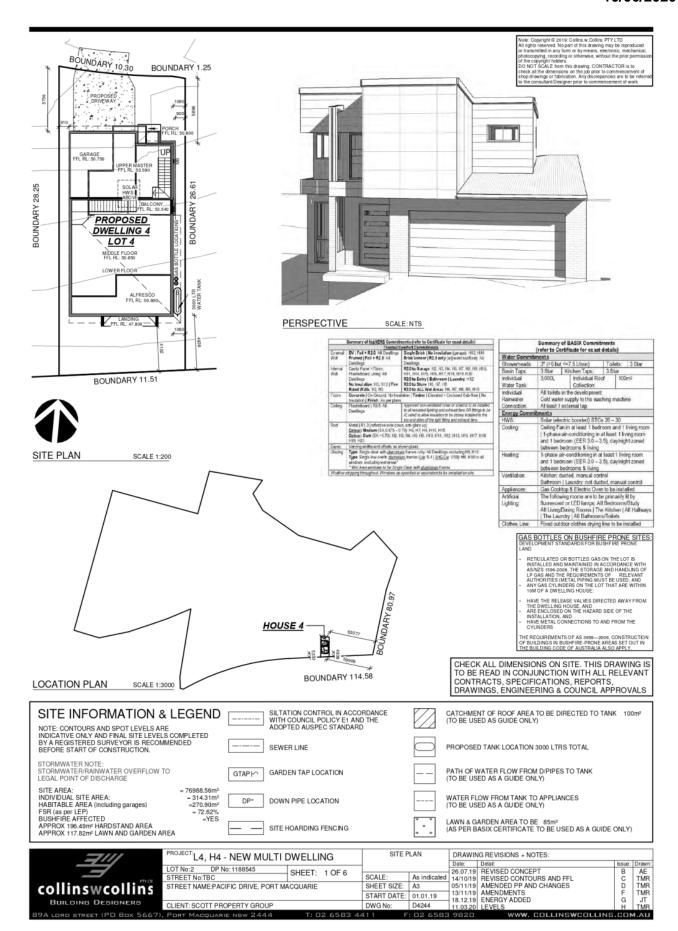
PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NATHERS CERTIFICATES FOR EXACT DETAILS.

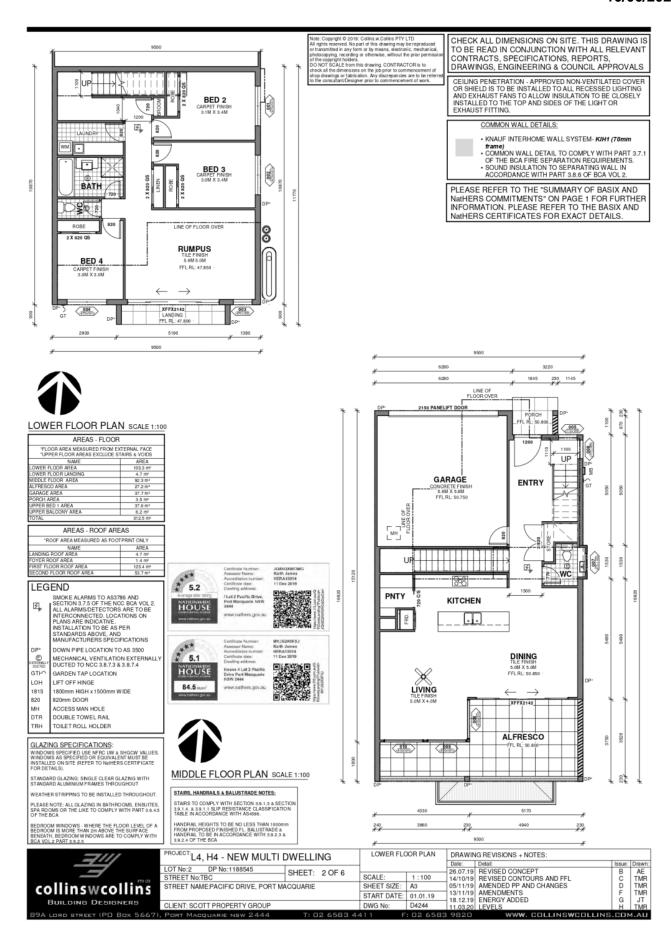


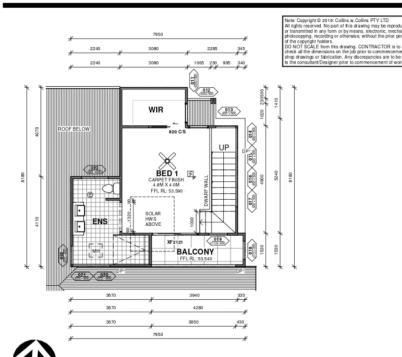












CHECK ALL DIMENSIONS ON SITE THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

COMMON WALL DETAILS:

- COMMON WALL DETAIL TO COMPLY WITH PART 3.7.1 OF THE BCA FIRE SEPARATION REQUIREMENTS.
 SOUND INSULATION TO SEPARATING WALL IN ACCORDANCE WITH PART 3.8.6 OF BCA VOL 2.

PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS



UPPER FLOOR PLAN SCALE 1:100

AREAS - FLO	OOR
*FLOOR AREA MEASURED FRO *UPPER FLOOR AREAS EXCLU	
NAME	AREA
LOWER FLOOR AREA	103.3 m²
LOWER FLOOR LANDING	4.7 m²
MIDDLE FLOOR AREA	92.3 m²
ALFRESCO AREA	27.2 m²
GARAGE AREA	37.7 m²
PORCH AREA	3.5 m²
UPPER BED 1 AREA	37.6 m²
UPPER BALCONY AREA	6.2 m²
TOTAL	312.5 m²

AREAS - ROOF AREAS				
"ROOF AREA MEASURED AS FOOTPRINT ONLY				
NAME	AREA			
LANDING ROOF AREA	4.7 m²			
FOYER ROOF AREA	1.4 m²			
FIRST FLOOR ROOF AREA	123.4 m²			
DECOMIN EL COR DOCE AREA	53.7 m²			

LEGEND

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NOC BOA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE NOICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE. AND MANUFACTURERS SPECIFICATIONS 团 DOWN PIPE LOCATION TO AS 3500 E XTERNA MECHANICAL VENTILATION EXTERNALLY DUCTED TO NGC 3.8.7.3 & 3.8.7.4 GARDEN TAP LOCATION LIFT OFF HINGE **GTP** 1800mm HIGH x 1500mm WIDE 1815 820 MH R20mm DOOR ACCESS MAN HOLE DTR DOUBLE TOWEL RAIL

GLAZING SPECIFICATIONS:

TOILET ROLL HOLDER

WINDOWS SPECIFIED USE NERC UM a SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NIBHERS CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

STAIRS, HANDRAILS & BALUSTRADE NOTES; STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4596.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

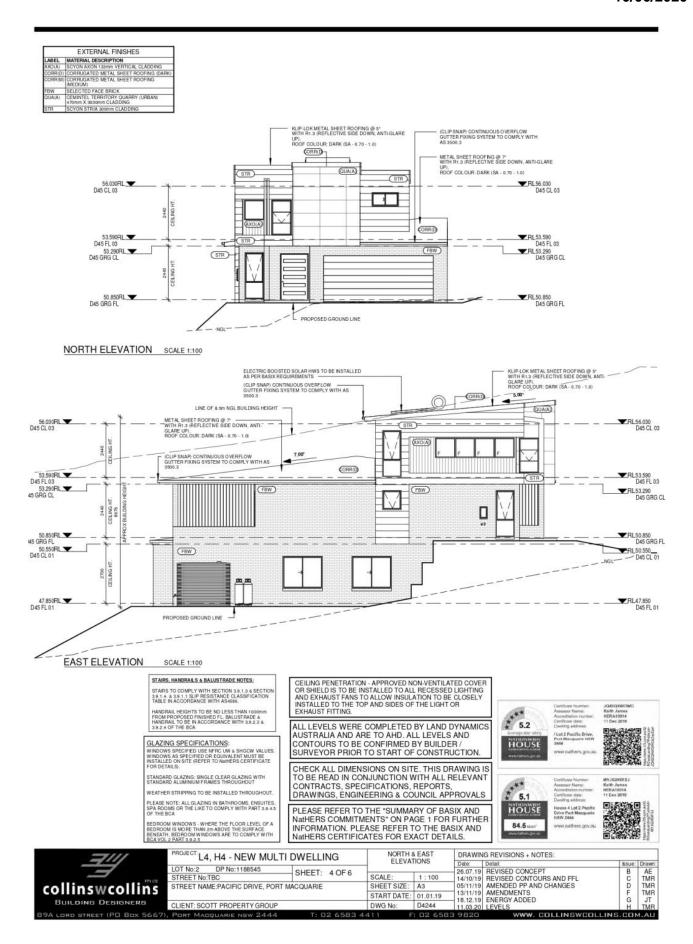


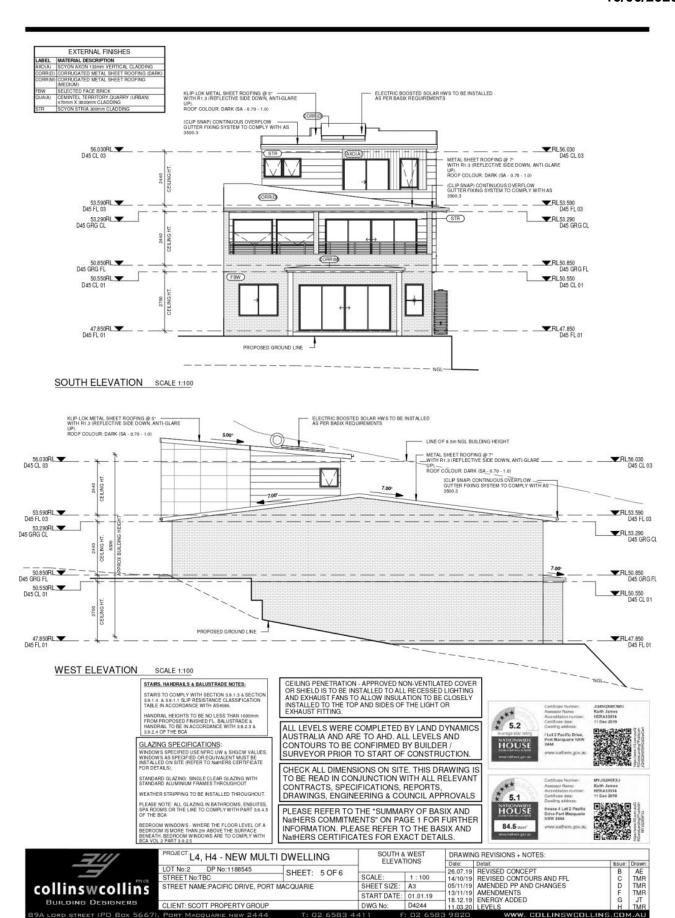


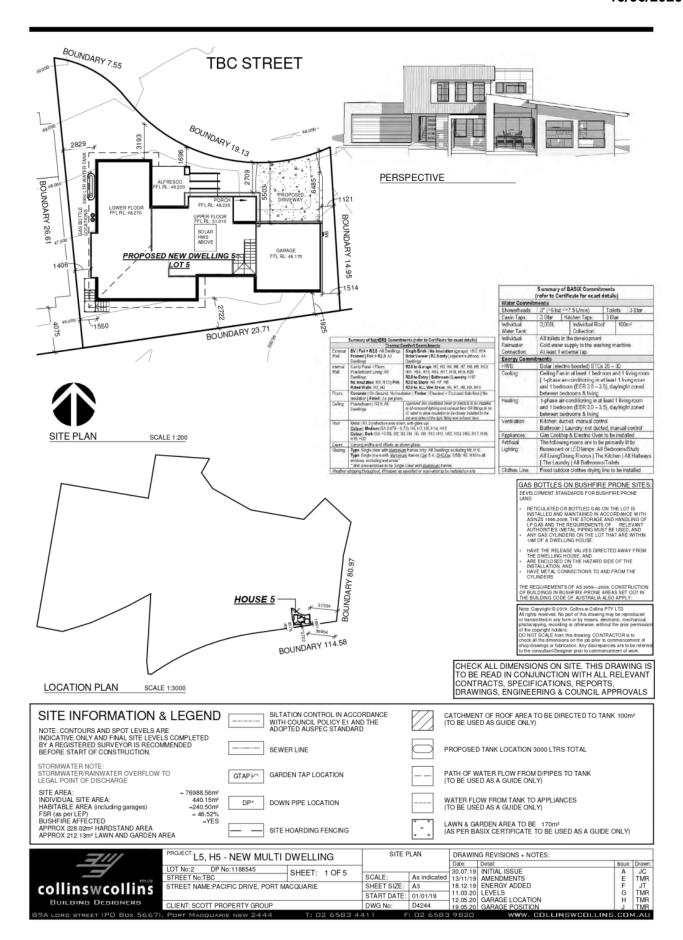


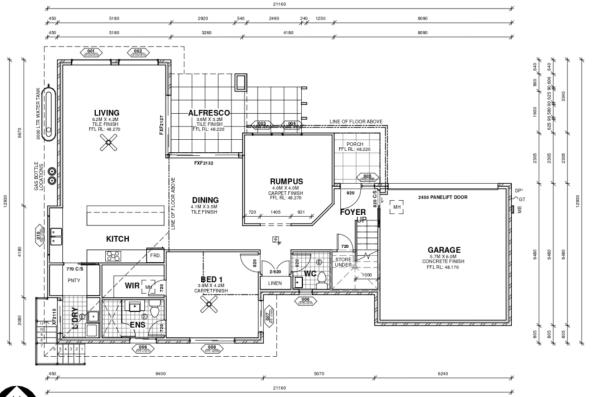


PROJECT L4, H4 - NEW MULTI DWELLING UPPER FLOOR PLAN DRAWING REVISIONS + NOTES: | DRAWING NEVASION | Date: | D LOT No:2 DP No:1188545 SHEET: 3 OF 6 AE TMR TMR TMR TMR JT BCDF SCALE: 1: SHEET SIZE: A3 STREET NAME:PACIFIC DRIVE, PORT MACQUARIE START DATE: 01.01.19
DWG No: D4244 CLIENT: SCOTT PROPERTY GROUP WWW. COLLINSWCOLLINS.COM.AU











LOWER FLOOR PLAN SCALE 1:100

AREAS - FL	.00R
*FLOOR AREA MEASURED FF *UPPER FLOOR AREAS EXCL	
NAME	AREA
GARAGE AREA	39.2 m²
LOWER FLOOR AREA	140.8 m²
ALFRESCO AREA	17.5 m²
PORCH AREA	4.8 m²
UPPER FLOOR AREA	59.5 m²
TOTAL	261,8 m²

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE NOICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS 国。 DOWN PIPE LOCATION TO AS 3500

(E) MECHANICAL VENTILATION EXTERNALL' DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GTH GARDEN TAP LOCATION

LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE 1815 820 820mm DOOR ACCESS MAN HOLE DTR DOUBLE TOWEL RAIL TRH TOILET ROLL HOLDER

GLAZING SPECIFICATIONS

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUE WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE NSTALLED ON SITE (REFER TO NatHERS CERTIFICATE FOR DETAILS).

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

AREAS - ROOF AREAS				
*ROOF AREA MEASURED AS FOOTPRINT ONLY				
NAME	AREA			
GROUND FLOOR ROOF AREA	110.4 m²			
AWNING ROOF AREA	1.9 m²			
GARAGE ROOF AREA	35.9 m²			
FIRST FLOOR ROOF AREA	74.7 m²			

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTIO 3.9.1.4. & 3.9.1.1 SUP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS

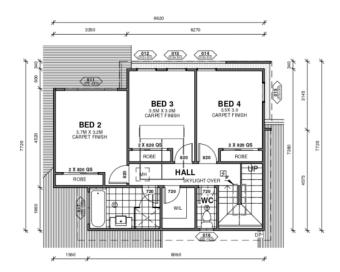
CELING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS





PROJECT:L5, H5 - NEW MULTI DWELLING		LOWER FLOOR PLAN		DRAWING REVISIONS + NOTES:			
LOT No:2 DP No:1188545	SHEET: 2 OF 5				Detail: INITIAL ISSUE	Bsue:	Drawn: JC
STREET No:TBC	SHEET: 2 OF 5	SCALE:	1:100		AMENDMENTS	ΙÊ	TMR
STREET NAME:PACIFIC DRIVE, PORT MACQUARIE SHEET SIZE: A		A3		ENERGY ADDED	F	JT	
		START DATE:	01/01/19		LEVELS GARAGE LOCATION	G	TMR
CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244		GARAGE POSITION	J	TMR TMR
7), Port Macquarie NSW 2444	T: 02 6583 4	411 F	02 6583	9820	WWW. COLLINSWCOLLINS	.con	LA.





UPPER FLOOR PLAN SCALE 1:100

AREAS - FLO	OR			
"FLOOR AREA MEASURED FROM EXTERNAL FACE "UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS				
NAME	AREA			
GARAGE AREA	39.2 m²			
LOWER FLOOR AREA	140.8 m²			
ALFRESCO AREA	17.5 m²			
PORCH AREA	4,8 m ²			
UPPER FLOOR AREA	59.5 m²			
TOTAL	261.8 m²			

AREAS - ROOF AREAS					
*ROOF AREA MEASURED AS F	OOTPRINT ONLY				
NAME	AREA				
GROUND FLOOR ROOF AREA	110.4 m²				
AWNING ROOF AREA	1.9 m²				
GARAGE ROOF AREA	35.9 m²				
FIRST FLOOR BOOF AREA	74.7 m²				

LEGEND

EINU
SMOKE ALARMS TO AS3786 AND
SECTION 3.7.5 OF THE NCC BCA VOL 2.
ALI ALARMS DETECTORS ARE TO BE
INTERCONNECTED. LOCATIONS ON
PLANS ARE INDICATIVE.
INSTALLATION TO BE AS PER
STANDARDS ABOVE. AND
MANUFACTURERS SPECIFICATIONS Z, DOWN PIPE LOCATION TO AS 3500
MECHANICAL VENTILATION EXTERNALLY
DUCTED TO NCC 3.8.7.3 & 3.8.7.4
GARDEN TAP LOCATION © STP LOH LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE 820mm DOOR 820 МН ACCESS MAN HOLE DOUBLE TOWEL RAIL TOILET ROLL HOLDER TRH

GLAZING SPECIFICATIONS:

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.1 OF THE BCA

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINSHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS.

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

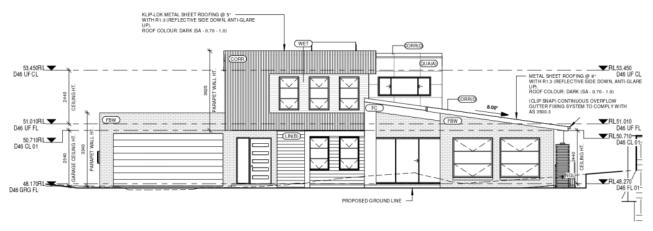
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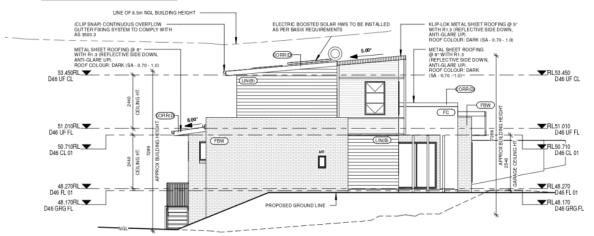
HOUSE

7///	PROJECT:L5, H5 - NEW MULTI DWELLING		UPPER FLC	UPPER FLOOR PLAN		DRAWING REVISIONS + NOTES: Date: Detail: Issue		
	LOT No:2 DP No:1188545	SHEET: 3 OF 5	CONF		30.07.19	INITIAL ISSUE	A A	JC
collinswcollins	STREET No:TBC STREET NAME:PACIFIC DRIVE, PORT MA	ACQUARIE	SCALE: SHEET SIZE:	1:100 A3		AMENDMENTS ENERGY ADDED	F	JT
BUILDING DESIGNERS			START DATE:			LEVELS GARAGE LOCATION	G H	TMR
89A LORD STREET (PO Box 5667)	CLIENT: SCOTT PROPERTY GROUP	T: 02 6583 4	D 11 G 11 G 1	D4244 : D2 6583		GARAGE POSITION	J	TMR





NORTH ELEVATION SCALE 1:100



EAST ELEVATION SCALE 1:100

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR STAIRS, HANDRAILS & BALUSTRADE NOTES: HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GLAZING SPECIFICATIONS:

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.1 EDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A EDROOM IS MORE THAN 2m ABOVE THE SURFACE ENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH CA VOL 2 PART 3.9.2.5 ALL LEVELS WERE COMPLETED BY LAND DYNAMICS AUSTRALIA AND ARE TO AHD. ALL LEVELS AND CONTOURS TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

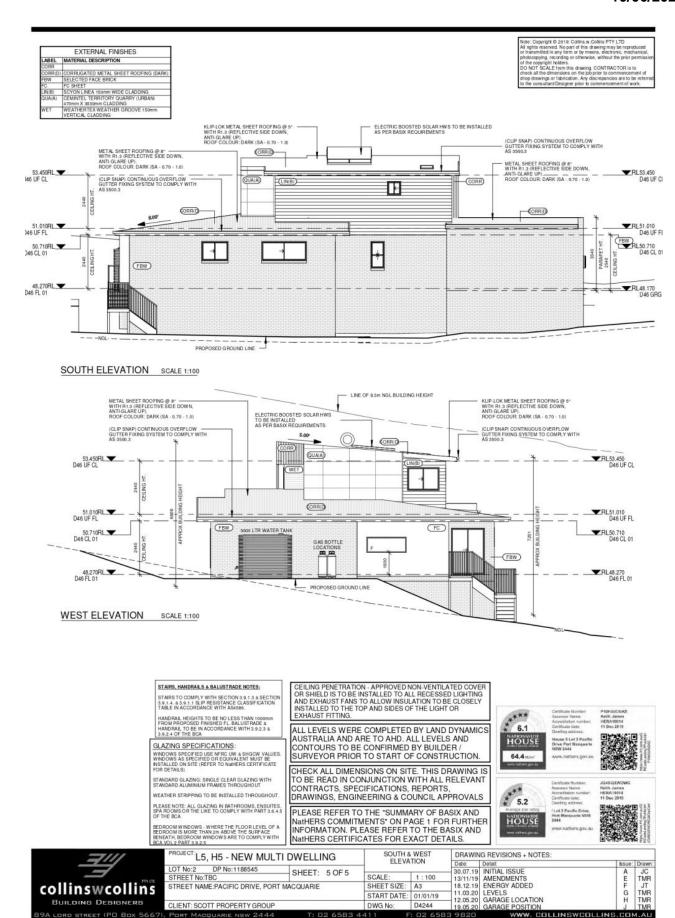
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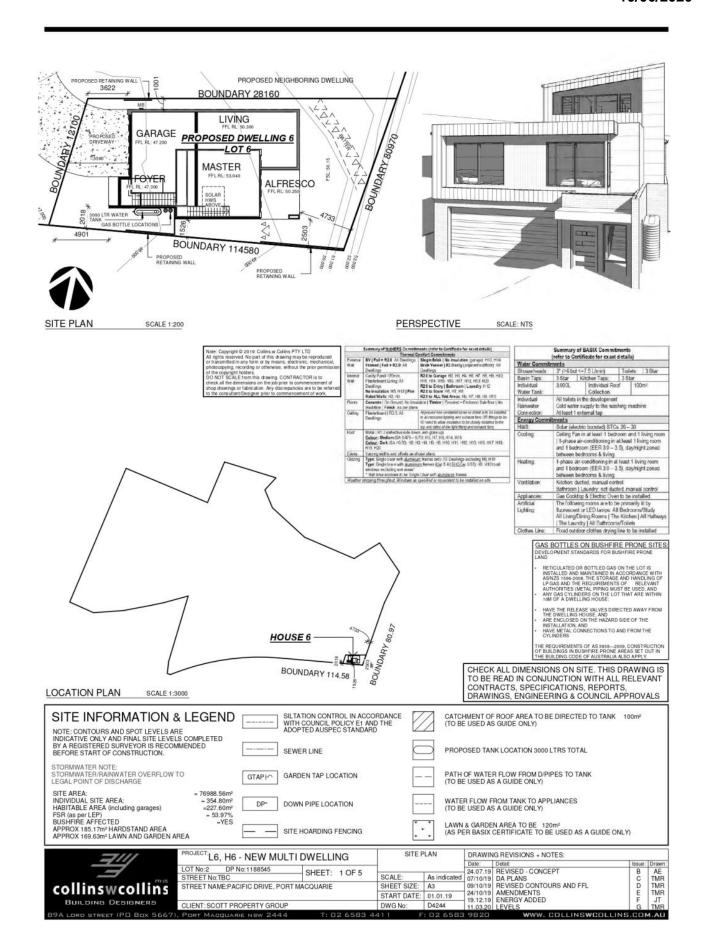
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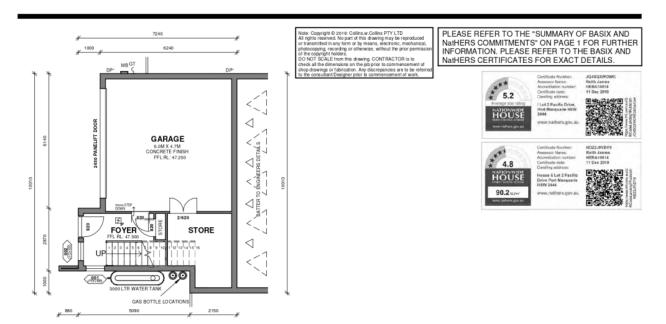






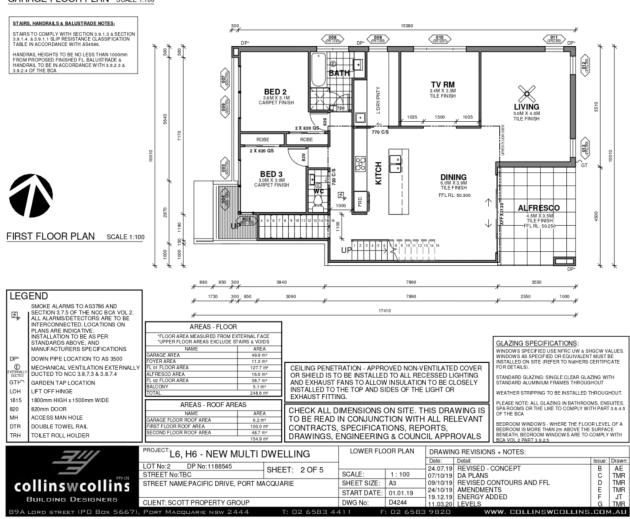


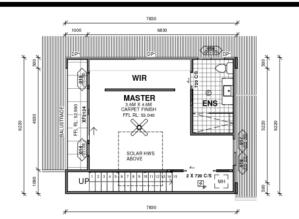






GARAGE FLOOR PLAN SCALE 1:100





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check all the dimensions on the job prior to commencement of
the optionary or the contraction of the contraction of the consultant/Designer prior to commencement of the consultant/Designer prior to commencement of twork.



SECOND FLOOR PLAN SCALE 1:100

AREAS - FLO	OOR
*FLOOR AREA MEASURED FRO *UPPER FLOOR AREAS EXCLU	
NAME	AREA
GARAGE AREA	49.9 m²
FOYER AREA	11,3 m ²
FL 01 FLOOR AREA	127.7 m²
ALFRESCO AREA	16.0 m ²
FL 02 FLOOR AREA	38.7 m²
BALCONY	5.1 m²
TOTAL	248.6 m²

AREAS - ROOF AREAS				
NAME	AREA			
GARAGE FLOOR ROOF AREA	6.2 m²			
FIRST FLOOR ROOF AREA	100.0 m²			
SECOND FLOOR ROOF AREA	48.7 m²			
	154.9 m²			

LEGEND

EINU
SMOKE ALARMS TO AS3786 AND
SECTION 3.7.5 OF THE NCC BCA VOL 2.
ALL ALAMS/DETECTORS ARE TO BE
INTERCONNECTED. LOCATIONS ON
PLANS ARE INDICATIVE.
INSTALLATION TO BE AS PER
STANDARDS ABOVE, AND
MANUFACTURERS SPECIFICATIONS B, DOWN PIPE LOCATION TO AS 3500 E STP MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GARDEN TAP LOCATION LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE LOH 820mm DOOR 820 ACCESS MAN HOLE DOUBLE TOWEL RAIL TOILET ROLL HOLDER

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FNISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE N FRC UW a SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE NOTALLED ON SITE (REFER TO NaMERS CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BOA VOL 2 PART 3.9.2.5

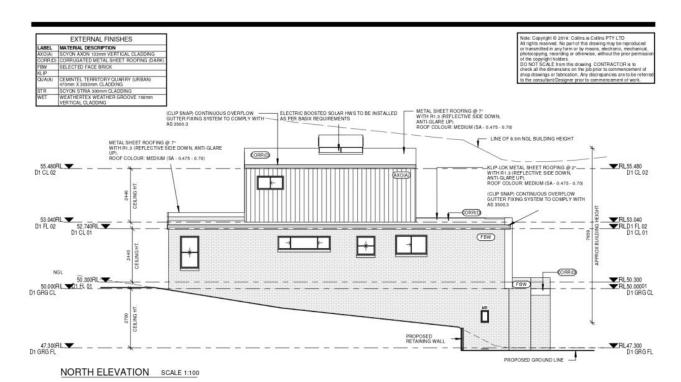
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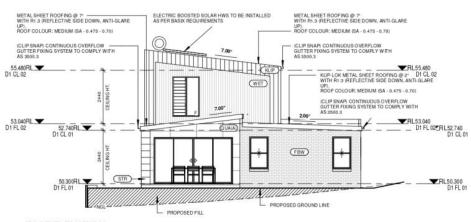
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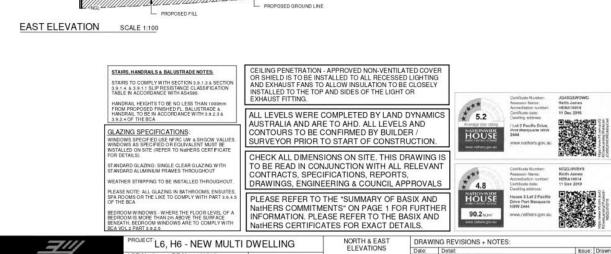
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7///	PROJECT: L6, H6 - NEW MULTI DWELLING		UPPER FLOOR PLAN		DRAWING REVISIONS + NOTES:				
	LOT No:2 DP No:1188545		-		Date:	Detail:	Issue:	Drawn:	
	STREET No:TBC	SHEET: 3 OF 5	SCALE:			REVISED - CONCEPT DA PLANS	B	AE TMR	
collinswcollins	STREET NAME:PACIFIC DRIVE, PORT MACQUARIE		SHEET SIZE:	A3	09/10/19	REVISED CONTOURS AND FFL	Ď	TMR	
			START DATE:	01.01.19		AMENDMENTS ENERGY ADDED	E	TMR	
Building Designers	CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244		LEVELS	G	TMR	
89A LORD STREET (PO Box 5667)	PORT MADQUARIE NSW 2444	T: 02 6583 44	411 F	: 02 6583	9820	WWW. COLLINSWCOLLINS	.co	UA.N	





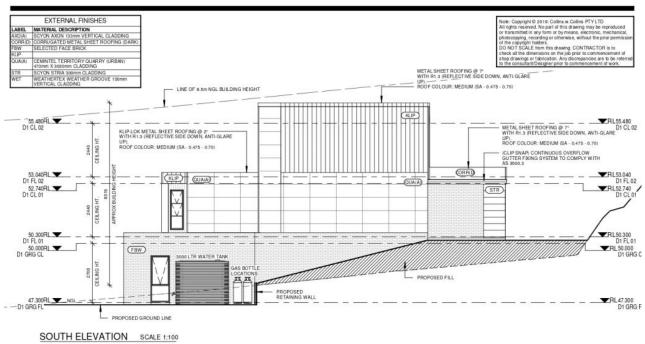


=///	PROJECT L6, H6 - NEW MULTI DWELLING		NG	NORTH & EAST		DRAWING REVISIONS + NOTES:					
					ELEVATIONS		Detail:	Issue	: Drawr		
_	LOT No:2 DP No:1188545	SHEET: 4 OF 5		SHEET: 4	188545 CHEET			24.07.19	REVISED - CONCEPT	В	AE
	STREET No:TBC	OTILLI.	4013	SCALE:	1:100	07/10/19	DA PLANS	l c	TMR		
ollinswcollins	STREET NAME:PACIFIC DRIVE, PORT MACQUARIE			SHEET SIZE:	A3	09/10/19	9 REVISED CONTOURS AND FFL 9 AMENDMENTS 9 ENERGY ADDED 10 LEVELS	D	TMR		
ollilla w Collilla				START DATE:	01.01.19			E	TMR		
Building Designers	CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244		G		JT			
LORD STREET (PO Box 5667)	PORT MADQUARIE NEW 2444	T: 0:	2 6583 4	1411 F	: 02 658	3 9820	WWW. COLLINSWCOLLI	NS.CO	M.AL		

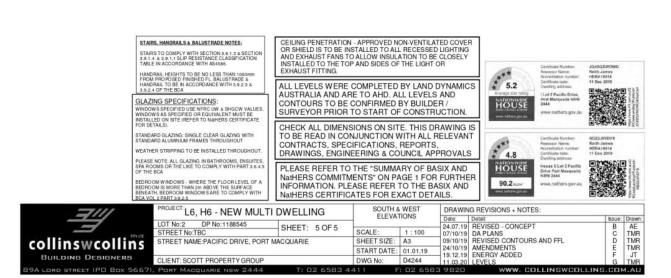
BUILDING DESIGNERS

STREET (PO Box 566

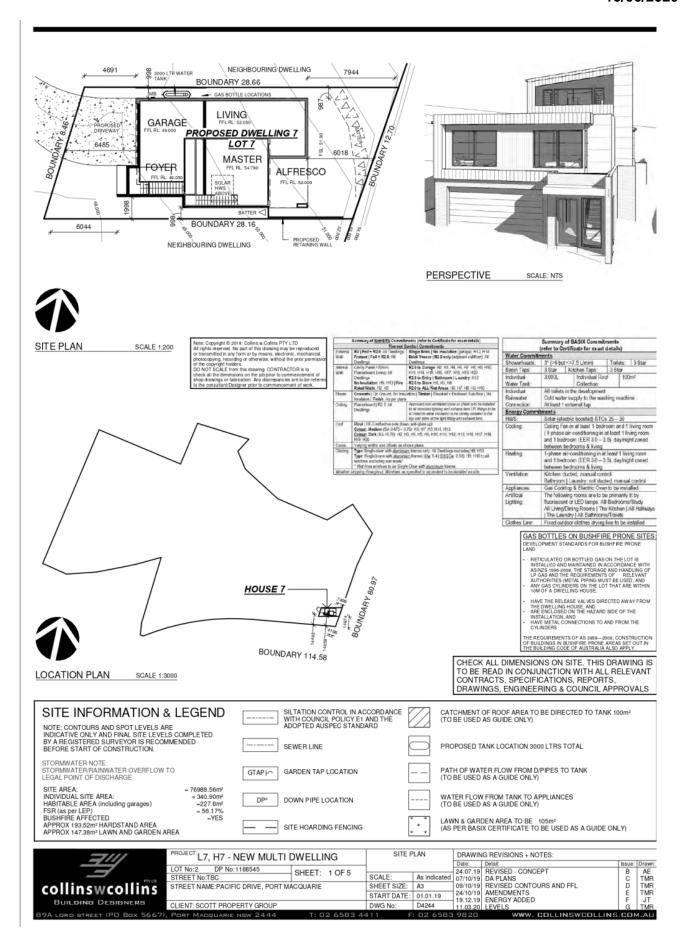
CLIENT: SCOTT PROPERTY GROU

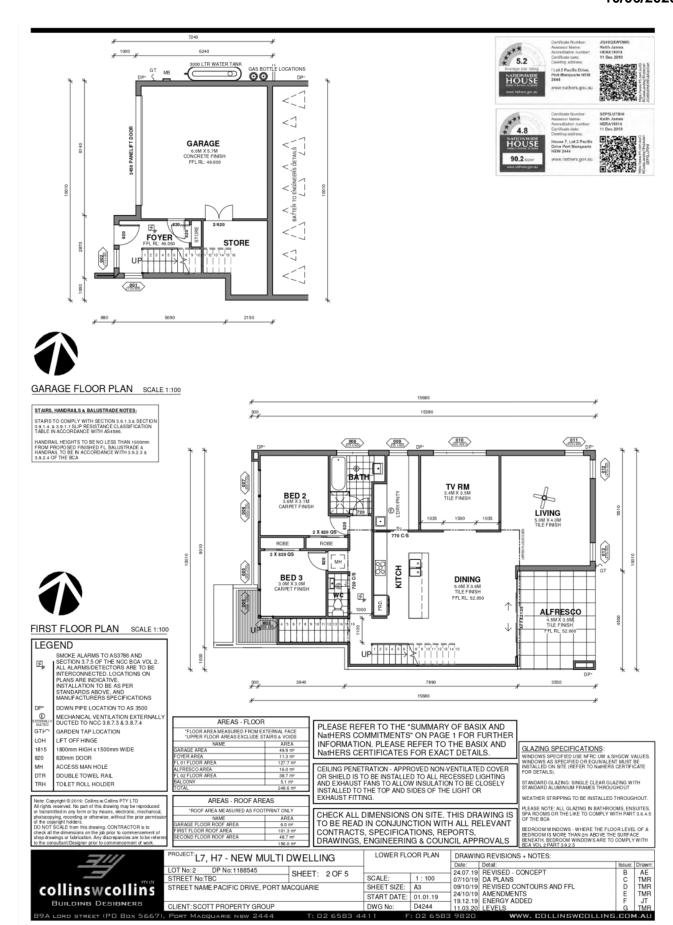






WWW. COLLINSWCOLLING.COM.AU









AREAS - FLOOR	l
*FLOOR AREA MEASURED FROM EX *UPPER FLOOR AREAS EXCLUDE S	
NAME	AREA
GARAGE AREA	49.9 m²
FOYER AREA	11.3 m²
FL 01 FLOOR AREA	127.7 m²
ALFRESCO AREA	16.0 m²
FL 02 FLOOR AREA	38.7 m²
BALCONY	5.1 m ²
TOTAL	248.6 m²

AREAS - ROOF ARE	AS
*ROOF AREA MEASURED AS FOOT	PRINT ONLY
NAME	AREA
GARAGE FLOOR ROOF AREA	6.0 m²
FIRST FLOOR ROOF AREA	101.3 m²
SECOND FLOOR ROOF AREA	48.7 m²
	156.0 m²

LEGEND

DTR

TRH

SMOKE ALARMS TO A \$3.786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE. AND MANUFACTURERS SPECIFICATIONS Ø, DOWN PIPE LOCATION TO AS 3500 MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GT H GARDEN TAP LOCATION LOH LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE 1815 820 820mm DOOR мн ACCESS MAN HOLE DOUBLE TOWEL RAIL

TOILET ROLL HOLDER STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTIO 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES
WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE
INSTALLED ON SITE (REFER TO NaIHERS CERTIFICATE
FOR DETAILS).

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5

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OR NOT SCALE from this disawing, CONTRACTOR is to CONTRACTOR is to CONTRACTOR in the contract of the contractor of the contractor of the contractor of the contractor. All you discrepancies are to be noted.

PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS.

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

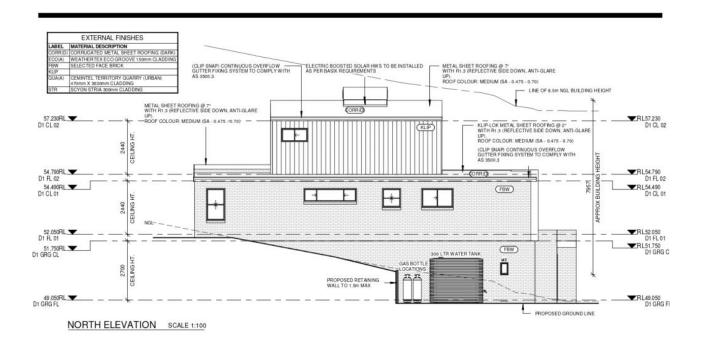


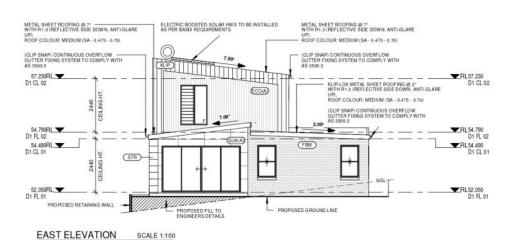






UPPER FLOOR PLAN JECT: L7, H7 - NEW MULTI DWELLING DRAWING REVISIONS + NOTES LOT No:2 DP No:1188545 SHEET: 3 OF 5 BCDEF SCALE: 1:100 SHEET SIZE: A3 STREET NAME:PACIFIC DRIVE, PORT MACQUARIE START DATE: 01.01.19
DWG No: D4244 CLIENT: SCOTT PROPERTY GROUP WWW. COLLINSWCOLLINS.COM.AU A LORD STREET (PO Box 5667), PORT MACQUARIE NEW 2444







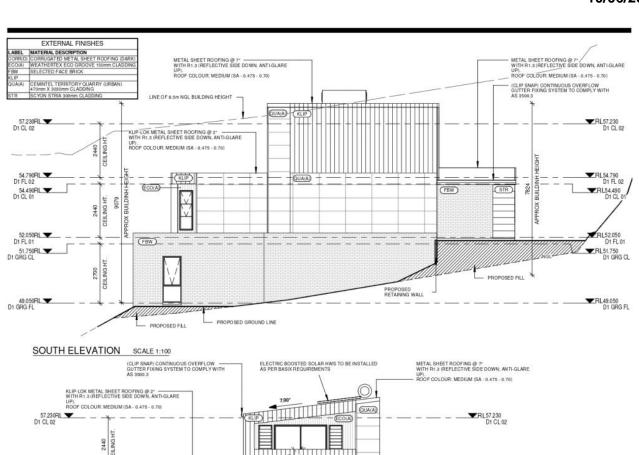
ZRL54.790 D1 FL 02

▼RL54.490 D1 CL 01

▼RL52.050 D1 FL 01

▼RL51.750 D1 GRG CL

▼RL49.050 D1 GRG FL



WEST ELEVATION SCALE 1:100

collinswcollins

BUILDING DESIGNERS

STREET (PO Box 566

CEILING HT 2440

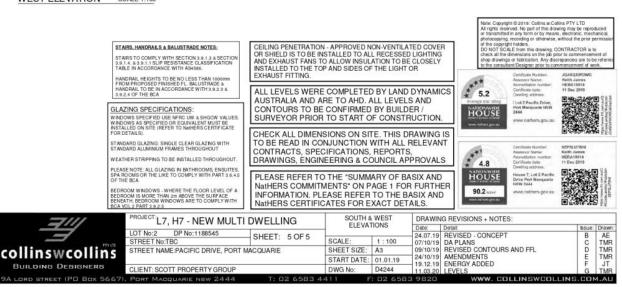
54.790RL 3 D1 FL 02

54,490RL

52.050RL3 D1 FL 01

51.750RL 3 D1 GRG CL

49.050RL 3 D1 GRG FL



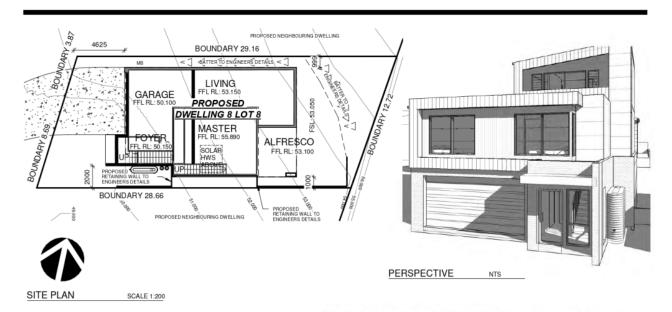
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DWG No: D4244

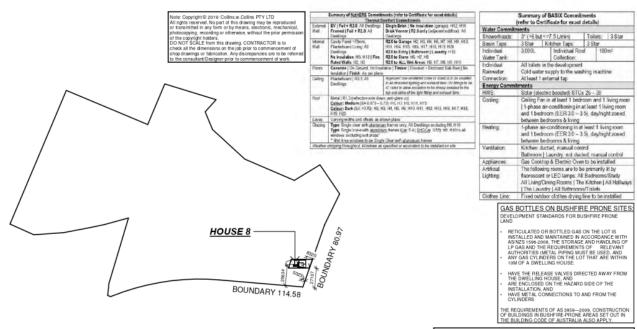
PROPOSED FILL TO ENGINEERS DETAILS

QUA(A)

PROPOSED GROUND LINE

CLIENT: SCOTT PROPERTY GROU



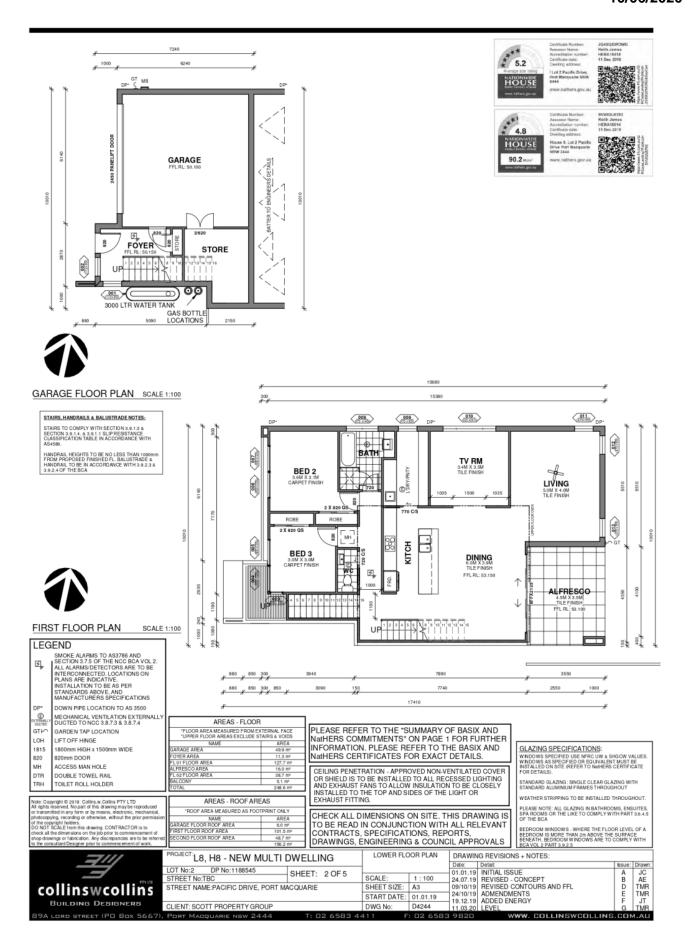


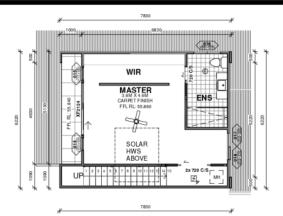
LOCATION PLAN SCALE 1:3000

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

SITE INFORMATION & LEGEN NOTE: CONTOURS AND SPOT LEVELS ARE	D SILTATION CONTROL IN ACCORDANG WITH COUNCIL POLICY E1 AND THE ADOPTED AUSPEC STANDARD	
INDICATIVE ONLY AND FINAL SITE LEVELS COMPLETED BY A REGISTERED SURVEYOR IS RECOMMENDED BEFORE START OF CONSTRUCTION.	SEWER LINE	PROPOSED TANK LOCATION 3000 LTRS TOTAL
STORMWATER NOTE: STORMWATER/RAINWATER OVERFLOW TO LEGAL POINT OF DISCHARGE	GTAP GARDEN TAP LOCATION	PATH OF WATER FLOW FROM DIPIPES TO TANK (TO BE USED AS A GUIDE ONLY)
SITE AREA:	m² DP° DOWN PIPE LOCATION	WATER FLOW FROM TANK TO APPLIANCES (TO BE USED AS A GUIDE ONLY)
BUSHFIRE AFFECTED = YE APPROX 191.81m² HARDSTAND AREA APPROX 155.32m² LAWN AND GARDEN AREA	SITE HOARDING FENCING	LAWN & GARDEN AREA TO BE 110m ² (AS PER BASIX CERTIFICATE TO BE USED AS A GUIDE ONLY)

7///	PROJECT: L8, H8 - NEW MULTI	DWELLIN	NG	SITE P	LAN	DRAWIN	G REVISIONS + NOTES:		
				ļ		Date:	Detail:	Issue:	Drawn:
	LOT No:2 DP No:1188545	SHEET:	1 OF 5			01.01.19	INITIAL ISSUE	Α	JC
	STREET No:TBC	OTTLET.	1013	SCALE:	As indicated	24.07.19	REVISED - CONCEPT	В	AE
collinswcollins	STREET NAME:PACIFIC DRIVE, PORT MA	ACQUARIE		SHEET SIZE:			REVISED CONTOURS AND FFL	D	TMR
				START DATE:	01.01.19		ADMENDMENTS ADDED ENERGY	Ę	TMR JT
Building Designers	CLIENT: SCOTT PROPERTY GROUP			DWG No:	D4244	11.03.20		Ğ	TMR
89A LORD STREET (PO Box 5667),	PORT MADQUARIE NSW 2444	T: 02	2 6583 4	411 F	02 6583	9820	WWW. COLLINSWCOLLINS	.co	UA.N







AREAS - FLOOR	
*FLOOR AREA MEASURED FROM E) *UPPER FLOOR AREAS EXCLUDE S	
NAME	AREA
GARAGE AREA	49.9 m²
FOYER AREA	11.3 m²
FL 01 FLOOR AREA	127.7 m²
ALFRESCO AREA	16.0 m²
FL 02 FLOOR AREA	38.7 m²
BALCONY	5.1 m²
TOTAL	248.6 m²

AREAS - ROOF A	REAS
*ROOF AREA MEASURED AS FO	OOTPRINT ONLY
NAME	AREA
GARAGE FLOOR ROOF AREA	6.0 m ²
FIRST FLOOR ROOF AREA	101.5 m²
SECOND FLOOR ROOF AREA	48.7 m²
	156.2 m²

LEGEND

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SMOKE ALARMS TO AS3786 AND
SECTION 3.75.0F THE NCC BCA VOL 2.
ALL ALARMSIDETECTORS ARE TO BE
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PLANS ARE INDICATIVE
INSTALLATION TO BE AS PER
STANDARDS ABOVE, AND
MANUFACTURERS SPECIFICATIONS DOWN PIPE LOCATION TO AS 3500 E TERNAL DUCTES MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GT H GARDEN TAP LOCATION LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE LOH 1815 820 820mm DOOR ACCESS MAN HOLE DOUBLE TOWEL RAIL DTR TRH TOILET ROLL HOLDER

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STARS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SUP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GLAZING SPECIFICATIONS: WINDOWS SPECIFIED USE NFRC UW A SHGCW VALUES WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE NSTALLED ON SITE (REFER TO NaIHERS CERTIFICATE FOR DETAILS).

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5

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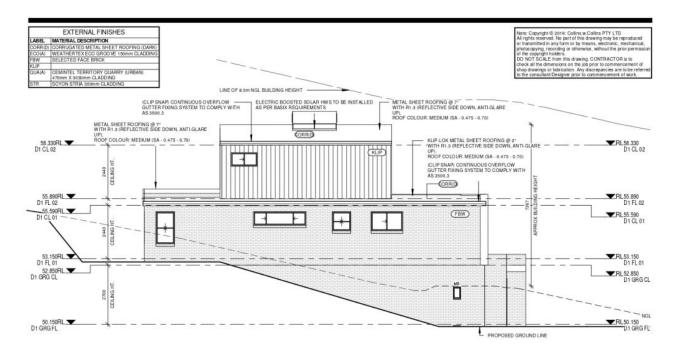
CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

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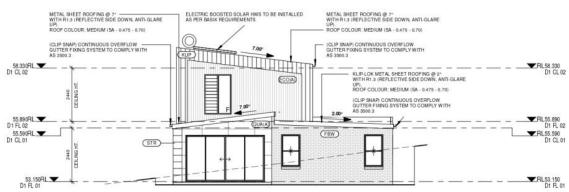


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to the consultant/Designer prior to commencement of work.	DRAWINGS, ENGINEERING &	COUNCIL AFFROVA	LO			- E	EI CANZASA PR	A. 25
7///	PROJECT: L8, H8 - NEW MULTI	OWELLING	UPPER FLO	OR PLAN		G REVISIONS + NOTES:		
	LOT No.2 DD No.1199545					Detail: INITIAL ISSUE	Issue:	Drawn:
_	STREET No:TBC	SHEET: 3 OF 5	SCALE:	1:100		REVISED - CONCEPT	l 🖁	AE
collinswcollins	STREET NAME:PACIFIC DRIVE, PORT MA	ACQUARIE	SHEET SIZE:	A3		REVISED CONTOURS AND FFL	D	TMR
			START DATE:	01.01.19		ADMENDMENTS ADDED ENERGY		TMR
Building Designers	CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244	11.03.20		G	TMR
	D M	T. OO CEOO 4			0000			



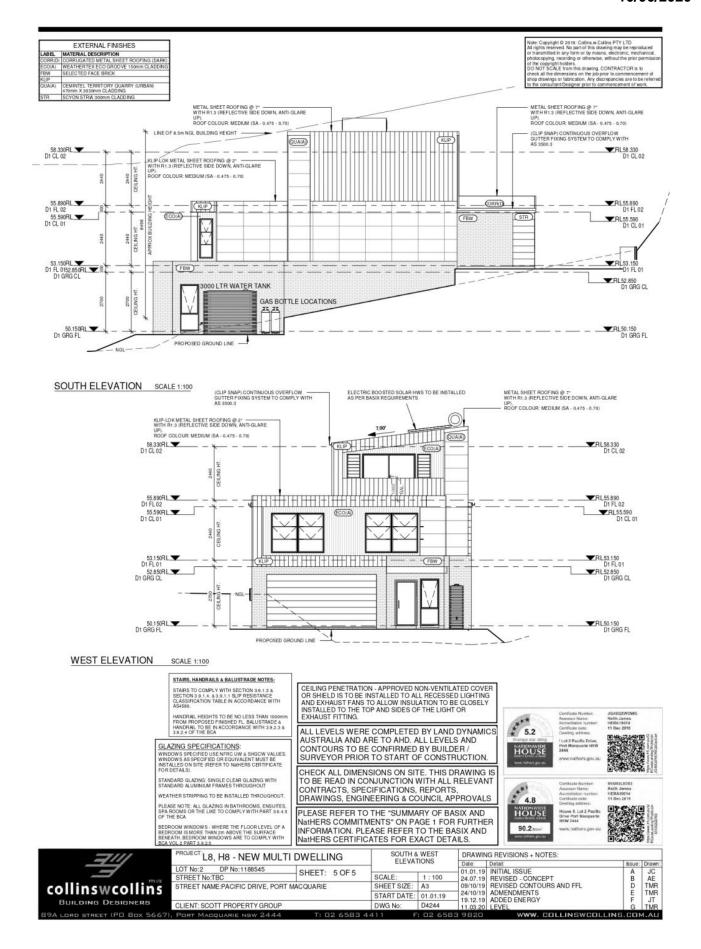
NORTH ELEVATION SCALE 1:100





7///	PROJECT: L8, H8 - NEW MULTI	DWELLIN	VG	NORTH 8		DRAWIN	IG REVISIONS + NOTES:		
				ELEVAT	IIONS	Date:	Detail:	Issue	: Drawr
	LOT No:2 DP No:1188545	SHEET:	4 OF 5			01.01.19	INITIAL ISSUE	A	JC
	STREET No:TBC	OTILLI.	4013	SCALE:	1:100	24.07.19	REVISED - CONCEPT	В	AE
llinswcollins	STREET NAME:PACIFIC DRIVE, PORT MACQUARIE		SHEET SIZE:	A3	09/10/19	REVISED CONTOURS AND FFL	D	TMR	
				START DATE:	01.01.19		ADMENDMENTS	E	TMR
Building Designers	CLIENT: SCOTT PROPERTY GROUP			DWG No:	D4244	11.03.20	ADDED ENERGY LEVEL	G	JT
DRD STREET (PO Box 5667)	, PORT MADQUARIE NSW 2444	T: 0:	2 6583 4	1411 F	: 02 658	3 9820	WWW. COLLINSWCOLLI	NS.CO	M.AL

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

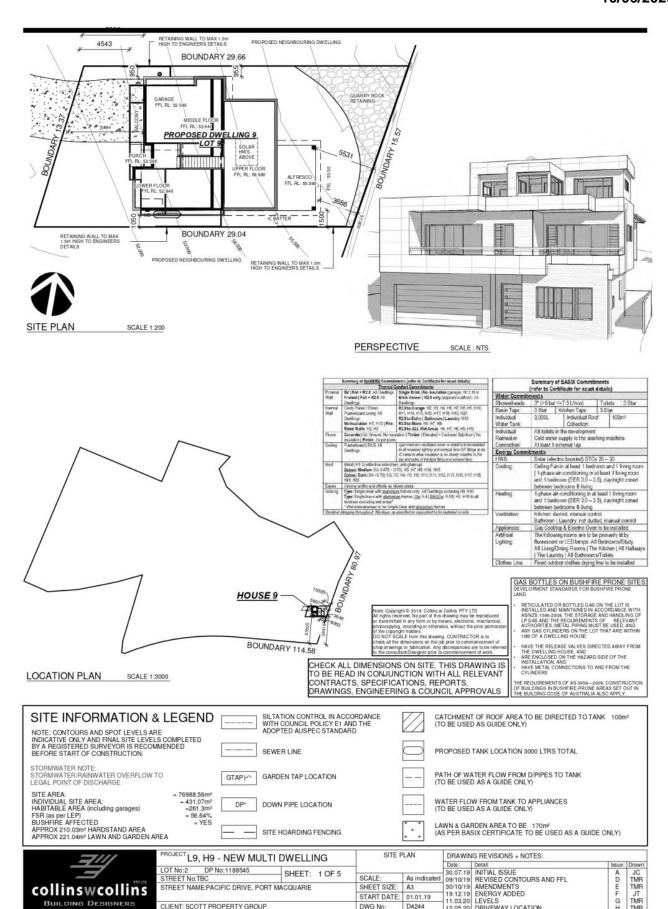


collinswcollins

BUILDING DESIGNERS

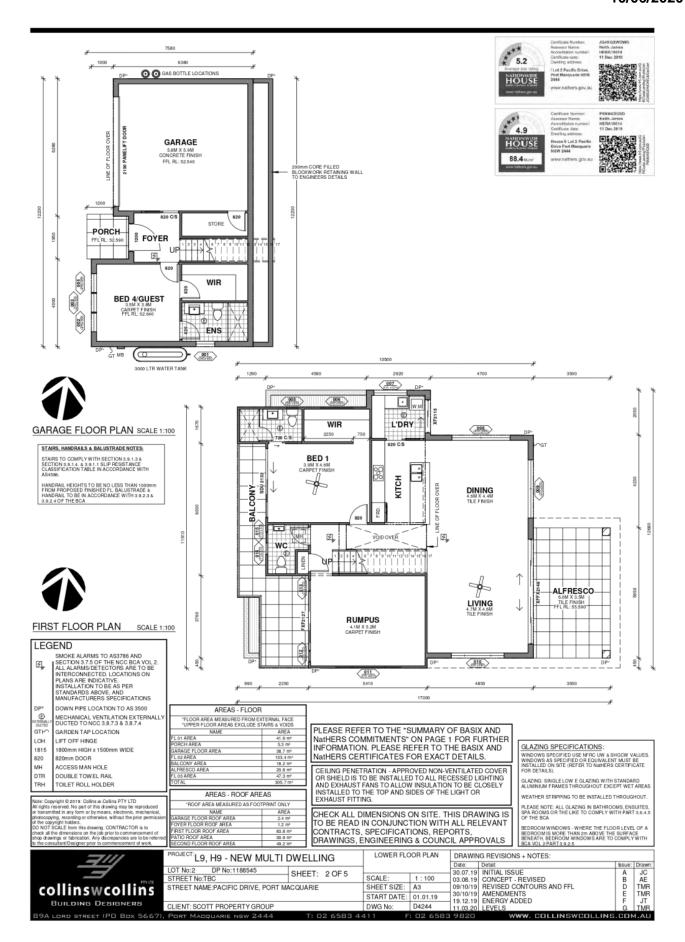
LORD STREET (PO Box 5667

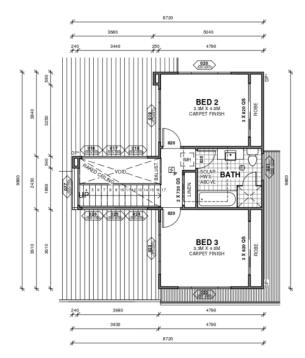
CLIENT: SCOTT PROPERTY GROUP



START DATE: 01.01.19

DWG No







AREAS - FLOO	R
"FLOOR AREA MEASURED FROM "UPPER FLOOR AREAS EXCLUDE	
NAME	AREA
FL 01 AREA	41.9 m²
PORCH AREA	5,3 m²
GARAGE FLOOR AREA	38.7 m ^a
FL 02 AREA	133.4 m²
BALCONY AREA	18.2 m²
ALFRESCO AREA	20.8 m²
FL 03 AREA	47.3 m²
TOTAL	305.7 m²

AREAS - ROOF ARE	EAS
*ROOF AREA MEASURED AS FOO	TPRINT ONLY
NAME	AREA
GARAGE FLOOR ROOF AREA	2.4 m²
FOYER FLOOR ROOF AREA	1.2 m²
FIRST FLOOR ROOF AREA	83.8 m²
PATIO ROOF AREA	30.9 m²
SECOND FLOOR ROOF AREA	49.2 m²

LEGEND

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE NDICATIVE INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS 团 DOWN PIPE LOCATION TO AS 3500

© EXTERNA GTP MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GARDEN TAP LOCATION LOH LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE 1815 820 820mm DOOR

МН ACCESS MAN HOLE DOUBLE TOWEL RAIL TRH TOILET ROLL HOLDER

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4 & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WI AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PRO POSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE N ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GLAZING SPECIFICATIONS:

GLAZING: SINGLE LOW E GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT EXCEPT WET AREAS WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

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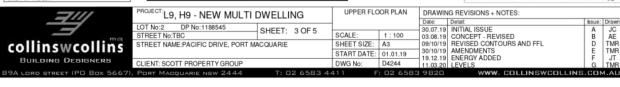
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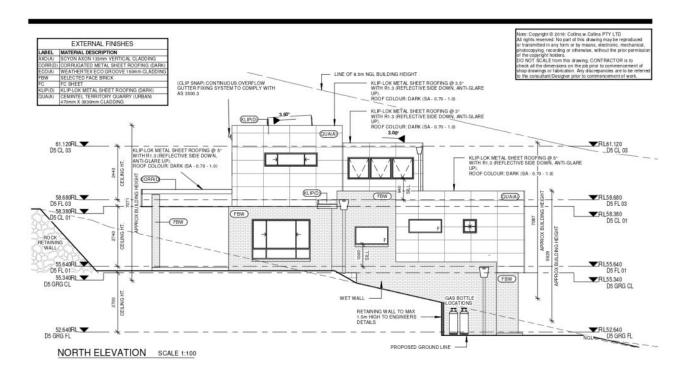
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS. DRAWINGS, ENGINEERING & COUNCIL APPROVALS



HOUSE

88.4







EAST ELEVATION SCALE 1:100

collinswcollins

BUILDING DESIGNERS

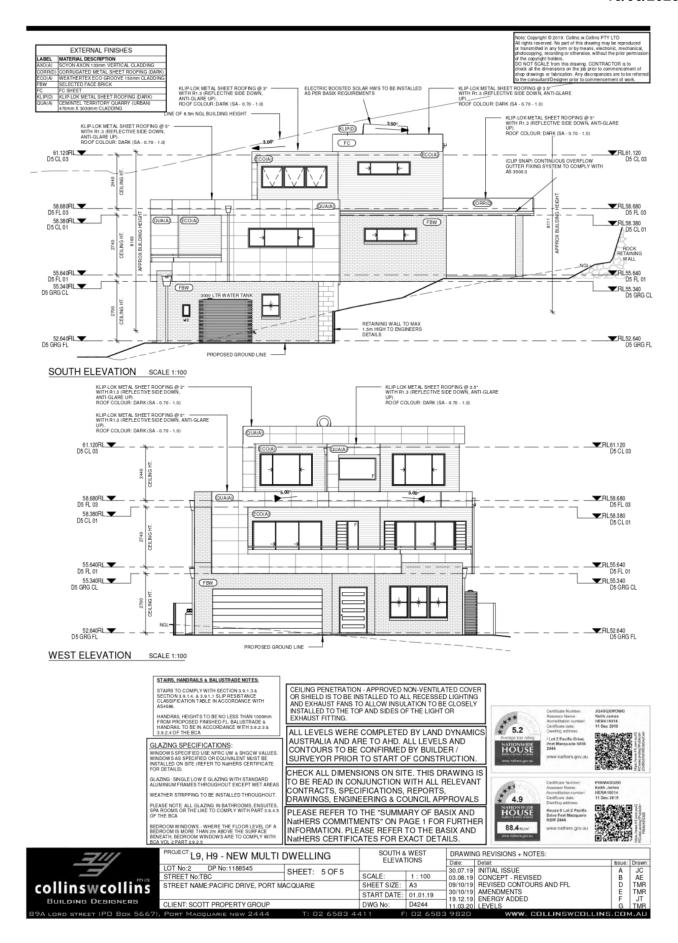
STREET (PO Box 566"

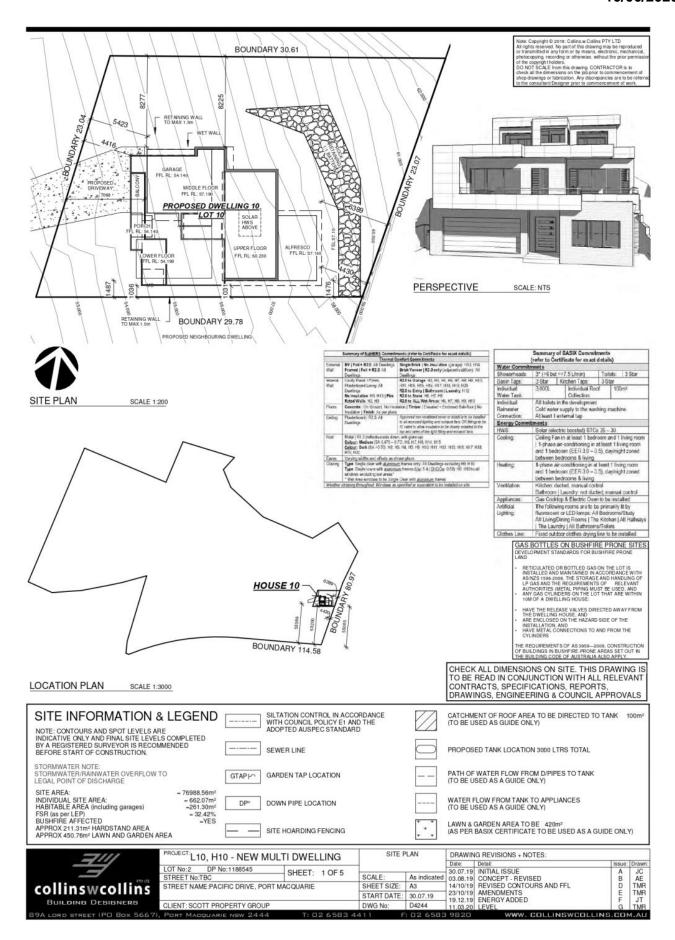
CLIENT: SCOTT PROPERTY GROU

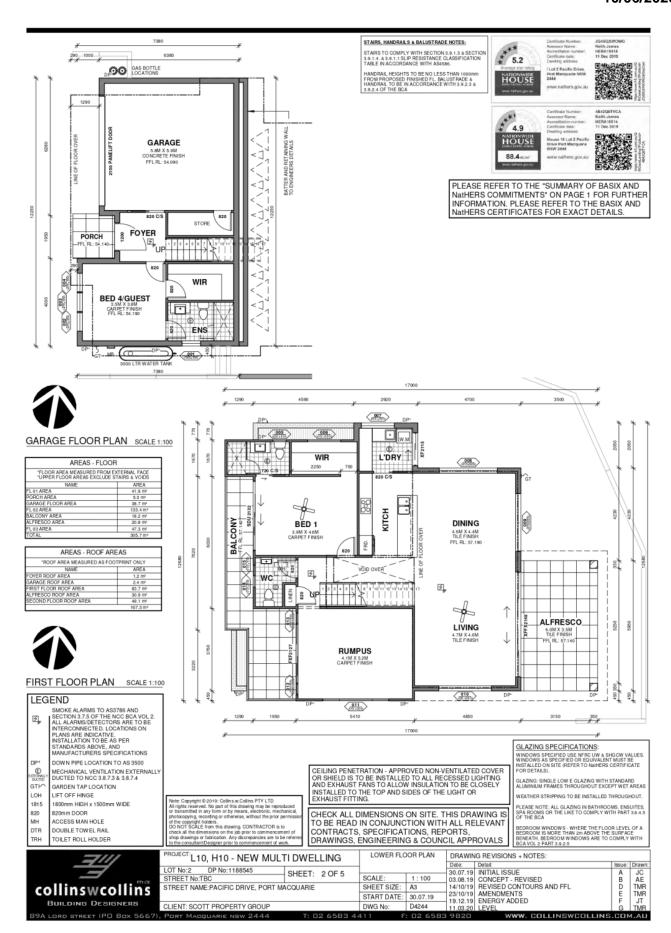


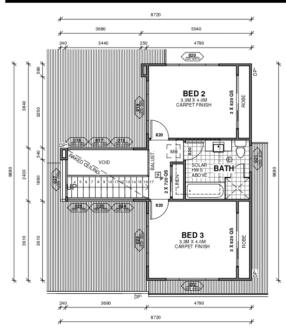
START DATE: 01.01.19
DWG No: D4244

WWW. COLLINSWCOLLING.COM.AU











AREAS - FLOOR	1
"FLOOR AREA MEASURED FROM EX "UPPER FLOOR AREAS EXCLUDE S	
NAME	AREA
FL 01 AREA	41.9 m²
PORCH AREA	5.3 m²
GARAGE FLOOR AREA	38.7 m²
FL 02 AREA	133.4 m²
BALCONY AREA	18.2 m²
ALFRESCO AREA	20.8 m²
FL 03 AREA	47.3 m²
TOTAL	305.7 m²

AREAS - ROOF A	REAS
*ROOF AREA MEASURED AS FO	OTPRINT ONLY
NAME	AREA
FOYER ROOF AREA	1.2 m²
GARAGE ROOF AREA	2.4 m²
FIRST FLOOR ROOF AREA	83.7 m²
ALFRESCO ROOF AREA	30.9 m²
SECOND FLOOR ROOF AREA	49.1 m²
	157.9 m2

LEGEND

1815

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NOC BOA VOL. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS DOWN PIPE LOCATION TO AS 3500 Ø, MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4

GT1 GARDEN TAP LOCATION LIFT OFF HINGE

1800mm HIGH x 1500mm WIDE

820 MH 820mm DOOR ACCESS MAN HOLE DOUBLE TOWEL RAIL DTR

TOILET ROLL HOLDER

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES.
WINDOWS AS SPECIFIED OR FOUNAL BYT MUST BE
INSTALLED ON SITE (REFER TO NaMERS CERTIFICATE
FOR DETAILS).

GLAZING: SINGLE LOW E GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT EXCEPT WET AREAS WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

collinswcollin BUILDING DESIGNERS

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STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

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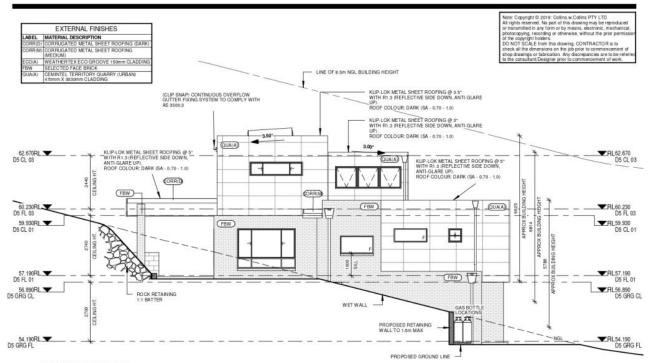
CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS,



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DRAWINGS, ENGINEERING & C	OUNCIL APPROVAL	S				(C) (S) (S)	1 40
PROJECT:L10, H10 - NEW MULT	I DWELLING	UPPER FLO	OR PLAN	DRAWIN	IG REVISIONS + NOTES:		
				Date:	Detail:	Issue:	Drawn:
LOT No:2 DP No:1188545	SHEET: 3 OF 5			30.07.19	INITIAL ISSUE	A	JC
STREET No:TBC	SILLI. 3 OI 3	SCALE:	1:100		CONCEPT - REVISED	В	AE
STREET NAME:PACIFIC DRIVE, PORT MA	CQUARIE	SHEET SIZE:	A3		REVISED CONTOURS AND FFL	D	TMR
		START DATE:	30.07.19		AMENDMENTS ENERGY ADDED	E	TMR
CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244	11 03 20		G	TMR

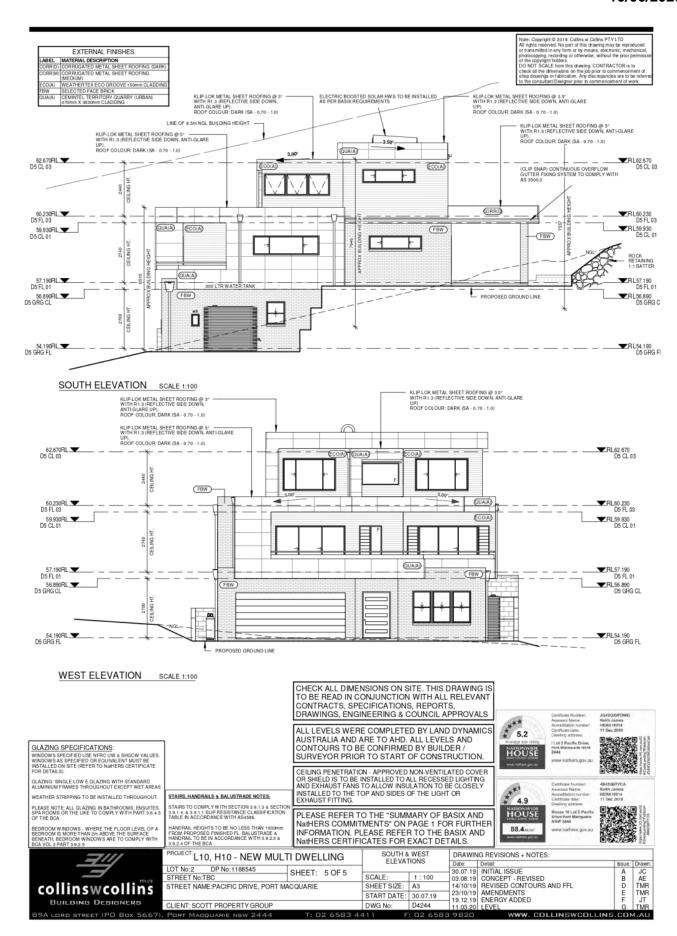


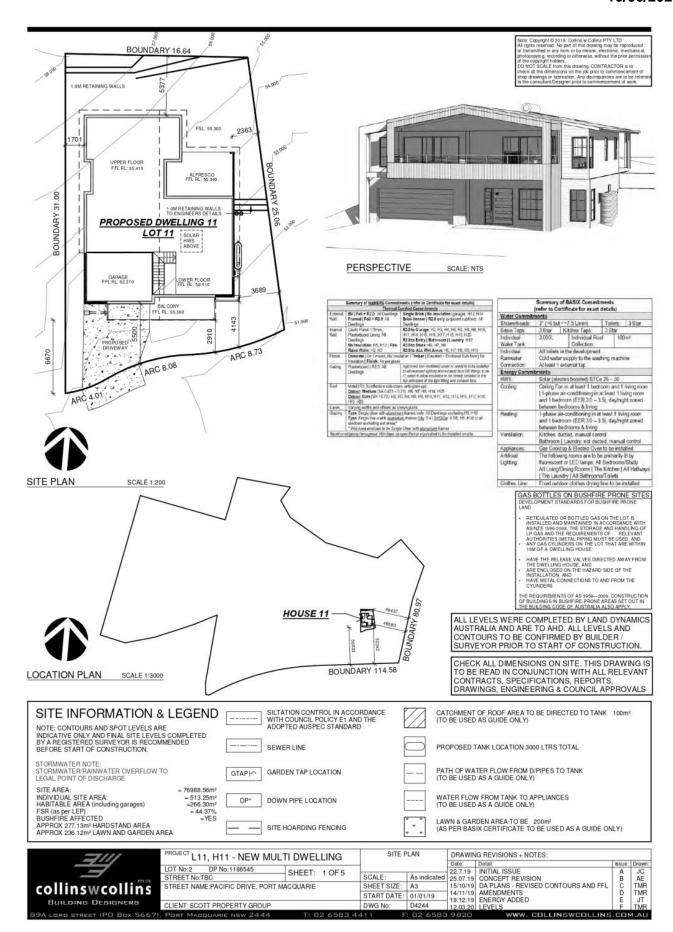
NORTH ELEVATION SCALE 1:100

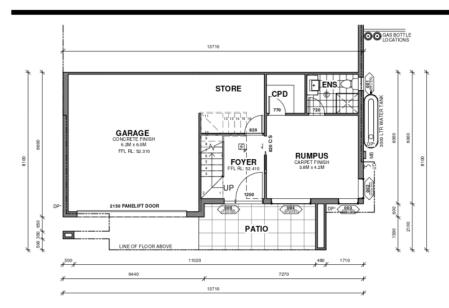




7///	PROJECT: L10, H10 - NEW MULTI DWELLING				DRAWIN	DRAWING REVISIONS + NOTES:			
				ELEVAI	ELEVATIONS Date:		Detail:	Issue	: Drawr
	LOT No:2 DP No:1188545	SHEET: 4 C)F5			30.07.19	INITIAL ISSUE	A	JC
	STREET No:TBC	OTILLI. 40	, ,	SCALE:	1:100	03.08.19	CONCEPT - REVISED	В	AE
ollinswcollins	STREET NAME:PACIFIC DRIVE, PORT MACQUARIE			SHEET SIZE:	A3	14/10/19	REVISED CONTOURS AND FFL	D	TMR
				START DATE:	30.07.19		AMENDMENTS ENERGY ARREST	Ę	TMF
Building Designers	CLIENT: SCOTT PROPERTY GROUP			DWG No:	D4244	11.03.20	ENERGY ADDED LEVEL	G	JT
LORD STREET (PO Box 5667), PORT MADQUARIE NSW 2444	T: 02 6	583 4	411 F	: 02 658	3 9820	WWW. COLLINSWCOLLI	NS.CO	M.AL











GROUND FLOOR PLAN SCALE 1:100

AREAS - FLOOR						
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS						
NAME	AREA					
GARAGE AREA	50.0 m²					
LOWER FLOOR AREA	36.2 m²					
PORCH AREA	12.0 m²					
UPPER FLOOR AREA	180.1 m²					
ALFRESCO AREA	23.0 m²					
BALCONY AREA 18.2 m²						
TOTAL	319.5 m²					

AREAS - ROOF AR	EAS
*ROOF AREA MEASURED AS FOO	TPRINT ONLY
NAME	AREA

LEGEND

SMOKE ALARIMS TO AS3786 AND
SECTION 3.7.5 OF THE NCC BCA VO. 2.
ALL ALLARIMS/DETECTORS ARE TO BE
INTERCONNECTED. LOCATIONS ON
PLANS ARE INDICATIVE.
INSTALLATION TO BE AS PER
STANDARDS ABOVE. AND
MANUFACTURERS SPECIFICATIONS

DP
DOWN PIPE LOCATION TO AS 3500

MECHANICAL VENTILATION EXTERNALLY
DUCTED TO NCC 3.8.7.3 & 3.8.7.4

GTP
GROBEN TAP LOCATION

LIFT OFF HINGE
1815
1800mm HIGH x 1500mm WIDE
820
820mm DOOR

MH
ACCESS MAN HOLE
DTR
DOUBLE TOWEL RAIL

THH TOLET FOLL HOLDER

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USENFRICUW & SHOCK VALUES. WINDOWS AS SPECIFIED ON EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NaMERS CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 2 9 25

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA ALL LEVELS WERE COMPLETED BY LAND DYNAMICS AUSTRALIA AND ARE TO AHD. ALL LEVELS AND CONTOURS TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

PLEASE REFER TO THE "SUMMARY OF BASIX AND NATHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NATHERS CERTIFICATES FOR EXACT DETAILS.

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CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



PROJECT: L11, H11 - NEW MULTI DWELLING		GROUND FLOOR PLAN		DRAWING REVISIONS + NOTES:				
		4 [Date:	Detail:	Issue:		
LOT No:2 DP No:1188545	SHEET:	2 OF 5			22.7.19	INITIAL ISSUE	l A	JC
STREET No:TBC	OTTLETT.	2 01 0	SCALE:	1:100	25.07.19	CONCEPT REVISION	В	AE
STREET NAME:PACIFIC DRIVE, PORT M.	ACQUARIE		SHEET SIZE:			DA PLANS - REVISED CONTOURS AND FFL	C	TMR
			START DATE:	01/01/19		AMENDMENTS	D	TMR
					19.12.19	ENERGY ADDED	E	JT
CLIENT: SCOTT PROPERTY GROUP			DWG No:	D4244	12.03.20	LEVELS	F	TMR
, PORT MACQUARIE NSW 2444	T: O2	6583 4	411 F	: 02 6583	9820	WWW. COLLINSWCOLLINS	.con	1.AU







FIRST FLOOR PLAN SCALE 1:100 AREAS - FLOOR

AREAS - F			
*FLOOR AREA MEASURED F *UPPER FLOOR AREAS EXC		HANDRAIL	
NAME		TO COMPL 3.9.1.1 SL	
GARAGE AREA		N ACCORD	
LOWER FLOOR AREA			
PORCH AREA	12.0 m²		AIL HEIGHT POPOSED
UPPER FLOOR AREA	180.1 m²		AIL TO BE IT
ALFRESCO AREA	23.0 m²		F THE BCA
BALCONY AREA	18.2 m²	_	
TOTAL	319.5 m²	I EC	END
AREAS - ROO	FAREAS	٦١٠٥٥	SMOKE
*ROOF AREA MEASURED A	AS FOOTPRINT ONLY	团	SECTIO
NAME	AREA	- 124	ALL ALA
IRST FLOOR BOOF AREA	253.2 m²	-11	PLANS
		¬ I	INSTALL
GLAZING SPECIFICATIO	NAME OF TAXABLE PARTY.	Ш	STANDA
WINDOWS SPECIFIED USE NFR WINDOWS AS SPECIFIED OR EC INSTALLED ON SITE (REFER TO	DUIVALENT MUST BE	DP°	DOWN
FOR DETAILS).	Namens Centificate	EXTERNAL	MECHA
STANDARD GLAZING: SINGLE C	LEAR GLAZING WITH	DUCTED	DUCTE
STANDARD ALUMINIUM FRAMES	THROUGHOUT	GTIM	GARDE
WEATHER STRIPPING TO BE IN:	STALLED THROUGHOUT.	LOH	LIFT OF
PLEASE NOTE: ALL GLAZING IN	BATHROOMS ENSUITES	1815	1800mm
SPA ROOMS OR THE LIKE TO CO OF THE BCA	OMPLY WITH PART 3.6.4.5	820	820mm
	MH	ACCES	
BEDROOM WINDOWS - WHERE BEDROOM IS MORE THAN 2m A	DTR	DOUBL	
BENEATH, BEDROOM WINDOWS BCA VOL 2 PART 3.9.2.5		TRH	TOILET
		PROJECT	
7			L11,
	7	LOT No:	
		STREET	No:TBC

STAIRS, HANDRAILS & BALUSTRADENOTES:
STAIRS TO COMPLY WITH SECTION 3.9.1.9. & SECTION
3.9.1.8. & 3.9.1. \$10 PRESISTANCE CLASSIFICATION
TABLE IN ACCORDANCE WITH AS4586.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm
FROM PROP

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCG BCA VOL 2.

ALL ALARMISDETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE.
INSTALLATION TO BE AS PER STANDARDS ABOVE. AND MANUFACTURERS SPECIFICATIONS

DP

DOWN INTERCONNECTED. TO AS 3500 MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCG 3.8.7.3.6.3.8.7.4 GATIVE TO FF HINGE

1815

820

820mm DOOR

MH

ACCESS MAN HOLE

DTB

DOUBLE TOWLE RAIL

TRH

TOLET ROLL HOLDER

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A thou drawings or a faircration. Any discreasancies are to be refer

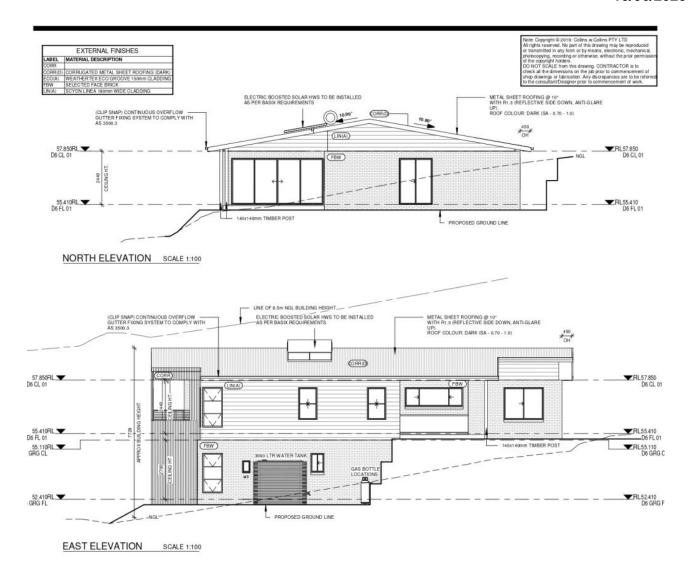
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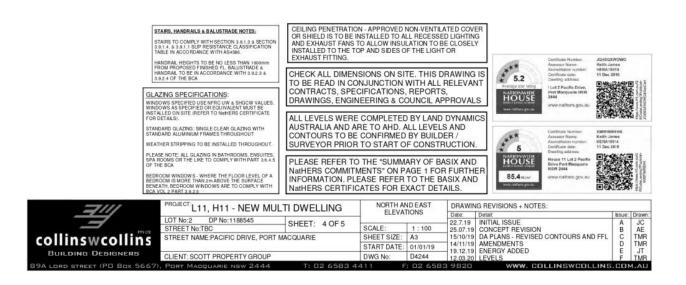
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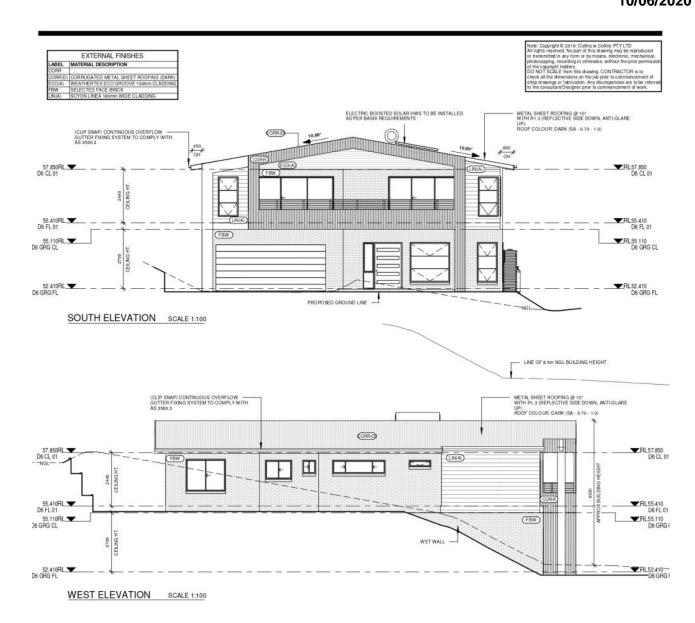
CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

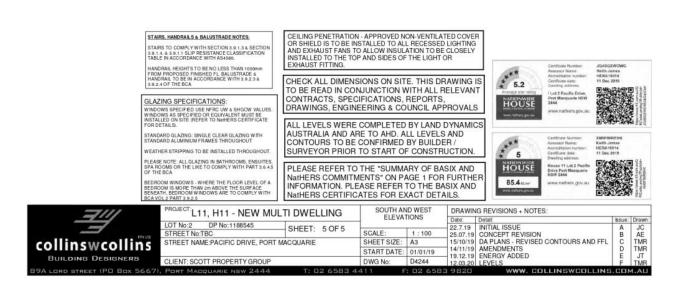
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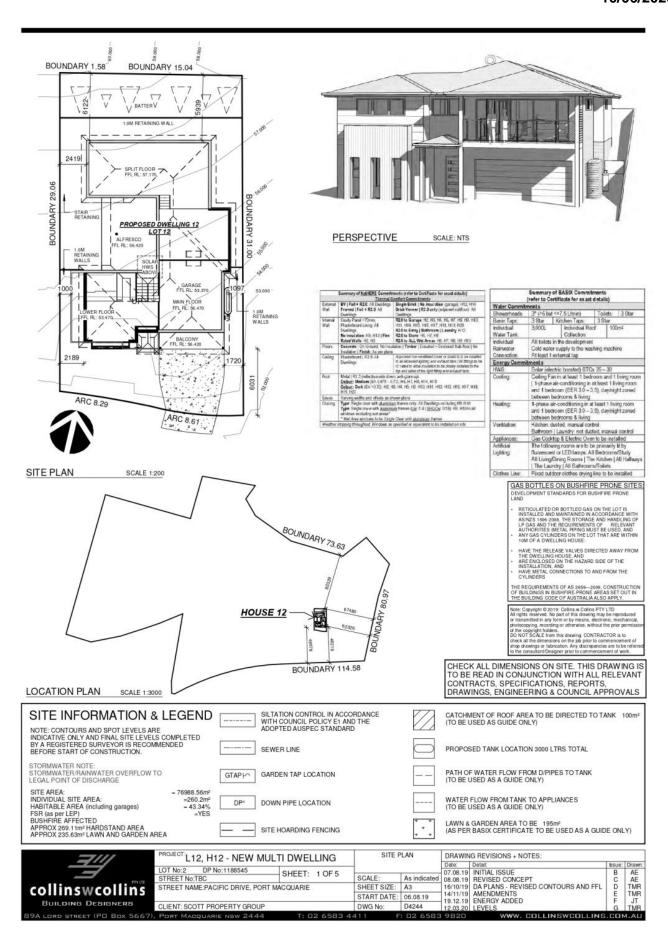
ICA VOL 2 PART 3.9.2.5		to the consultant/Desig	ner prior to commencer	ment of work.	1			
7///	PROJECT: L11, H11 - NEW MULTI DWELLING		FIRST FLO	OR PLAN	DRAWIN	G REVISIONS + NOTES:		
	LOT New DD News 1005 45				Date: 22.7.19	Detail: INITIAL ISSUE	Issue:	Drawn:
	STREET No:TBC	SHEET: 3 OF 5	SCALE:	1:100		CONCEPT REVISION	B	AE
collinswcollins	STREET NAME:PACIFIC DRIVE, PORT MACQUARIE		SHEET SIZE:	A3		DA PLANS - REVISED CONTOURS AND FFL	C	TMR
			START DATE:	01/01/19		AMENDMENTS ENERGY ADDED	F P	TMR
Building Designers	CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244	12.03.20		F	TMR
39A LORD STREET (PO Box 5667),	PORT MACQUARIE NSW 2444	T: 02 6583 4	411 F	: 02 6583	9820	WWW. COLLINSWCOLLINS	.COM	UA.I

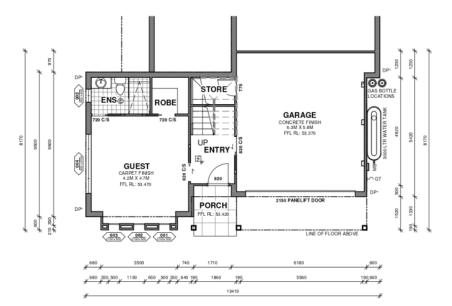














GROUND FLOOR PLAN SCALE 1:100

AREAS - FLOOR					
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS					
NAME	AREA				
LOWER FLOOR AREA	44.8 m²				
GARAGE AREA	40.5 m²				
PORCH AREA	4.4 m²				
MAIN FLOOR AREA	112.0 m²				
AFRESCO AREA	33.1 m²				
BALCONY AREA	9.0 m²				
SPLIT FLOOR AREA	62.9 m²				

AREAS - ROOF AREAS						
*ROOF AREA MEASURED AS FOOTPRINT ONLY						
NAME	AREA					
PORCH ROOF AREA	4.0 m²					
PARAPET ROOF AREA	1.7 m²					
SECOND ELOOP POOF AREA	247 4 mil					

LEGEND

SMOKE ALARMS TO A \$3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE NOICATIVE INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS 国

DOWN PIPE LOCATION TO AS 3500 MECHANICAL VENTILATION EXTERNALLY DUCTED TO NOC 3.8.7.3 & 3.8.7.4

GTH GARDEN TAP LOCATION

LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE 1815 820 820mm DOOR

ACCESS MAN HOLE DOUBLE TOWEL RAIL DTR TRH TOILET ROLL HOLDER

GLAZING SPECIFICATIONS

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NatHERS CERTIFICATE

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.9 OF THE BCA

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STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

PLEASE REFER TO THE "SUMMARY OF BASIX AND Nathers Commitments" on Page 1 for Further INFORMATION. PLEASE REFER TO THE BASIX AND Nathers Certificates for exact details.

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS SPECIFICATIONS REPORTS DRAWINGS, ENGINEERING & COUNCIL APPROVALS

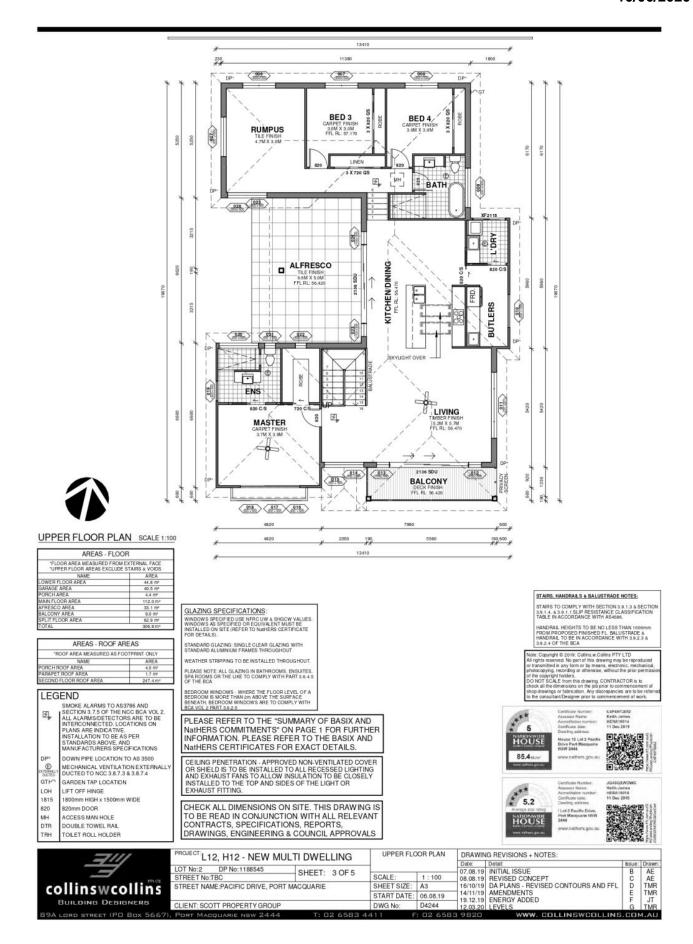
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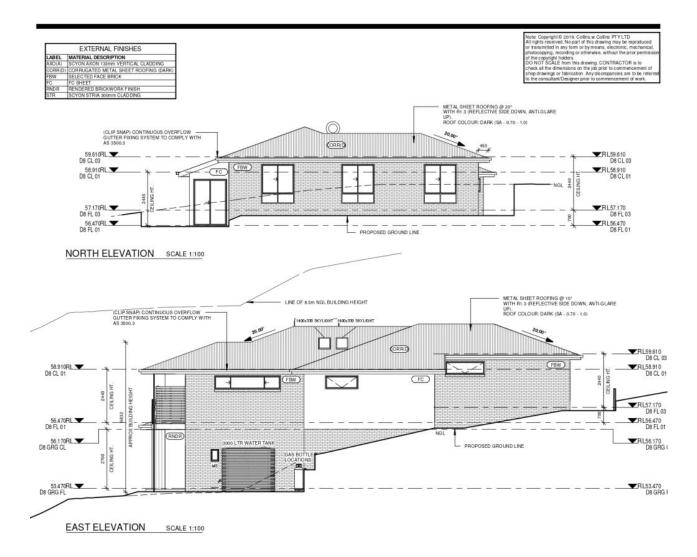


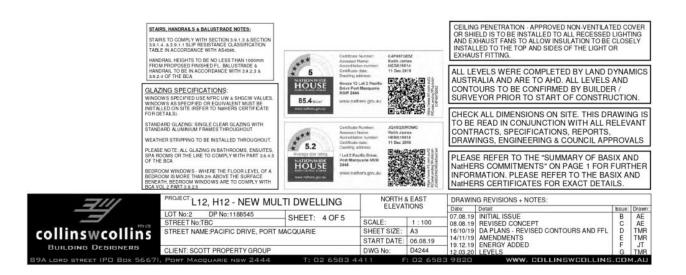


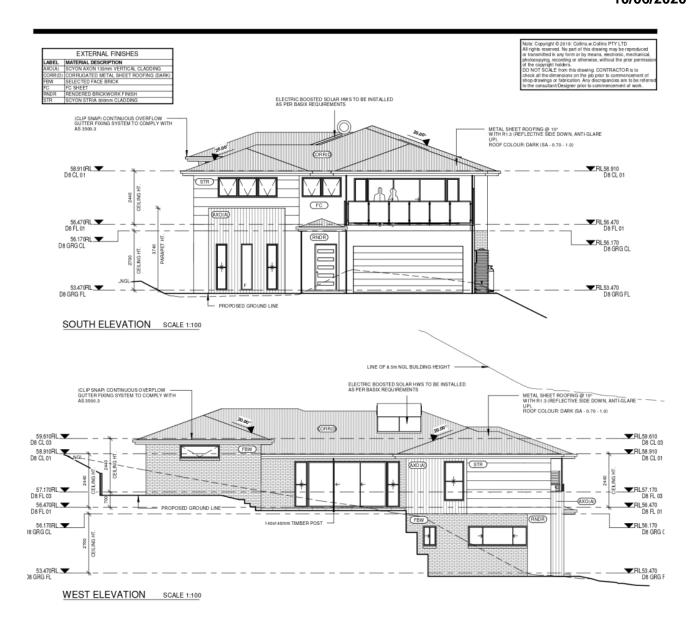
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COllinsWcollins Building Designers

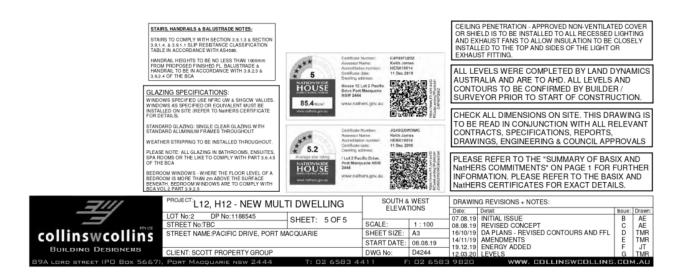
7///	PROJECT: L12, H12 - NEW MULTI DWELLING		LOWER FLOOR PLAN		DRAWING REVISIONS + NOTES:				
7					Date:	Detail:	Issue:	Drawn:	
	LOT No:2 DP No:1188545	SHEET:	2 OF 5			07.08.19	INITIAL ISSUE	В	AE
	STREET No:TBC	OTTLET.	2013	SCALE:	1:100	08.08.19	REVISED CONCEPT	Ιċ	AE
collinswcollins	STREET NAME:PACIFIC DRIVE, PORT MA	ACQUARIE		SHEET SIZE:	A3		DA PLANS - REVISED CONTOURS AND FFL	D	TMR
				START DATE:	06.08.19		AMENDMENTS ENERGY ADDED	E	TMR
Building Designers	CLIENT: SCOTT PROPERTY GROUP			DWG No:	D4244		LEVELS	G	TMR
89A LORD STREET (PO Box 5667)	, Port Macquarie NSW 2444	T: 02	2 6583 4	411 F	: 02 6583	9820	WWW. COLLINSWCOLLING	.co	UA.N

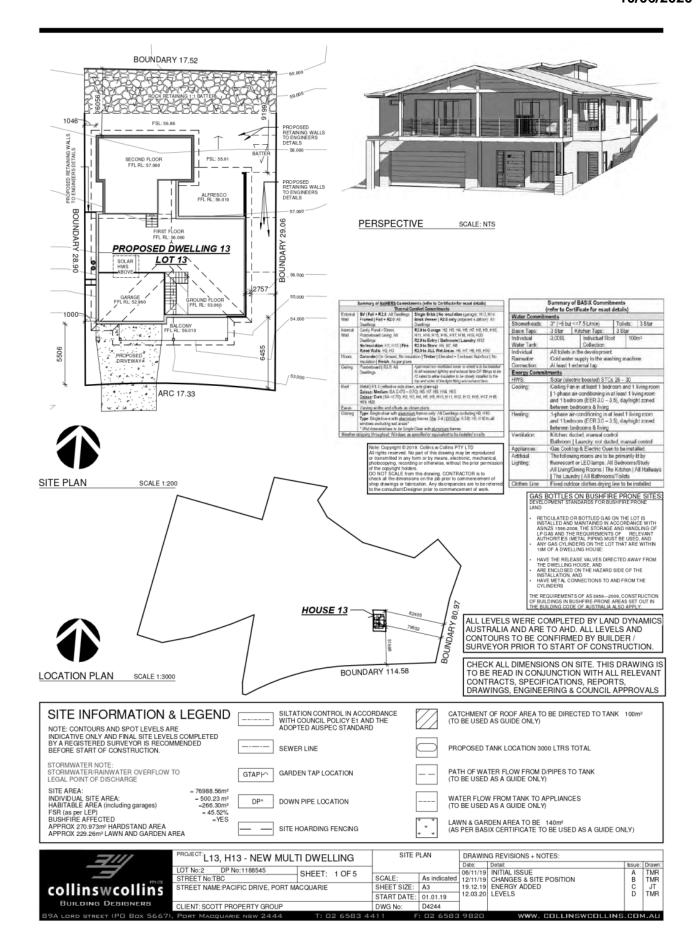


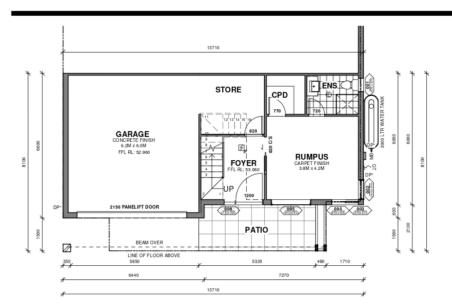












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GROUND FLOOR PLAN SCALE 1:100

AREAS - FLOOR						
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS						
NAME	AREA					
GARAGE AREA	50.0 m²					
LOWER FLOOR AREA	36.2 m ²					
PORCH AREA	12.0 m²					
UPPER FLOOR AREA	180.1 m²					
ALFRESCO AREA	23.0 m²					
BALCONY AREA	18.2 m²					
TOTAL	319.5 m²					

AREAS - ROOF AR	EAS
*ROOF AREA MEASURED AS FOO	TPRINT ONLY
NAME	AREA

LEGEND

SIMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE INCC BCA VOL 2. ALL ALARMS ADDETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE AND MANUFACTURERS SPECIFICATIONS DOWN PIPE LOCATION TO AS 3500 MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 (E) GARDEN TAP LOCATION LOH LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE 320mm DOOR МН ACCESS MAN HOLE DOUBLE TOWEL RAIL TOILET ROLL HOLDER

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USENFROLUM & SHOCK VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NaMERS CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTIO 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE N ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA



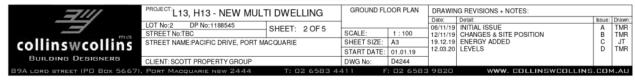
*** * 5.2 HOUSE

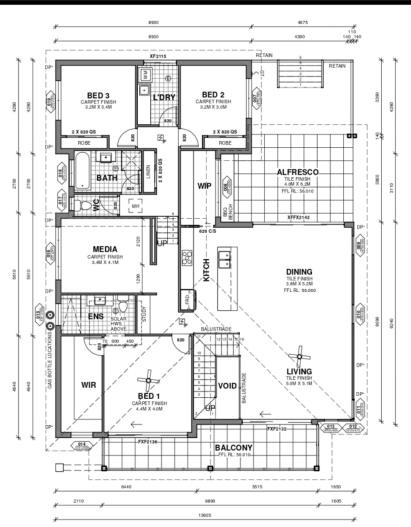
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CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS DRAWINGS, ENGINEERING & COUNCIL APPROVALS









FIRST FLOOR PLAN SCALE 1:100

AREAS - FLOOR

*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS

NAME	AREA	1		TO COMP
GARAGE AREA	50.0 m²	1		& 3.9.1.1 S IN ACCOR!
LOWER FLOOR AREA	36.2 m²	1	IADLE	IN ACCOM
PORCH AREA	12.0 m²	1		AIL HEIGH
UPPER FLOOR AREA	180.1 m²	1		PROPOSED
ALFRESCO AREA	23.0 m²	1		AIL TO BE
BALCONY AREA	18.2 m²	1	3.9.2.4	OF INE BU
TOTAL	319.5 m²	3 1		ENID
		=	LEG	END
AREAS - ROOF ARE	AS	Ш	l	SMOKE
*ROOF AREA MEASURED AS FOOT	PRINT ONLY	11	团。	SECTION
NAME	AREA	11		ALL ALA
FIRST FLOOR ROOF AREA	253.2 m²	11		PLANS /
<u> </u>		=		INSTALL
GLAZING SPECIFICATIONS:		Ш		STANDA
		Ш		MANUE
WINDOWS SPECIFIED USE NFRC UW & : WINDOWS AS SPECIFIED OR EQUIVALE!	SHGCW VALUES. NT MUST BE	Ш	DP°	
INSTALLED ON SITE (REFER TO NatHERS	S CERTIFICATE	Ш		DOWNE
FOR DETAILS).		Ш	EXTERNALLY	MECHAI
STANDARD GLAZING: SINGLE CLEAR GL	AZING WITH	Ш	DUCTED	DUCTED
STANDARD ALUMINIUM FRAMES THROU	GHOUT	Ш	GT⊬≏	GARDE
WEATHER STRIPPING TO BE INSTALLED	THROUGHOUT.	П	LOH	LIFT OF
PLEASE NOTE: ALL GLAZING IN BATHRO	OMS ENSUITES	Ш	1815	1800mm
SPA ROOMS OR THE LIKE TO COMPLY V		Ш	820	820mm I
OF THE BCA		Ш	MH	ACCESS
BEDROOM WINDOWS - WHERE THE FLO BEDROOM IS MORE THAN 2m APOVE TH		Ш	DTR	DOUBLE
BENEATH, BEDROOM WINDOWS ARE TO		Ш	TRH	TOILET
BCA VOL 2 PART 3.9.2.5		Ш	INH	TOILET
		D	DO IECT	
7///			HOULUI	L13, I
		L	OT No:2	2 Di
		S	TREET	No:TBC
collinswcol	PTY LTE	_		NAME:P
commswco	uns	3		THE STATE OF

BUILDING DESIGNE

STAIRS, HANDRAILS & BALUSTRADENOTES;
STAIRS TO COMPLY WITH SECTION 3.0.1.2.8. SECTION
3.0.1.4.3.2.0.1.5. BUT RESISTANCE CLASSIFICATION
TABLE IN ACCORDANCE WITH A54-98.

HANDRAIL HEIGHTS TO BE NO LESS TRAIN 1050mm
FROM PROPOSED PRINDING IN LEBLUSTRADE 3.
3.9.2.4.0 FTHE BCA.
3.9.2.4.0 FTHE BCA.

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCG BCA VOL 2.

ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED LOCATIONS ON PLANS ARE WIGGATURE PER STANDARDS ARGVE, AND MANUFACTURERS SPECIFICATIONS

DP

MECHANICAL VENTILATION EXTERNALLY GITLE TO AGADEN TAP LOCATION TO LIFT OFF HINGE

1815 1800mm HIGH x 1500mm WIDE

820 820mm DOOR

DOUBLE TOWEL RAIL TOILET ROLL HOLDER Note: Copyright ID 2019: Callins w Callins PTY LTD.
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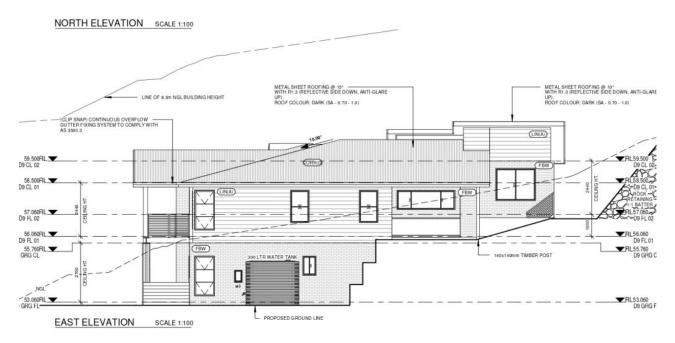
CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

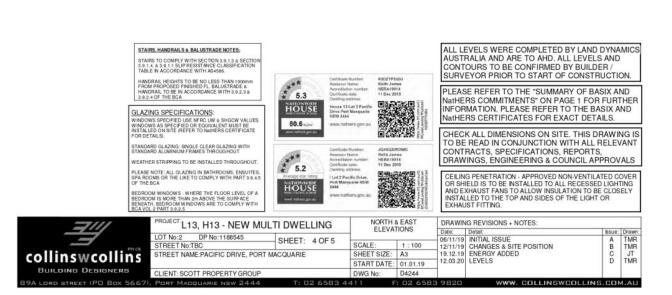
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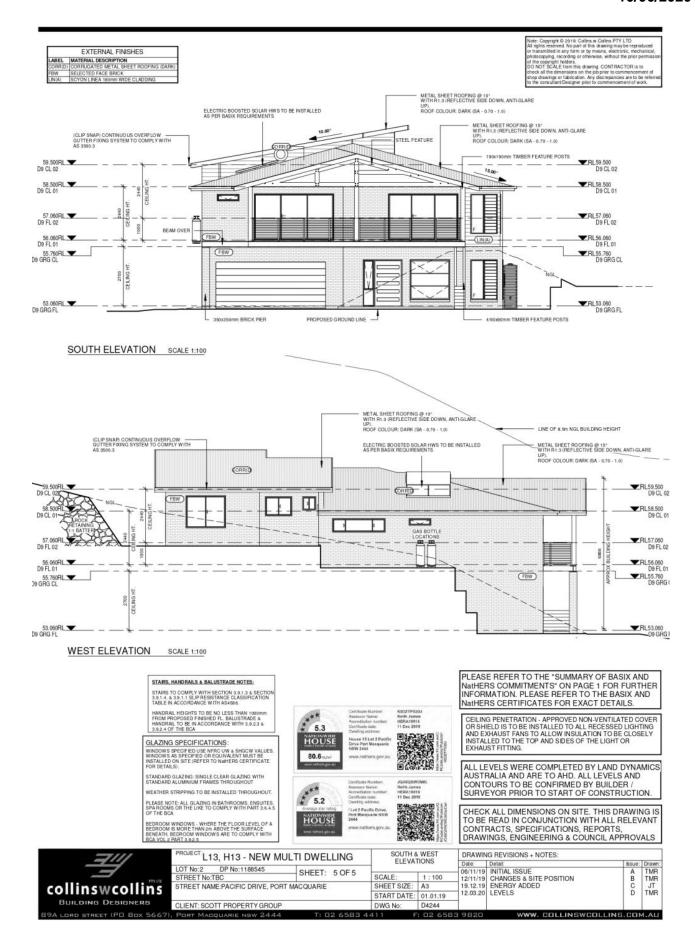
	PROJECT: L13, H13 - NEW MULTI DWELLING		FIRST FLOOR PLAN		DRAWING REVISIONS + NOTES:				
						Date:	Detail:	Issue:	Drawn:
	LOT No:2 DP No:1188545	SHEET:	2 OE 5			06/11/19	INITIAL ISSUE	Α	TMR
1170	STREET No:TBC	STILLT.	3013	SCALE:	1:100		CHANGES & SITE POSITION	В	TMR
5	STREET NAME:PACIFIC DRIVE, PORT MA	CQUARIE		SHEET SIZE:	A3		12.19 ENERGY ADDED	С	JT
				START DATE:	01.01.19	12.03.20	3.20 LEVELS		TMR
	CLIENT: SCOTT PROPERTY GROUP			DWG No:	D4244				
567),	PORT MACQUARIE NSW 2444	T: 0	2 6583 4	411 F	: 02 6583	9820	WWW. COLLINSWCOLLINS	.CON	LA.I

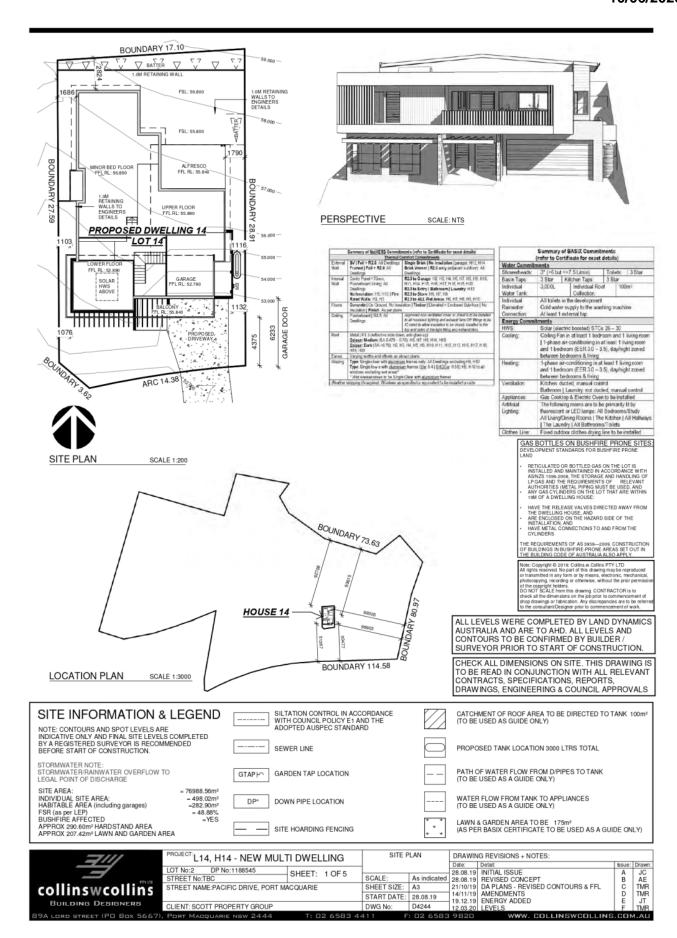
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OCRRID) OCRRIGATED METAL SHEET ROOFING (DARK)
FBW SELECTED FACE BRICK.
DO NOT SCALE from this drawing-CONTRACTOR as to
the consultant/Designer prior to commencement of
the consultant/Designer prior to commencement of
the consultant/Designer prior to commencement of

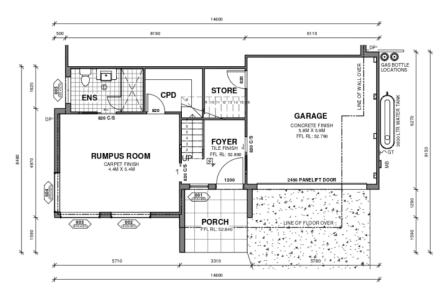














LOWER FLOOR PLAN SCALE 1:100

AREAS - FLO	OOR
*FLOOR AREA MEASURED FRO *UPPER FLOOR AREAS EXCLU	
NAME	AREA
LOWER FLOOR AREA	51.1 m²
GARAGE FLOOR AREA	41.7 m²
PORCH AREA	9.1 m²
UPPER FLOOR AREA	190.1 m²
ALFRESCO AREA	23.4 m²
BALCONY AREA	12.8 m²
TOTAL	328.2 m²

AREAS - ROOF ARE	AS
*ROOF AREA MEASURED AS FOO	TPRINT ONLY
NAME	AREA
LOWER FLOOR ROOF AREA	6.7 m²
UPPER FLOOR ROOF AREA	257.3 m²

LEGEND

SMOKE ALARMS TO AS3786 AND
SECTION 3.7.5 OF THE NCC BCA VOL 2.
ALL ALARMS/CETECTORS ARE TO BE
INTERCONNECTED. LOCATIONS ON
PLANS ARE INDICATIONS
INSTALLATION TO BE AS PER
STANDADOS ABOVE. APD
MANUFACTURERS SPECIFICATIONS
DPP
DOWN PIPE LOCATION TO AS 3500
MECHANICAL VENTILATION EXTERNALLY
DUCTED TO NCC 3.8.7.3 & 3.8.7.4

GTTP
GARDEN TAP LOCATION

LOH LIFT OFF HINGE

1815 1800mm HIGH x 1500mm WIDE

820 820mm DOOR

MH ACCESS MAN HOLE
DTR DOUBLE TOWEL RAIL
TRH TOILET ROLL HOLDER

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES.
WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE
INSTALLED ON SITE (REFER TO NIGHERS CERTIFICATE
FOR DETALS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5

STAIRS, HANDRAILS & BALUSTRADE NOTES;

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA Note: Capyright © 2019: Collins w. Collins PTY LTD.
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Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address: / Lot 2 Pacific Drive, Port Macquarie NSW 2444

#: HERA10014 11 Dec 2019

34
collinswcollins
Building Designers
89A LORD STREET (PO Box 5667)



FLOOR PLAN	SCALE 1:10
AREAS - FLOO)R
*FLOOR AREA MEASURED FROM *UPPER FLOOR AREAS EXCLUDE	
NAME	AREA
LOWER FLOOR AREA	51.1 m²
GARAGE FLOOR AREA	41.7 m²

AREAS - ROOF AREAS

LEGEND

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE NOIGATIVE.
INSTALLATION TO BE AS PER STANDARDS ABOVE. AND MANUFACTURERS SPECFICATIONS 团 DOWN PIPE LOCATION TO AS 3500 E STP MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4

GARDEN TAP LOCATION LOH LIFT OFF HINGE

1815 1800mm HIGH x 1500mm WIDE 820mm DOOR мн ACCESS MAN HOLE DOUBLE TOWEL RAIL TOILET ROLL HOLDER

GLAZING SPECIFICATIONS

STANDARD GLAZING: SINGLE CLEAR GLAZING WI STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

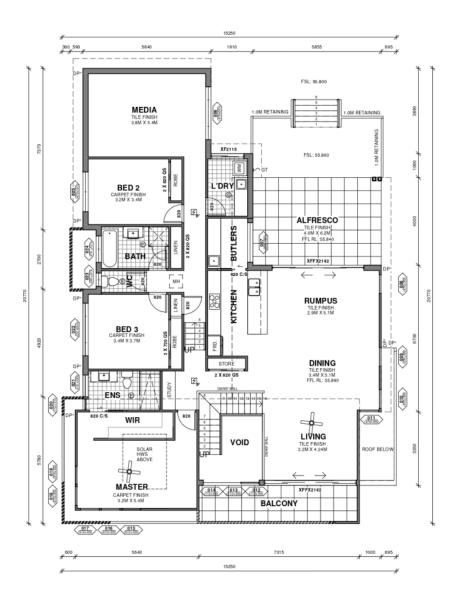
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BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA





/ Lot 2 Pacific Drive, Port Macquarie NSV 2444

5.2

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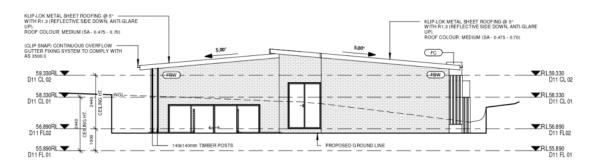
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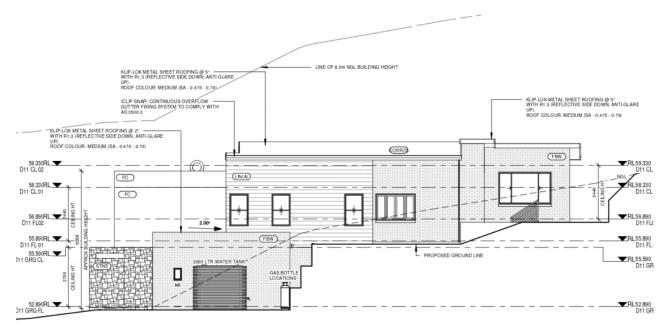
ROJECT: L14, H14 - NEW MULTI DWELLING UPPER FLOOR PLAN DRAWING REVISIONS + NOTES | DRAWINGS | 156...|
DRIBE	DOBBR
28.08.19	INITIAL ISSUE
28.08.19	REVISED CONCEPT
21/10/19	DA PLANS - REVISED CONTOURS & FFL
14/11/19	AMENDMENTS
19.12.19	ENERGY ADDED
12.03.20	LEVELS
WWW. GDILLINSWCOLLINGS	
WWW. GDILLINSWCOLLINGS	
Control	Control
Contr LOT No:2 DP No:1188545 SHEET: 3 OF 5	
STREET No.TBC STREET NAME:PACIFIC DRIVE, PORT MACQUARIE JC AE TMR TMR JT SCALE SHEET SIZE: A3 START DATE: 28.08.19
DWG No: D4244 CLIENT: SCOTT PROPERTY GROU WWW. COLLINSWCOLLINS.COM.AU



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NORTH ELEVATION SCALE 1:100



EAST ELEVATION SCALE 1:100

STAIRS, HANDRAILS & BALUSTRADE NOTES: STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586. HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GLAZING SPECIFICATIONS:

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA



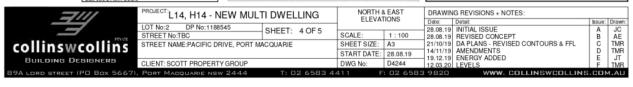
5.2 / Lot 2 Pacific Drive, Port Macquarie NSW 2444 HOUSE

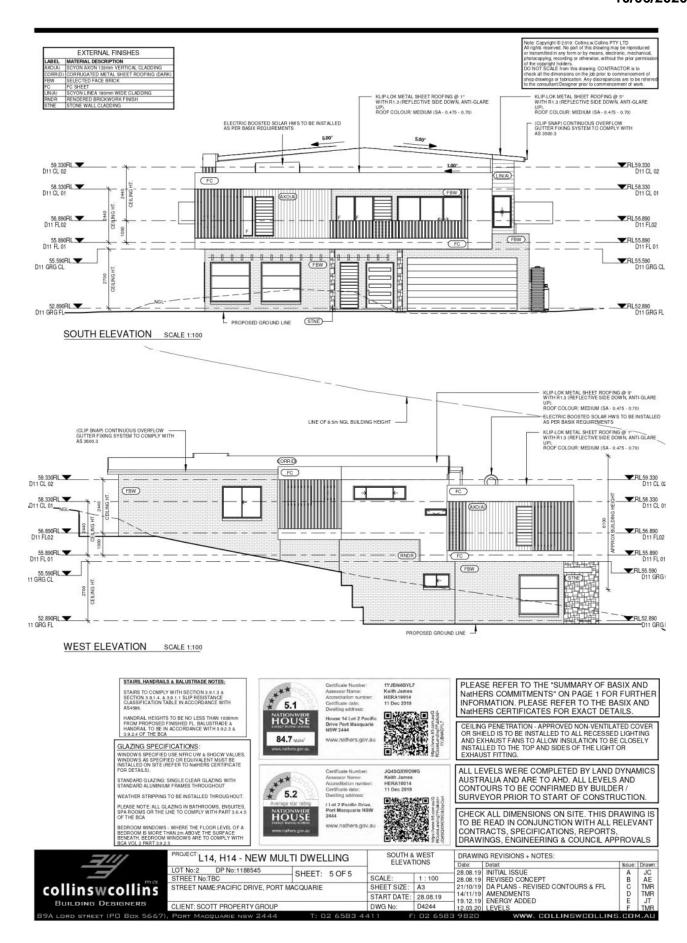
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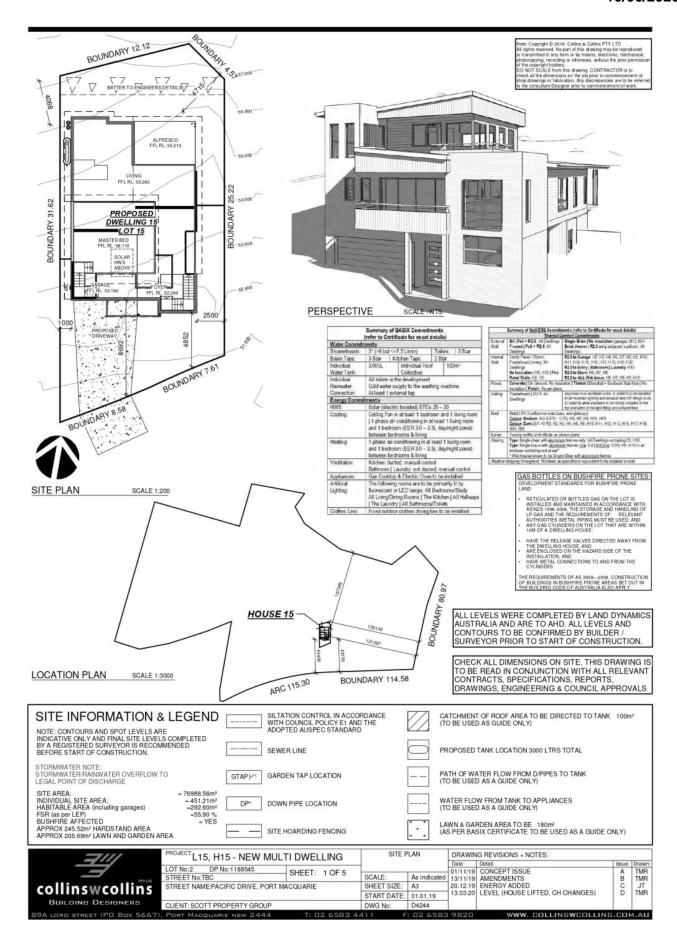
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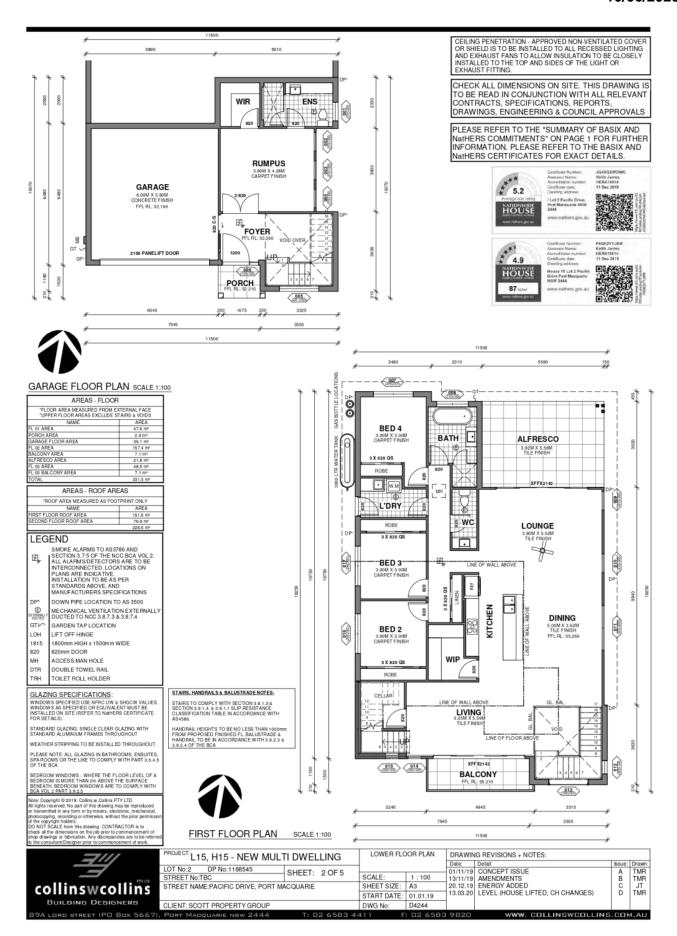
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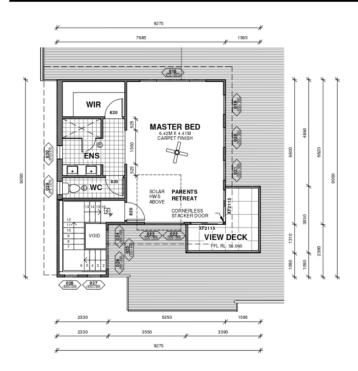
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SECOND FLOOR PLAN SCALE 1:100

AREAS - FLOOR	
*FLOOR AREA MEASURED FROM EX *UPPER FLOOR AREAS EXCLUDE ST	
NAME	AREA
FL 01 AREA	47.6 m²
PORCH AREA	2.9 m²
GARAGE FLOOR AREA	39.1 m²
FL 02 AREA	157.4 m²
BALCONY AREA	7.1 m²
ALFRESCO AREA	21.8 m²
FL 03 AREA	48.5 m²
FL 03 BALCONY AREA	7.1 m²
TOTAL	331.5 m²

AREAS - ROOF AREAS		
"ROOF AREA MEASURED AS F	OOTPRINT ONLY	
NAME	AREA	
FIRST FLOOR ROOF AREA	151.6 m²	
SECOND FLOOR ROOF AREA	76.9 m²	

LEGEND

EINU
SMOKE ALARMS TO AS3786 AND
SECTION 3.7.5 OF THE INCC BCA VOL 2.
ALL ALAMS/DETECTORS ARE TO BE
INTERCONNECTED. INCOCATIONS ON
PLANS ARE INDICATIVE.
INSTALLATION TO BE AS PER
STANDARDS ABOVE, AND
MANUFACTURERS SPECIFICATIONS
MANUFACTURERS SPECIFICATIONS
COLUMN DIRECTOR AS 3500 DOWN PIPE LOCATION TO AS 3500

MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GARDEN TAP LOCATION LIFT OFF HINGE LOH

1815 1800mm HIGH x 1500mm WIDE 820mm DOOR ACCESS MAN HOLE МН DTR DOUBLE TOWEL RAIL

TOILET ROLL HOLDER STAIRS, HANDRAILS & BALUSTRADE NOTES: STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WI ASASSA

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GLAZING SPECIFICATIONS:

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.

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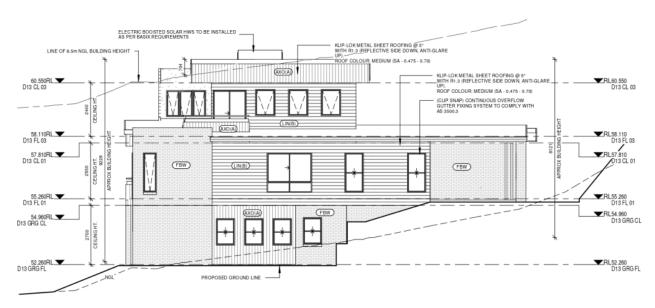
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Building Designers

PROJECT: L15, H15 - NEW MULT	TI DWELLING	UPPER FLO	OR PLAN				
				Date:	Detail:	Issue:	Drawn:
LOT No:2 DP No:1188545	SHEET: 3 OF 5			01/11/19	CONCEPT ISSUE	A	TMR
STREET No:TBC	STILLT. SOLS	SCALE:			AMENDMENTS	B	TMR
STREET NAME:PACIFIC DRIVE, PORT MA	ACQUARIE	SHEET SIZE:			ENERGY ADDED	C	JT
		START DATE:	01.01.19	13.03.20	LEVEL (HOUSE LIFTED, CH CHANGES)	D	TMR
CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244				
, PORT MACQUARIE NSW 2444	T: 02 6583 44	411 F	: 02 6583	9820	WWW. COLLINSWCOLLINS	.con	UA.N

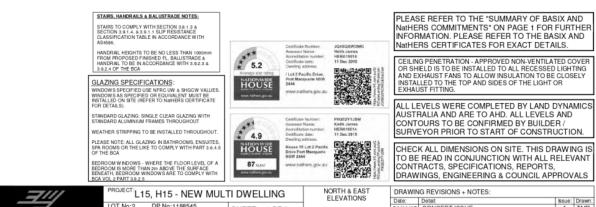




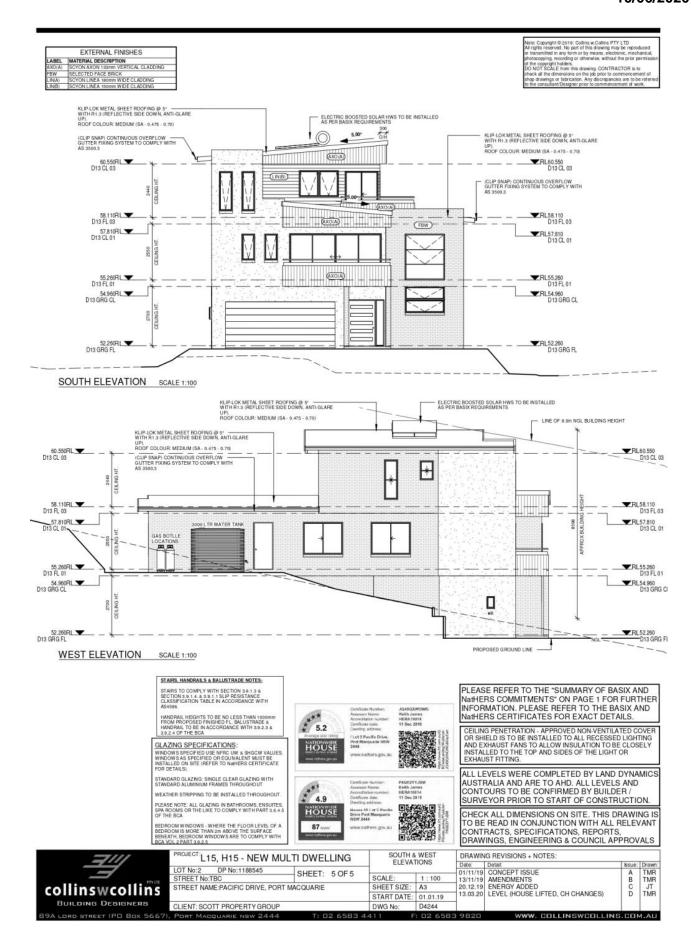
NORTH ELEVATION SCALE 1:100

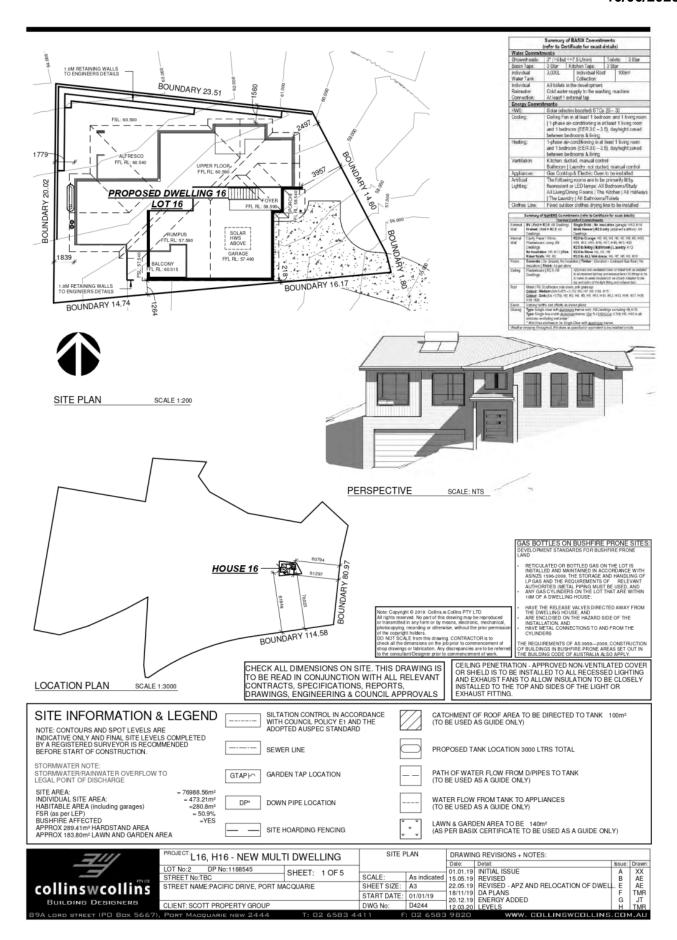


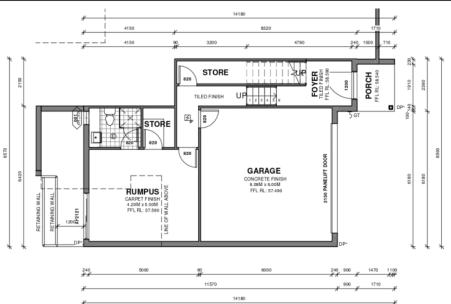
EAST ELEVATION SCALE 1:100



7///	PROJECT:L15, H15 - NEW MULT	TI DWELLING	NORTH 8		DRAWIN	IG REVISIONS + NOTES:		
	LOT No:2 DP No:1188545		ELEVAT					Drawn:
	STREET No:TBC	SHEET: 4 OF 5	SCALE:			CONCEPT ISSUE AMENDMENTS	A B	TMR TMR
collinswcollins	STREET NAME:PACIFIC DRIVE, PORT MA	ACQUARIE	SHEET SIZE:			ENERGY ADDED	С	JT
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Building Designers	CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244				
89A LORD STREET (PO Box 5667)	PORT MACQUARIE NSW 2444	T: 02 6583 44	411 F	: 02 6583	9820	WWW. COLLINSWCOLLINS	.CON	I.ALI









GROUND FLOOR PLAN SCALE 1:100

AREAS - FLOO	R
*FLOOR AREA MEASURED FROM *UPPER FLOOR AREAS EXCLUDE	
NAME	AREA
GARAGE AREA	39.5 m²
LOWER FLOOR AREA	52.9 m²
PORCH AREA	4.1 m²
UPPER FLOOR AREA	188.4 m²
ALFRESCO AREA	24.2 m²
BALCONY AREA	10.2 m²
TOTAL	319.3 m²

AREAS - ROOF A	REAS
"ROOF AREA MEASURED AS FO	OTPRINT ONLY
NAME	AREA
PORCH ROOF AREA	4.2 m²
UPPER FLOOR ROOF AREA	261.5 m²

LEGEND

SMOKE ALARMS TO AS3786 AND SECTION 3.75 OF THE NCC BCA VOL 2.
ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED LOCATIONS ON PLANS ARE INDICATIONS ON PLANS ARE INDICATIONS SET AND ARE INDICATIONS OF THE STANDARDS ABOVE. AND MANUFACTURERS SPECIFICATIONS DOWN PIPE LOCATION TO AS 3500 WECHANICAL VENTILATION EXTERNALLY GITP GARDEN TAP LOCATION LOLD LIFT OF HINGE

1815 1800mm HIGH x 1500mm WIDE 820 820mm DOOR MH ACCESS MAN HOLE DTR DOUBLE TOWEL RAIL

TRH TOILET ROLL HOLDER

GLAZING SPECIFICATIONS:

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SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.:
OF THE BGA.

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH RCA VOI. 9 ART 19.2 5

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STAIRS, HANDRAILS & BALUSTRADE NOTES:

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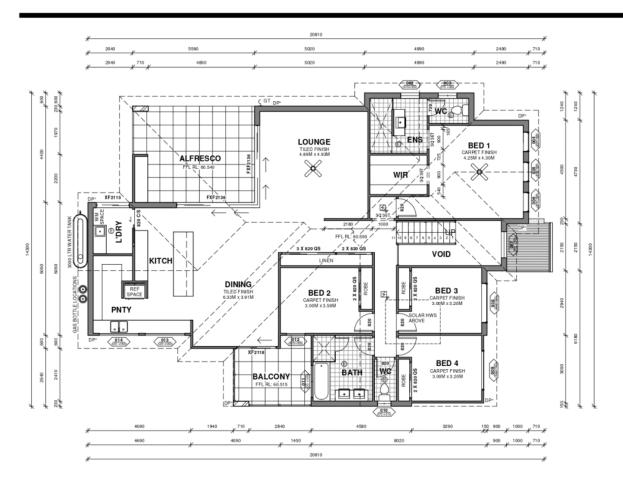




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| DRAWING REVISIONS + NOTES: | Data: | Detail: | Detail:





UPPER FLOOR PLAN SCALE 1:100

AREAS - FLO	OOR
"FLOOR AREA MEASURED FRO "UPPER FLOOR AREAS EXCLU	
NAME	AREA
GARAGE AREA	39.5 m ²
LOWER FLOOR AREA	52.9 m ²
PORCH AREA	4.1 m²
UPPER FLOOR AREA	188.4 m²
ALFRESCO AREA	24.2 m²
BALCONY AREA	10.2 m²
TOTAL	319,3 m²

ROOF AREA MEASURED AS FOOTPRINT ONL

LEGEND

EINU
SMOKE ALARMS TO AS3786 AND
SECTION 3.7.5 OF THE NCC BCA VOL 2.
ALL ALARMSDETECTORS ARE TO BE
INTERCONNECTED. LOCATIONS ON
PLANS ARE NIDICATIVE.
INSTALLATION TO BE AS PER
STANDARDS ABOVE. AND
MANUFACTURERS SPECIFICATIONS DOWN PIPE LOCATION TO AS 3500 MECHANICAL VENTILATION EXTERNALLY DUCTED TO NGC 3.8.7.3 & 3.8.7.4

GTH GARDEN TAP LOCATION LOH LIFT OFF HINGE 800mm HIGH x 1500mm WIDE 820 820mm DOOR

мн ACCESS MAN HOLE DOUBLE TOWEL RAIL TOILET ROLL HOLDER gright © 2019: Collins w. Collins PTY LTD reserved. No part of this drawing may be reproducted in any from of ymeans, electrical, mechaning, recording or otherwise, without the prior per yight holders. SCALE from this drawing. CONTRACTOR is to be dimensions on the job prior to commencement ings or labication. Any discrepancies are to be to sultant/Designer poor to commencement of work

GLAZING SPECIFICATIONS:

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT. PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5.

ALL LEVELS WERE COMPLETED BY LAND DYNAMICS AUSTRALIA AND ARE TO AHD. ALL LEVELS AND CONTOURS TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION

PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS.

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

STAIRS, HANDRAILS & BALUSTRADE NOTES:

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA



House 16 Lot 2 Pacific Drive Port Macquarie

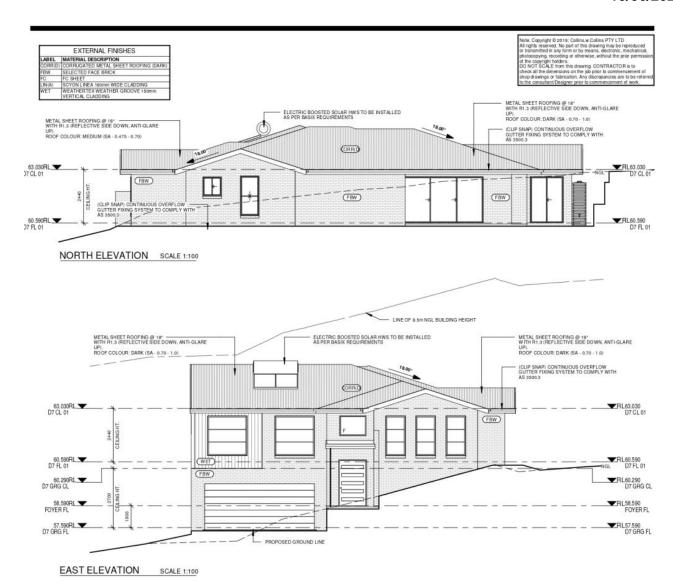


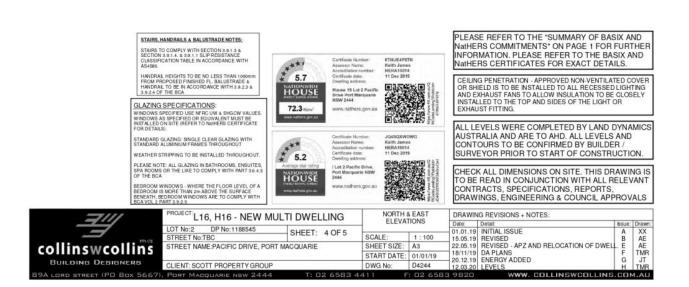






UPPER FLOOR PLAN ROJECT: L16, H16 - NEW MULTI DWELLING DRAWING REVISIONS + NOTES | DRAW|| | D LOT No:2 DP No:1188545 SHEET: 3 OF 5
STREET NO:TBC STREET NAME:PACIFIC DRIVE, PORT MACQUARIE XX AE AE TMR JT SCALE SHEET SIZE: A3 START DATE: 01/01/19
DWG No: D4244 CLIENT: SCOTT PROPERTY GROU WWW. COLLINSWCOLLINS.COM.AU

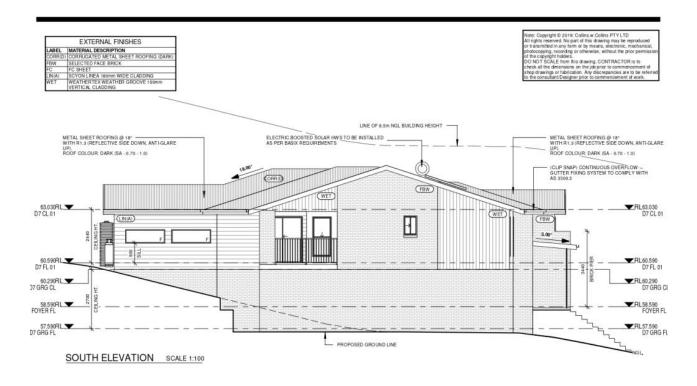


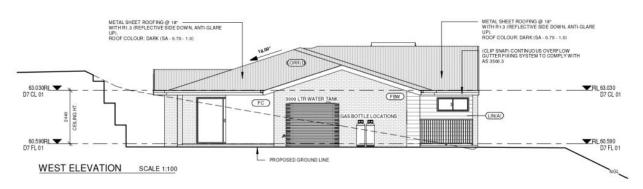


BUILDING DESIGNERS

STREET (PO Box 5667

CLIENT: SCOTT PROPERTY GROU

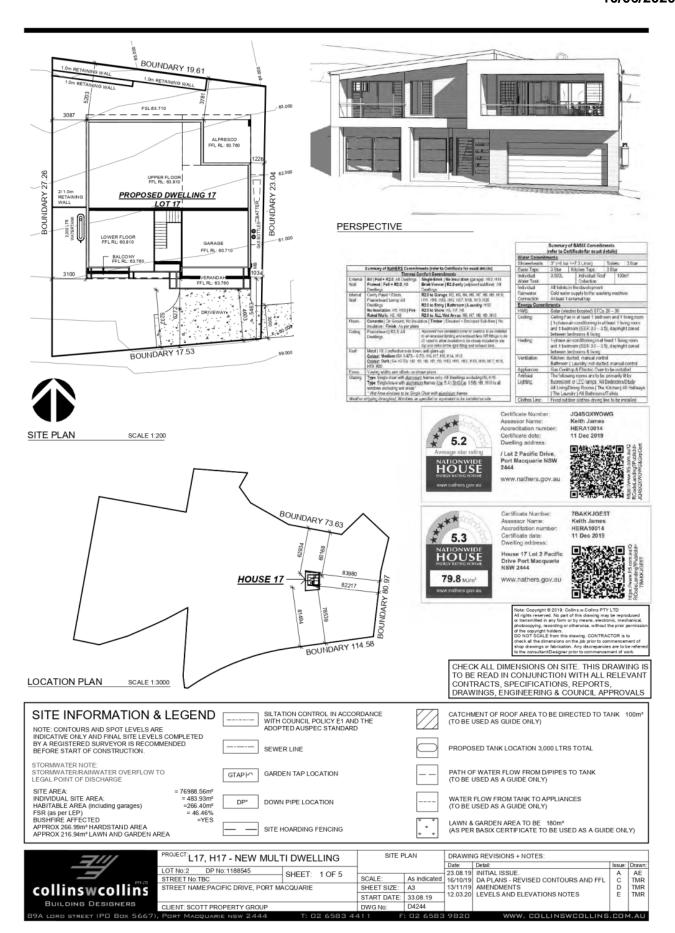


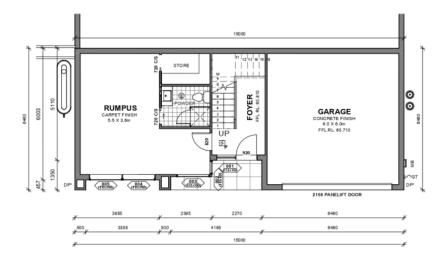




START DATE: 01/01/19
DWG No: D4244

WWW. COLLINSWCOLLING.COM.AU







GROUND FLOOR PLAN SCALE 1:100

AREAS - FL	OOR
'FLOOR AREA MEASURED FRO 'UPPER FLOOR AREAS EXCLU	
NAME	AREA
LOWER FLOOR AREA	50.5 m ²
GARAGE AREA	40.6 m ²
PORCH AREA	4.2 m ²
UPPER FLOOR AREA	175.3 m²
ALFRESCO AREA	16.9 m ²
BALCONY AREA	3.4 m ²
VERANDAH AREA	11.4 m ²
TOTAL	302.4 m²

AREAS - ROOF A	REAS
*ROOF AREA MEASURED AS FO	OOTPRINT ONLY
NAME	AREA
PORCH ROOF AREA	1.9 m²
SECOND FLOOR ROOF AREA	231.4 m²

LEGEND

EINU
SMOKE ALARMS TO AS3786 AND
SECTION 3.7.5 OF THE INCC BCA VOL 2.
ALL ALAMS/DETECTORS ARE TO BE
INTERCONNECTED. LOCATIONS ON
PLANS ARE INDICATIVE.
INSTALLATION TO BE AS PER
STANDAROS ABOVE, AND
MANUFACTURERS SPECIFICATIONS

DOWN PIPE LOCATION TO AS 3500
MECHANICAL VENTLATION EXTERNALLY
DUCTED TO NCC 3.8.7.3 & 3.8.7.4
GARDEN TAP LOCATION LOH LIFT OFF HINGE

1800mm HIGH x 1500mm WIDE 820mm DOOR 820 мн ACCESS MAN HOLE

DOUBLE TOWEL RAIL TRH TOILET ROLL HOLDER

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE NERC UW & SHGCW VALUES WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NatHERS CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

OM WINDOWS - WHERE THE FLOOR LEVEL OF A OM IS MORE THAN 2m ABOVE THE SURFACE TH, BEDROOM WINDOWS ARE TO COMPLY WITH DL 2 PART 3.9.2.5

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTIO 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

GAS BOTTLES ON BUSHFIRE PRONE SITES:

DEVELOPMENT STANDARDS FOR BUSHFIRE PRONE LAND

- HAVE THE RELEASE VALVES DIRECTED AWAY FROM THE DWELLING HOUSE, AND ARE ENCLOSED ON THE HAZARD SIDE OF THE INSTALLATION, AND HAVE METAL CONNECTIONS TO AND FROM THE CYLINDERS

THE REQUIREMENTS OF AS 3050—2000, CONSTRUCTIO OF BUILDINGS IN BUSHFIRE-PRONE AREAS SET OUT IN THE BUILDING CODE OF AUSTRALIA ALSO APPLY.

othe Copyright 9 2019: Collins, w. Collins PTY LTD I rights reserved. No part of this drawing may be reproduct transmitted in any form or by means, electronic, mecha obtopolying, electronic professions, without the prior per he copyright holdins. The whole profession of the construction of the construction of the profession of the profession of set all the dimensions on the log by nitro to commenceme op drawings or fabrication. Any discrepancies are to be the consultant/Designer certain for commencement of the consultant/Designer certain for commencement.

PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS.

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FAINS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS SPECIFICATIONS REPORTS DRAWINGS, ENGINEERING & COUNCIL APPROVALS



/ Lot 2 Pacific Drive, Port Macquarie NSW 2444 www.nathers.gov.au

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F: 02 6583 9820

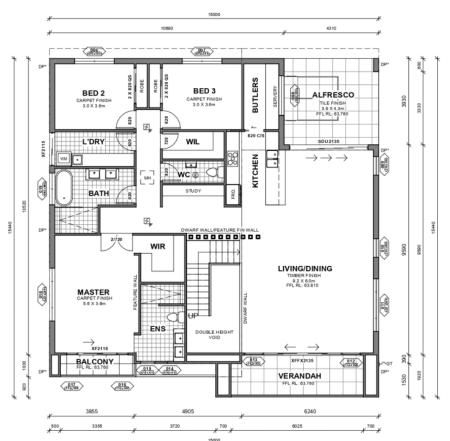
Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address:

House 17 Lot 2 Pacific Drive Port Macquarie NSW 2444 www.nathers.gov.au

WWW. COLLINSWCOLLINS.COM.AU



PROJECT: L17, H17 - NEW MULTI DWELLING LOWER FLOOR PLAN DRAWING REVISIONS + NOTES: | DRAWING REVISIONS + NOTES: |
Date:	Detai:
23.08.19	INITIAL ISSUE.
16/10/19	DA PLANS - REVISED CONTOURS AND FFL
13/11/19	MRHOMENTS
12.03.20	LEVELS AND ELEVATIONS NOTES
STREET NAME:PACIFIC DRIVE, PORT MACQUARIE SCALE SHEET SIZE: A3 START DATE: 33.08.19
DWG No: D4244





UPPER FLOOR PLAN SCALE 1:100

AREAS - FL	OOR			
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS				
NAME	AREA			
LOWER FLOOR AREA	50.5 m²			
GARAGE AREA	40.6 m ²			
PORCH AREA	4.2 m²			
UPPER FLOOR AREA	175.3 m²			
ALFRESCO AREA	16.9 m²			
BALCONY AREA	3.4 m²			
VERANDAH AREA	11.4 m²			
TOTAL	302.4 m²			

REAS
OOTPRINT ONLY
AREA
1.9 m ²
231.4 m ²

LEGEND

820 MH

DTR

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE NDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS 团 DOWN PIPE LOCATION TO AS 3500 EXTERNA DIOTE MECHANICAL VENTILATION EXTERNALL' DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GTH GARDEN TAP LOCATION LOH LIFT OFF HINGE 1815 1800mm HIGH x 1500mm WIDE

ACCESS MAN HOLE DOUBLE TOWEL RAIL TOILET ROLL HOLDER

820mm DOOR

STAIRS, HANDRAILS & BALUSTRADE NOTES: STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SEC 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

GLAZING SPECIFICATIONS:

VEATHER STRIPPING TO BE INSTALLED THROUG

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.0 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 33 2.2

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FAIRS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



Certificate Number: Assessor Name Accreditation number: Certificate date: Dwelling address:

11 Dec 2019 / Lot 2 Pacific Drive, Port Macquarie NSW 2444

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JQ4SQXWOWG



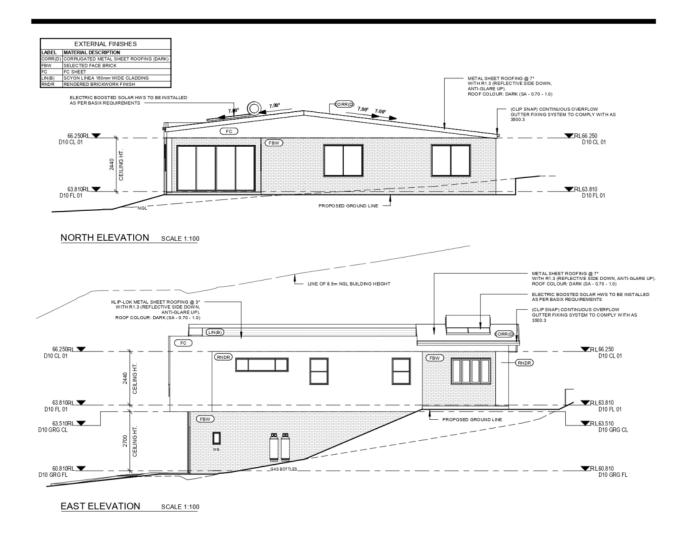
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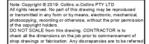
House 17 Lot 2 Pac Drive Port Macquar NSW 2444 www.nathers.gov.



ROJECT: L17, H17 - NEW MULTI DWELLING UPPER FLOOR PLAN DRAWING REVISIONS + NOTES LOT No:2 DP No:1188545 SHEET: 3 OF 5
STREET No:TBC STREET NAME:PACIFIC DRIVE, PORT MACQUARIE SCALE SHEET SIZE: A3 START DATE: 33.08.19
DWG No: D4244 BUILDING DESIGNERS CLIENT: SCOTT PROPERTY GROUP

A LORD STREET (PD BOX 5667), PORT MADQUARIE NSW 2444 WWW. COLLINSWCOLLINS.COM.AU F: 02 6583 9820





CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FAINS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

PLEASE REFER TO THE "SUMMARY OF BASIX AND Nathers Commitments" on Page 1 for Further INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS.

GLAZING SPECIFICATIONS

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUE: WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE NSTALLED ON SITE (REFER TO NatHERS CERTIFICATE FOR DETAILS).

WEATHER STRIPPING TO BE INSTALLED THROUG PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART3 9.2.5



NORTH & EAST

ELEVATIONS

Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address:

/ Lot 2 Pacific Drive, Port Macquarie NSW 2444

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JQ4SQXWOWG

5.3 NATIONWIDE HOUSE Drive Port Maco NSW 2444 79.8 MJ/m

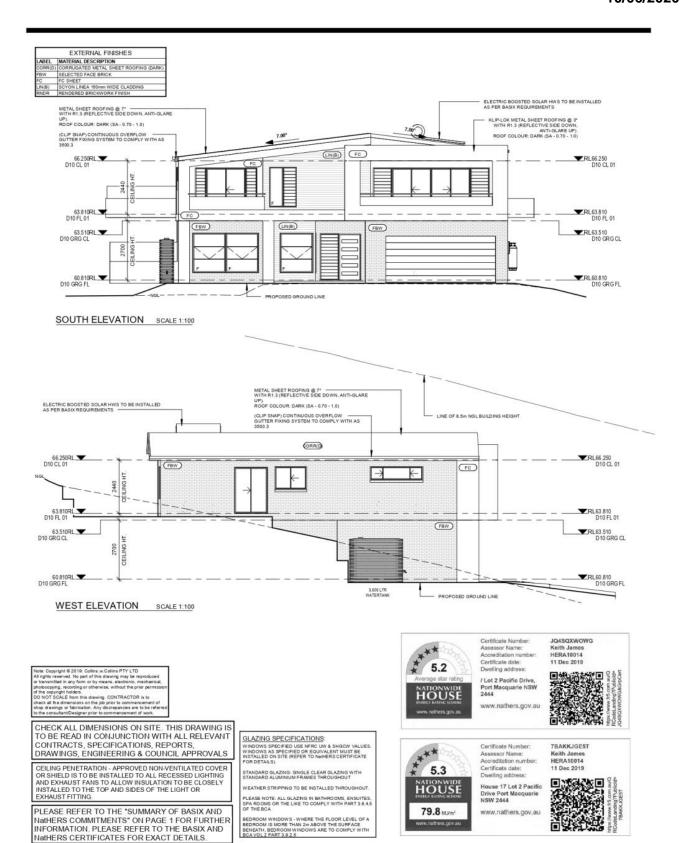
House 17 Lot 2 Pacific

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BUILDING DESIGNERS	-

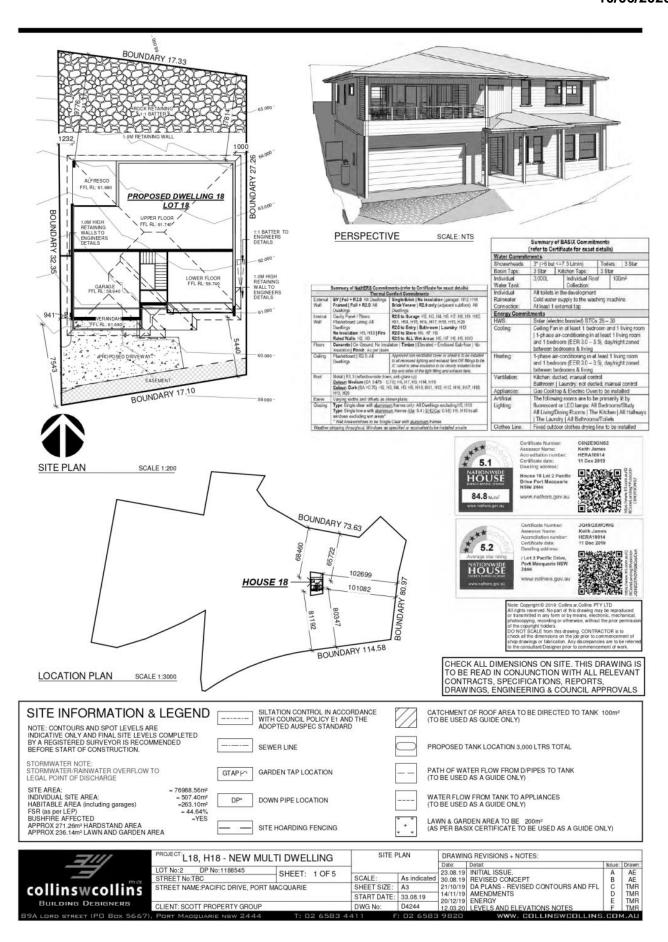
PROJECT: L17, H17 - NEW MULTI DWELLING LOT No:2 DP No:1188545
STREET NO:TBC
STREET NAME:PACIFIC DRIVE, PORT MACQUARIE

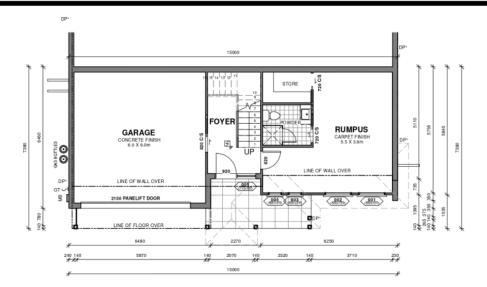
SCALE: 1:100 SHEET SIZE: A3 START DATE: 33.08.19
DWG No: D4244 CLIENT: SCOTT PROPERTY GROUP

DRAWING REVISIONS + NOTES: WWW. COLLINSWCOLLINS.COM.AU



7///	PROJECT: L17, H17 - NEW MULTI DWELLING				DRAWING REVISIONS + NOTES:			
			ELEVA	ELEVATIONS		Detait		Drawn
	LOT No:2 DP No:1188545	SHEET: 5 OF 5			23.08.19	INITIAL ISSUE.	A	AE
	STREET No:TBC	GILLET. SOI S	SCALE:	1:100	16/10/19	DA PLANS - REVISED CONTOURS AND FFL	C	TMR
COLLINS STREET NAME: PACIFIC DRIVE, PORT MACQUARIE			SHEET SIZE:	A3	13/11/19	AMENDMENTS	D	TMR
			START DATE:	33.08.19	12.03.20	3.20 LEVELS AND ELEVATIONS NOTES	E	TMR
BUILDING DESIGNERS	CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244				
9A LORD STREET (PO Box 5667).	PORT MADQUARIE NEW 2444	T: D2 6583 4	411 F	: 02 6583	9820	WWW. COLLINSWCOLLINS	COL	M.AI







GROUND FLOOR PLAN SCALE 1:100

AREAS - FLO	OR			
"FLOOR AREA MEASURED FROM EXTERNAL FACE "UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS				
NAME	AREA			
LOWER FLOOR AREA	49.4 m²			
GARAGE AREA	40.6 m²			
PORCH AREA	8.9 m²			
UPPER FLOOR AREA	173.1 m²			
ALFRESCO AREA	16.2 m²			
VERANDAH AREA	12.2 m²			
TOTAL	300.5 m²			

AREAS - ROOF AREAS				
*ROOF AREA MEASURED AS FOOTPRINT ONLY				
NAME	AREA			
GROUND FLOOR ROOF AREA	19.9 m²			
UPPER FLOOR ROOF AREA	241.6 m²			

LEGEND

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE INCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE. AND MANUFACTURERS SPECIFICATIONS DOWN PIPE LOCATION TO AS 3500

(E) MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4

GARDEN TAP LOCATION LIFT OFF HINGE LOH

1800mm HIGH x 1500mm WIDE 820mm DOOR 1815

ACCESS MAN HOLE МН птя DOUBLE TOWEL RAIL TOILET ROLL HOLDER

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NaIHERS CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

STAIRS, HANDRAILS & BALUSTRADE NOTES

51AHS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FNISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GAS BOTTLES ON BUSHFIRE PRONE SITES:

EVELOPMENT STANDARDS FOR BUSHFIRE PRONE LAN

RETIGUIATED OR BOTTLED GAS ON THE LOT IS INSTALLED AND MAINTAINED IN ACCORDANCE WITH ASNZS 1996-9009. THE STORAGE AND HANDIUNG OF LP GAS AND THE REQUIREMENTS OF RELEVANT AUTHORITIES (METAL PIPING MUST BE USED, AND ANY GAS CYLINDERS ON THE LOT THAT ARE WITHIN 10M OF A DWELLING HOUSE.)

HAVE THE RELEASE VALVES DIRECTED AWAY FROM THE DWELLING HOUSE, AND ARE ENCLOSED ON THE HAZARD SIDE OF THE INSTALLATION. THE HAZARD SIDE OF THE INSTALLATION.

THE REQUIREMENTS OF AS 3959—2009, CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS SET OUT IN THE BUILDING CODE OF AUSTRALIA ALSO APPLY.

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PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ÉNGINEERING & COUNCIL APPROVALS



5.2

NATIONWIDE HOUSE

Dwelling address

House 18 Lot 2 Pacific Drive Port Macquarie NSW 2444

Out to the control of the control of

www.nathers.gov.au JQ4SQXWOWG

Certificate Number: / Lot 2 Pacific Drive, Port Macquarie NSW 2444

www.nathers.gov.au



OJECT: L18, H18 - NEW MULTI DWELLING LOWER FLOOR PLAN DRAWING REVISIONS + NOTES | DRAWNO REF | Dotate: | Dotate LOT No:2 DP No:1188545 SHEET: 2 OF 5 SCALE SHEET SIZE: A3 STREET NAME:PACIFIC DRIVE, PORT MACQUARIE

CLIENT: SCOTT PROPERTY GROUI

START DATE: 33.08.19
DWG No: D4244

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BED 2

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STUDY

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UPPER FLOOR PLAN SCALE 1:100

AREAS - FLOO	R			
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS				
NAME	AREA			
LOWER FLOOR AREA	49.4 m²			
GARAGE AREA	40.6 m²			
PORCH AREA	8.9 m²			
UPPER FLOOR AREA	173.1 m²			
ALFRESCO AREA	16.2 m²			
VERANDAH AREA	12.2 m²			
TOTAL	300.5 m²			

AREAS - ROOF AREAS				
*ROOF AREA MEASURED AS FOO	TPRINT ONLY			
NAME	AREA			
GROUND FLOOR ROOF AREA	19.9 m²			
LIDDED FLOOD DOOF ADEA	241 6 mil			

LEGEND

1815

EINU

SECTION 3.7 5 OF THE INCC BCA VOL 2.

SECTION 3.7 5 OF THE INCC BCA VOL 2.

ALL ALAMBODETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE.

INSTALLATION TO BE AS PER STANDARDS ABOVE, AND

MANUFACTURERS SPECIFICATIONS 国

DOWN PIPE LOCATION TO AS 3500 E CTERNA MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GT1 GARDEN TAP LOCATION LIFT OFF HINGE 1800mm HIGH x 1500mm WIDE

820 820mm DOOR ACCESS MAN HOLE DOUBLE TOWEL RAIL TRH TOILET ROLL HOLDER

GLAZING SPECIFICATIONS

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE RCA

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTIO 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

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PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NatHERS CERTIFICATES FOR EXACT DETAILS.

GAS BOTTLES ON BUSHFIRE PRONE SITES:

3980

ALFRESCO

SDU 2135

 \leftarrow \leftarrow \leftarrow

LIVING/DINING 9.2 X 6.0m FFL RL: 61.740

XFFX2135

VERANDAH

4080

DF

018

117

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1925

BUTLERS

.

- RETOULATED OR BOTTLED GAS ON THE LOT IS INSTALLED AND MALED AND THE STORAGE AND HANDLING OF LP GAS AND THE REDUIREMENTS OF RELEVANT AUTHORITIES METAL PHIPM MUST BE USED. AND ANY GAS CYLINGERS ON THE LOT THAT ARE WITHIN 10M OF A DWELLING HOUSE.
- HAVE THE RELEASE VALVES DIRECTED AWAY FI THE DWFLLING HOUSE, AND ARE ENCLOSED ON THE HAZARD SIDE OF THE INSTALLATION, AND HAVE METAL CONNECTIONS TO AND FROM THE CYLINDERS

HE REQUIREMENTS OF AS 3959—2009, CONSTRUCTIO F BUILDINGS IN BUSHFIRE-PRONE AREAS SET OUT IN HE BUILDING CODE OF AUSTRALIA ALSO APPLY.

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5.2

HOUSE

Cortificate Number: Assessor Name: Accreditation number Certificate date: Dwelling address:

House 18 Lot 2 Pacific Drive Port Macquarie NSW 2444

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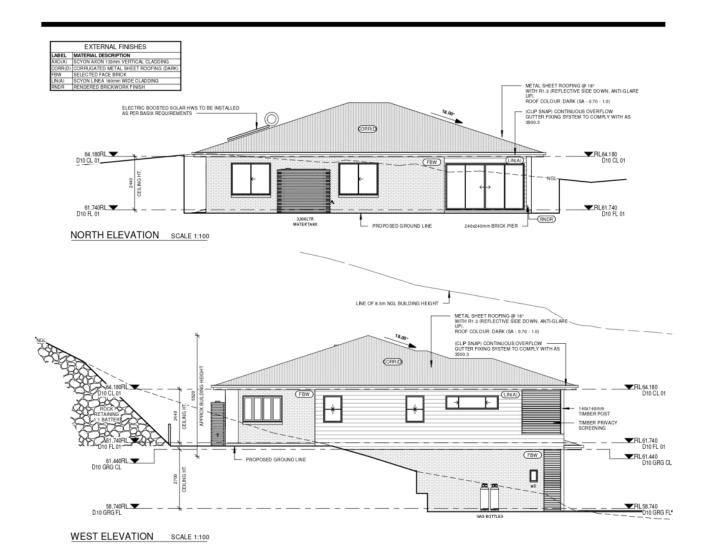
11 Dec 2019

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www.nathers.gov.au



ROJECT: L18, H18 - NEW MULTI DWELLING UPPER FLOOR PLAN DRAWING REVISIONS + NOTES LOT No:2 DP No:1188545 SHEET: STREET No:TBC STREET NAME:PACIFIC DRIVE, PORT MACQUARIE ____ SHEET: 3 OF 5 SCALE SHEET SIZE: A3 START DATE: 33.08.19
DWG No: D4244 CLIENT: SCOTT PROPERTY GROU ORD STREET (PO Box 5667



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shop drawings or othercision. Any discrepancies are to be referred

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CELLING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

PLEASE REFER TO THE "SUMMARY OF BASIX AND NATHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND NATHERS CERTIFICATES FOR EXACT DETAILS.

GLAZING SPECIFICATIONS: WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUE: WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NaIHERS CERTIFICATE FOR DETAILS).

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

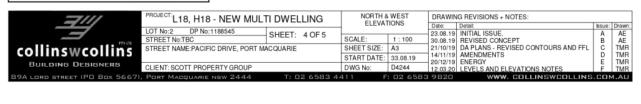
WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

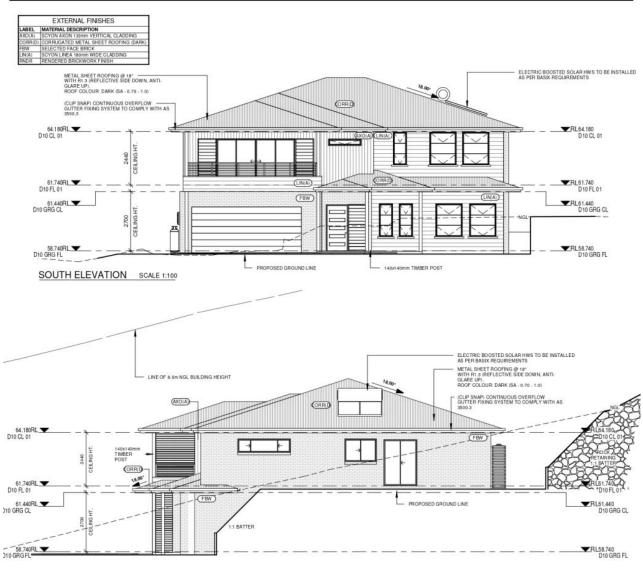
PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BOA VOL 2 PART 3.9.2.5













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WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE
INSTALLED ON SITE (REFER TO NIMHERS CERTIFICATE
FOR DETALS).

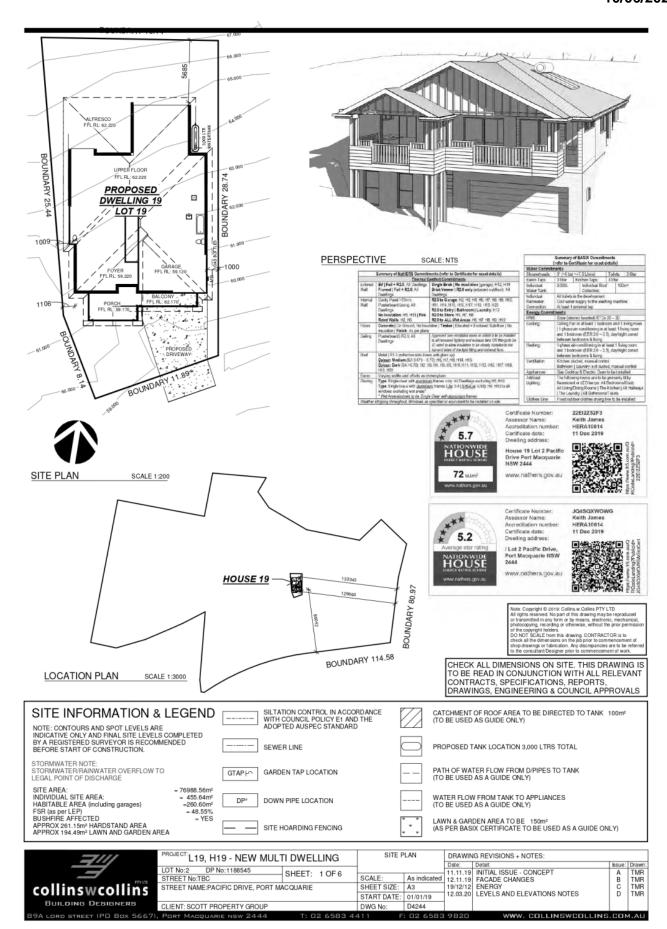
STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

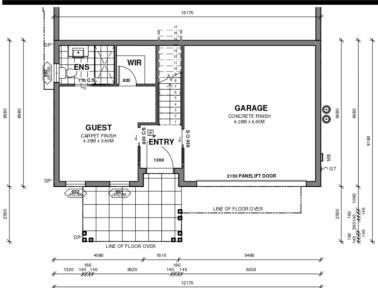
PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3:6.4.6 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2M ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5











LOWER FLOOR PLAN SCALE 1:100

AREAS -	FLOOR
*FLOOR AREA MEASURED *UPPER FLOOR AREAS EX	
NAME	AREA
GARAGE AREA	42.4 m²
LOWER FLOOR	37.8 m²
PORCH AREA	12.5 m²
UPPER FLOOR AREA	180.4 m ^a
ALFRESCO	24.6 m²
BALCONY	18.8 m²
TOTAL	316.6 m²

Γ	AREAS - ROOF ARE	AS			
I	*ROOF AREA MEASURED AS FOOTPRINT ONLY				
Г	NAME	AREA			
- 10	DODE ADEA	247 L mil			

LEGEND

SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE. AND MANUFACTURERS SPECIFICATIONS DOWN PIPE LOCATION TO AS 3500 EXTERNA DUCTO MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GTP' GARDEN TAP LOCATION LIFT OFF HINGE 1815 1800mm HIGH x 1500mm WIDE 820 MH 820mm DOOR ACCESS MAN HOLE DTR DOUBLE TOWEL RAIL

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NaMERS CERTIFICATE FOR DETAILS).

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.0 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.5

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH SECTION 3.9.1.3 & SECTION 3.9.1.4. & 3.9.1.1 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WI AS4586.

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000M FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 3.9.2.4 OF THE BCA

collins

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CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR

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PLEASE REFER TO THE "SUMMARY OF BASIX AND NatHERS COMMITMENTS" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX AND



Certificate Number: Assessor Name: Accreditation number Certificate date: Dwelling address:

House 19 Lot 2 Pacific Drive Port Macquarie NSW 2444 www.nathers.gov.au

22E12Z52F3

Certificate Number: 5.2 / Lot 2 Pacific Drive, Port Macquarie NSW 2444 HOUSE

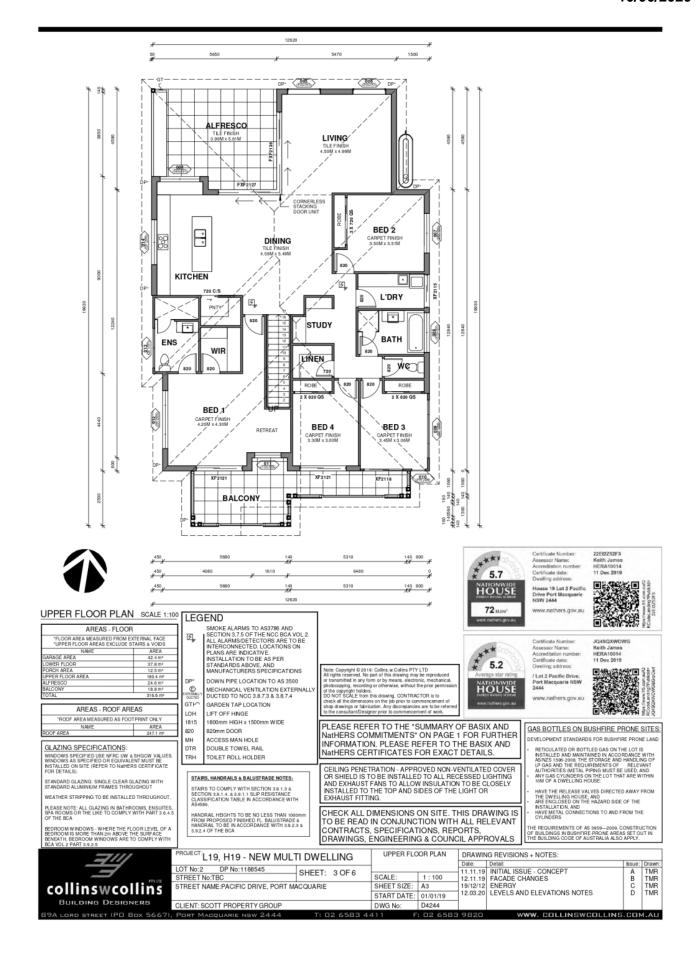
Assessor Name: Accreditation number Certificate date: Dwelling address:

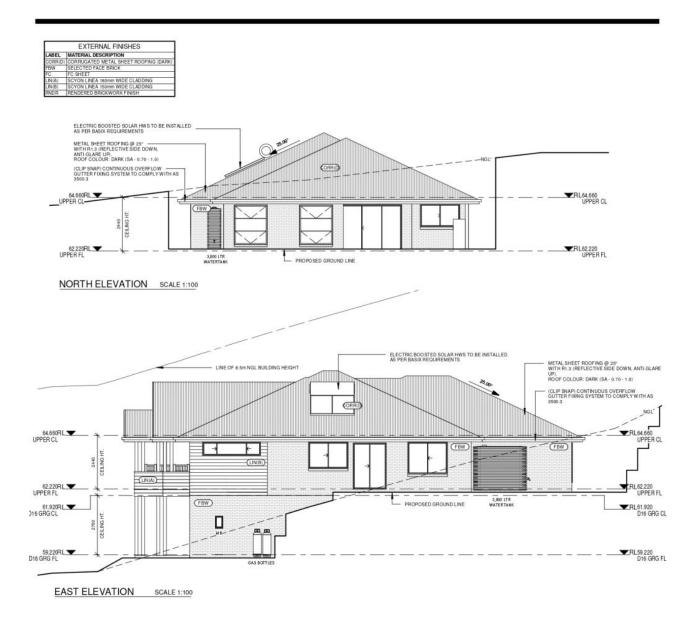
www.nathers.gov.au

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INDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 1.2.4 OF THE BCA	NatHERS CERTIFICATES FOR	R EXACT DETAILS.						
2///	PROJECT: L19, H19 - NEW MULTI DWELLING		LOWER FLOOR PLAN		DRAWING REVISIONS + NOTES:			
	LOT No:2 DP No:1188545	011557 0050	-		Date:	Detail: 19 INITIAL ISSUE - CONCEPT	bsue:	Ę
_	STREET No:TBC	SHEET: 2 OF 6	SCALE:	1:100		FACADE CHANGES	B	ŀ
ollinswcollins	STREET NAME:PACIFIC DRIVE, PORT MACQUARIE		SHEET SIZE:	A3	19/12/12 ENERGY		C	ľ
			START DATE:	01/01/19	12.03.20	LEVELS AND ELEVATIONS NOTES	D	ľ
Building Designers	CLIENT: SCOTT PROPERTY GROUP		DWG No:	D4244				L







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STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

NEATHER STRIPPING TO BE INSTALLED THROUGHOUT

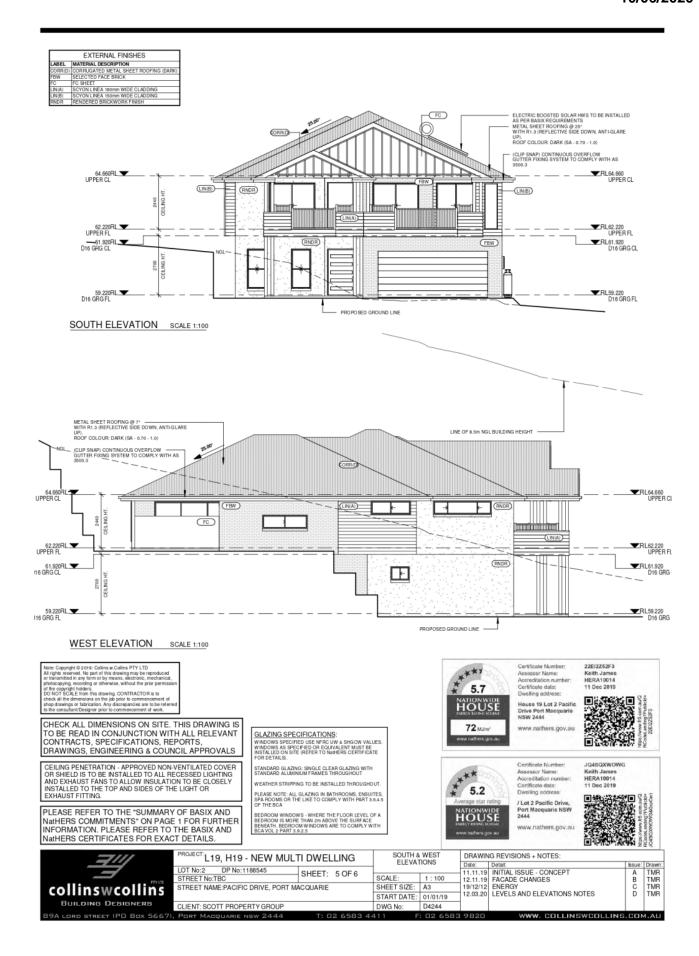
PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.1

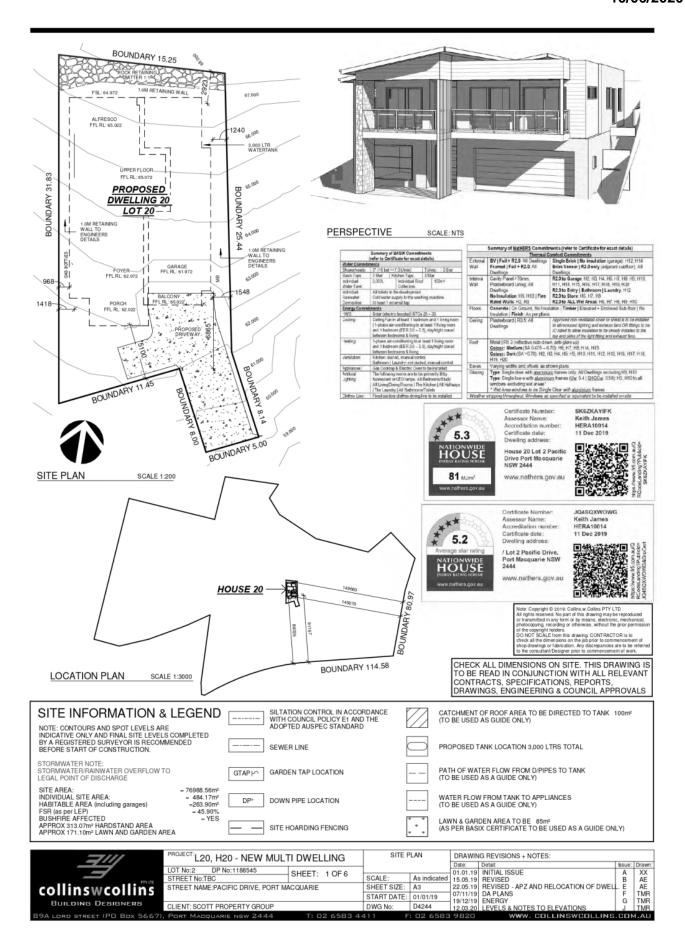
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3,9.2.5

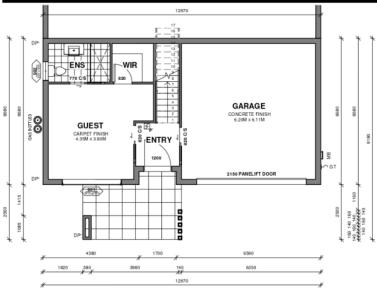














LOWER FLOOR PLAN SCALE 1:100

AREAS - FLOOR	
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
GARAGE AREA	42.4 m²
LOWER FLOOR	41.2 m²
PORCH AREA	12.3 m²
UPPER FLOOR AREA	180.3 m²
ALFRESCO	24.6 m²
BALCONY	18.7 m²
TOTAL	319.5 m²

AREAS - ROOF AREAS *ROOF AREA MEASURED AS FOOTPRINT ONLY	
ROOF AREA	247.1 m ²

LEGEND

DTR

EINU
SMOKE ALARMS TO AS3786 AND
SECTION 3.75 OF THE NCC BCA VOL. 2.
ALL ALARMS DETECTORS ARE TO BE
INTERCONNECTED. LOCATIONS ON
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INSTALLATION TO BE AS PER
STANDARDS ABOVE. AND
MANUFACTURERS SPECIFICATIONS
DOWN PIPE LOCATION TO AS 3500

DOWN PIPE LOCATION TO AS 3500 Ø, E) MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4 GT_E GARDEN TAP LOCATION LIFT OFF HINGE LOH 1800mm HIGH x 1500mm WIDE 1815 820 MH 820mm DOOR ACCESS MAN HOLE

TOILET ROLL HOLDER GLAZING SPECIFICATIONS: WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NaIHERS CERTIFICATE FOR DETAIL SI

DOUBLE TOWEL RAIL

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HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

GAS BOTTLES ON BUSHFIRE PRONE SITES:

EVELOPMENT STANDARDS FOR BUSHFIRE PRONE LAND

- RETICULATED OR BOTTLED GAS ON THE LOT IS RETICULATED OR BOTTLED GAS ON THE LOT IS INSTALLED AND MAINTAINED IN ACCORDANCE WITH ASNZE 1969 2000. THE STORAGE AND HANDLING OF LP GAS AND THE REQUIREMENTS OF RELEVANT AUTHORITIES METAL PHYROM MUST BE USED, AND ANY GAS CYLINDERS ON THE LOT THAT ARE WITHIN 10M OF A DIVILLIAN CHOUSE.
- HAVE THE RELEASE VALVES DIRECTED AWAY FROM THE DWELLING HOUSE. AND ARE ENCLOSED ON THE HAZARD SIDE OF THE INSTALLATION, AND HAVE METAL CONNECTIONS TO AND FROM THE CYLINDERS

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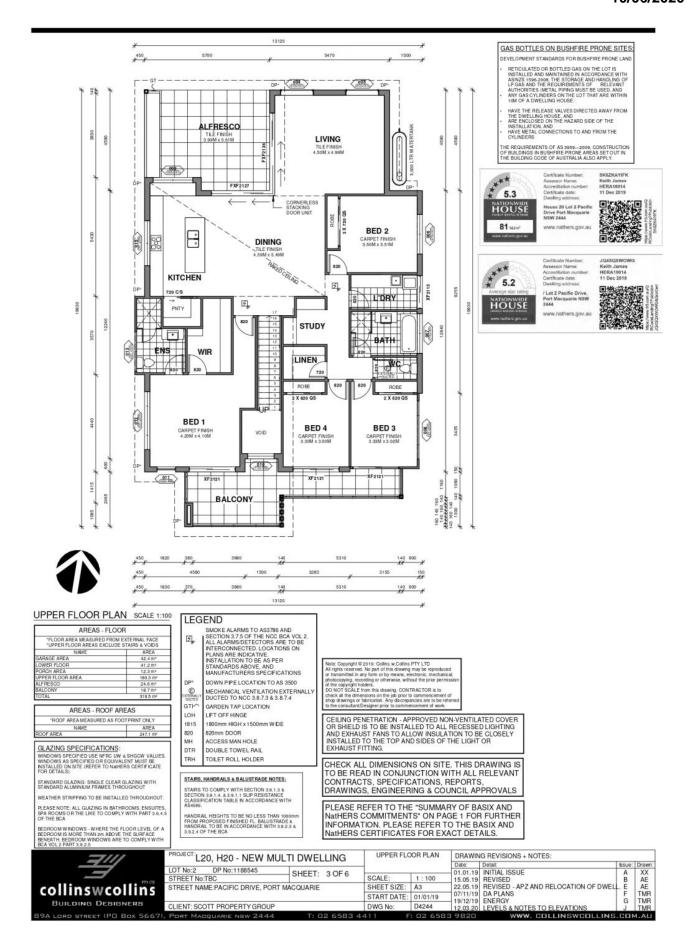
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/ Lot 2 Pacific Drive, Port Macquarie NSW 2444 www.nathers.gov.au

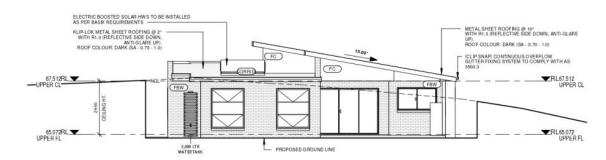


OJECT: L20, H20 - NEW MULTI DWELLING LOWER FLOOR PLAN DRAWING REVISIONS + NOTES Date: Detait: 01-01-19 INITIAL ISSUE
15.05.19 REVISED
22.05.19 REVISED - APZ AND RELOCATION OF DWEL
07/11/19 DA PLANS
191/21/19 LERGY LOT No:2 DP No:1188545 SHEET: 2 OF 6 XX AE AE TMR TMR SCALE SHEET SIZE: A3 STREET NAME:PACIFIC DRIVE, PORT MACQUARIE START DATE: 01/01/19
DWG No: D4244 G CLIENT: SCOTT PROPERTY GROUI LEVELS & NOTES TO ELEVATIONS J TMR
WWW. COLLINSWCOLLINS.COM.AU





NORTH ELEVATION SCALE 1:100



UPER CL WETAL SHEET ROOFING @ 10* WITH R1:3 REFLECTIVE SIDE DOWN, ANTI-GLARE WITH R1:3 REFLECTIVE SIDE DOWN, ANTI-GLARE WITH R1:3 REFLECTIVE SIDE DOWN, ANTI-GLARE UPI, ROOF COLOUR: DARK (SA - 0.70 - 1.0) ROOF COLOUR: DARK (SA - 0.7

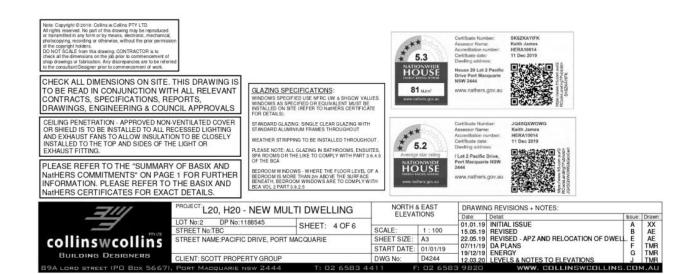
PROPOSED GROUND LINE

EAST ELEVATION SCALE 1:100

64.772RL T

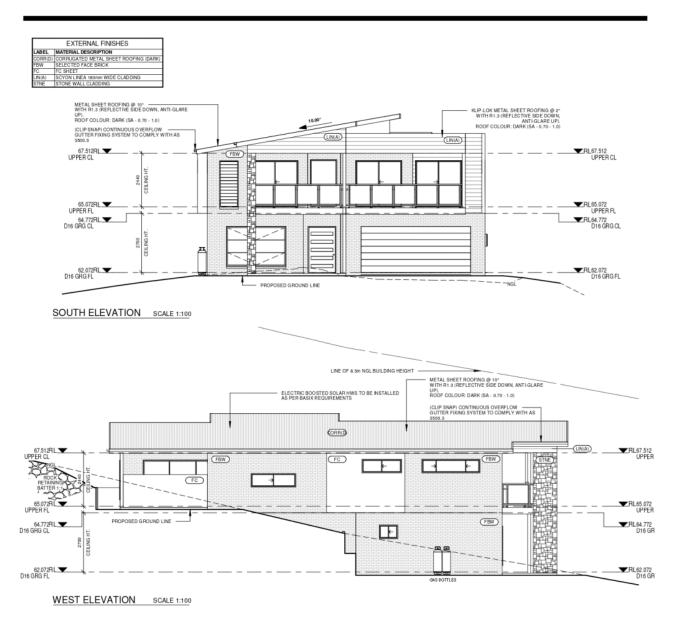
62.072RL T D16 GRG FL (FBW)

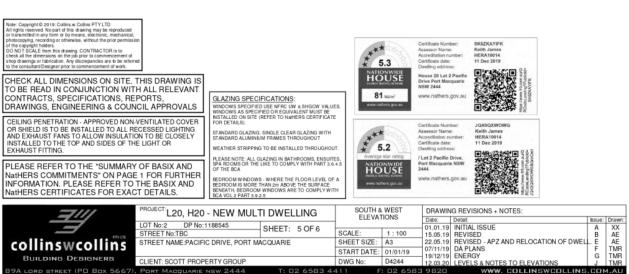
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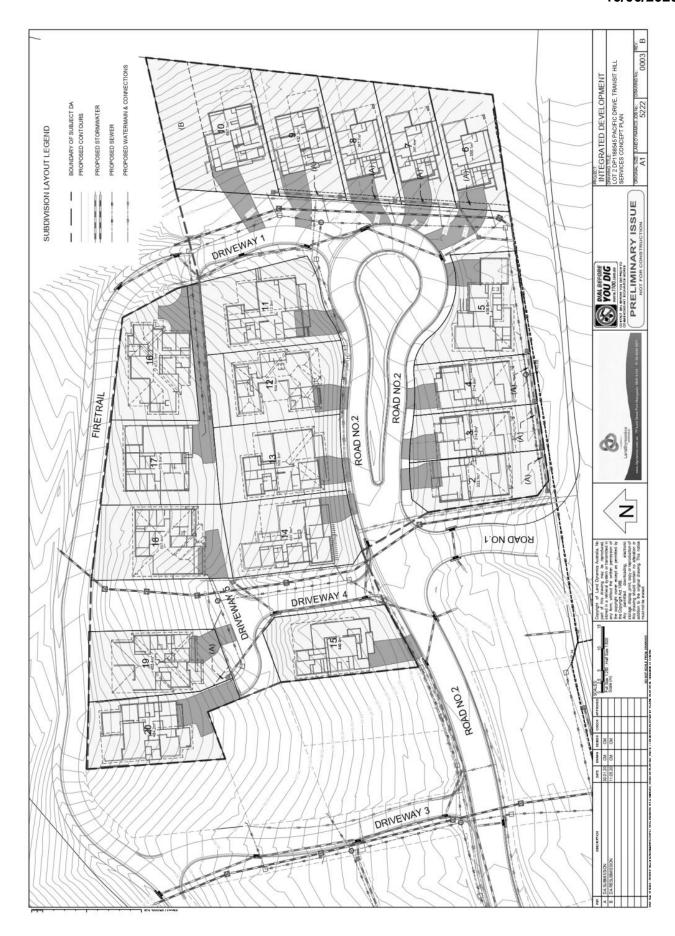
▼RL64.772 D16 GRG CL

▼RL62.072 D16 GRG FL





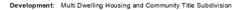






Developer Charges - Estimate

Applicants Name: Land Dynamics
Property Address: Pacific Drive, Port Macquarie
Lot & Dp: Lot(s):2,DP(s):1188545
Development: Multi Dwelling Housing and Community Title Subdivision





	Water and Sewerage Headworks Levies are levied under S64 of the I Other contributions are levied under Section 7.11 of the Environmental Plan				
	Levy Area	Units	Cost		Estimate
1	Water Supply	17.2	\$10,322.00	Per ET	\$177,538.40
2	Sewerage Scheme Port Macquarie	19	\$3,916.00	Per ET	\$74,404.00
3	Since 1.7.04 - Major Roads - Port Macquarie - Per ET	18.7	\$7,737.00	Per ET	\$144,681.90
4	Since 31.7.18 - Open Space - Port Macquarie - Per ET	18.7	\$5,701.00	Per ET	\$106,608.70
5	Commenced 3 April 2006 - Com, Cul and Em Services CP - Port Macquarie	18.7	\$4,681.00	Per ET	\$87,534.70
6	Com 1.3.07 - Administration Building - All areas	18.7	\$921.00	Per ET	\$17,222.70
7	N/A				
8	N/A				
9	N/A				
10	N/A				
11	N/A				
12	N/A		4 PI	лro	oses
13	N/A Not for Payme				
14	N/A				
15	Admin General Levy - Applicable to Consents approved after 11/2/03	2	.2% S94 Contribu	ıtion	\$7,833.00
16					
17					
18					
_	Total Amount of Estimate (Not for Payment Purposes)				\$615,823.40

NOTES: These contribution rates apply to new development and should be used as a guide only.
Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).
DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement.
Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

2-Jun-2020

Estimate Prepared By Ben Roberts

This is an ESTIMATE ONLY - NOT for Payment Purposes

and Dynamics, Pacific Drive, Port Macquarie, 2-Jun-2020.xls

PORT MACQUARIE-HASTINGS COUNCIL





Port Macquarie-Hastings Council PO Box 84 PORT MACQUARIE NSW 2444

Your reference: (CNR-4739) DA2020-65.1 Our reference: DA20200219000625-Original-1

ATTENTION: Ben Roberts Date: Tuesday 14 April 2020

Dear Sir/Madam,

Integrated Development Application s100B - Subdivision - Torrens Title Subdivision Pacific Dr Port Macquarie NSW 2444 AUS, 2//DP1188545

I refer to your correspondence dated 19/02/2020 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, under Division 4.8 of the *Environmental Planning and Assessment Act 1979*, and a Bush Fire Safety Authority, under section 100B of the *Rural Fires Act 1997*, are now issued subject to the following conditions:

Asset Protection Zones

The intent of measures is to provide sufficient space and maintain reduced fuel loads so as to ensure radiant heat levels of buildings are below critical limits and to prevent direct flame contact with a building. To achieve this, the following conditions shall apply:

- 1. At the issue of a subdivision certificate and in perpetuity, the asset protection zone, proposed residential lots and roadways in accord with the plan titled 'Lot 2 DP1188545 Pacific Drive, Transit Hill Overall Site Plan with Dwellings, prepared by Land Dynamics Australia, reference 5222, revision A dated 30 January 2020, must be managed as an inner protection area (IPA). The IPA must comprise:
 - Minimal fine fuel at ground level;
 - Grass mowed or grazed;
 - Trees and shrubs retained as clumps or islands and do not take up more than 20% of the area;
 - Trees and shrubs located far enough from buildings so that they will not ignite the building;
 - Garden beds with flammable shrubs not located under trees or within 10 metres of any windows or doors:
 - Minimal plant species that keep dead material or drop large quantities of ground fuel;
 - Tree canopy cover not more than 15%;
 - Tree canopies not located within 2 metres of the building;
 - Trees separated by 2-5 metres and do not provide a continuous canopy from the hazard to the building;
 and,

Postal address

NSW Rural Fire Service Locked Bag 17 GRANVILLE NSW 2142 Street address

NSW Rural Fire Service 4 Murray Rose Ave SYDNEY OLYMPIC PARK NSW 2127 T (02) 8741 5555 F (02) 8741 5550 www.rfs.nsw.gov.au





Item 07 Attachment 4

- Lower limbs of trees removed up to a height of 2 metres above the ground.
- 2. The Community Management Statement shall ensure the community land identified as an asset protection zone must be managed as an inner protection zone area (IPA) as follows.

The IPA must comprise:

- Minimal fine fuel at ground level;
- Grass mowed or grazed;
- Trees and shrubs retained as clumps or islands and do not take up more than 20% of the area;
- Trees and shrubs located far enough from buildings so that they will not ignite the building;
- Garden beds with flammable shrubs not located under trees or within 10 metres of any windows or doors:
- Minimal plant species that keep dead material or drop large quantities of ground fuel;
- Tree canopy cover not more than 15%;
- Tree canopies not located within 2 metres of the building;
- Trees separated by 2-5 metres and do not provide a continuous canopy from the hazard to the building;
- Lower limbs of trees removed up to a height of 2 metres above the ground.
- 3. At the issue of subdivision certificate, the property to the west of lots 15 and 20 must be managed as an inner protection area (IPA) for a distance of 20 metres. The IPA must comprise:
 - Minimal fine fuel at ground level;
 - Grass mowed or grazed;
 - Trees and shrubs retained as clumps or islands and do not take up more than 20% of the area;
 - Trees and shrubs located far enough from buildings so that they will not ignite the building;
 - Garden beds with flammable shrubs not located under trees or within 10 metres of any windows or doors:
 - Minimal plant species that keep dead material or drop large quantities of ground fuel;
 - Tree canopy cover not more than 15%;
 - Tree canopies not located within 2 metres of the building;
 - Trees separated by 2-5 metres and do not provide a continuous canopy from the hazard to the building;
 and,
 - Lower limbs of trees removed up to a height of 2 metres above the ground.
- 4. At the issue of subdivision certificate a section 88B easement under the 'Conveyancing Act 1919' is to be created. The easement is to restrict the user from construction of any habitable building within 9 metres of the northern boundary of lot 10.

Construction Standards

The intent of measures is that buildings are designed and constructed to withstand the potential impacts of bush fire attack. To achieve this, the following conditions shall apply:

- 5. New construction of proposed dwellings on lots 2 9 and 12 15 must comply with Sections 3 and 5 (BAL 12.5) Australian Standard AS3959-2009 Construction of buildings in bush fire-prone areas or NASH Standard (1.7.14 updated) 'National Standard Steel Framed Construction in Bushfire Areas 2014' as appropriate and section A3.7 Addendum Appendix 3 of Planning for Bush Fire Protection 2006.
- 6. New construction of proposed dwelling on lot 10 on the western, northern and eastern elevations must comply with section 3 and section 7 (BAL 29) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone area' or NASH Standard (1.7.14 updated) 'National Standard Steel Framed Construction in Bushfire Areas 2014' as appropriate and section A3.7 Addendum Appendix 3 of Planning for Bush Fire Protection 2006'.

The southern elevation must comply with Sections 3 and 6 (BAL19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' or NASH Standard (1.7.14 updated) 'National Standard Steel



Frame Construction in Bushfire Areas - 2014' as appropriate and section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

7. New construction of the proposed dwelling on lot 11 on the northern and eastern elevations must comply with Sections 3 and 6 (BAL19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

The southern and western elevations must comply with Sections 3 and 5 (BAL12.5) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

8. New construction of the proposed dwelling on lot 16 on the western, northern and eastern elevations must comply with Sections 3 and 7 (BAL29) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

The southern elevation must comply with Sections 3 and 6 (BAL19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

9. New construction of the proposed dwelling on lot 17 on the northern and eastern elevations must comply with Sections 3 and 7 (BAL29) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

The southern and western elevation must comply with Sections 3 and 6 (BAL19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

10. New construction of the proposed dwelling on lot 18 on the northern and eastern elevations must comply with Sections 3 and 7 (BAL29) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

The southern and western elevation must comply with Sections 3 and 6 (BAL19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

11. New construction of the proposed dwelling on lot 19 on the western, northern and eastern elevations must comply with Sections 3 and 6 (BAL19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

The southern elevation must comply with Sections 3 and 5 (BAL12.5) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

12. New construction of the proposed dwelling on lot 20 on the western, northern and eastern elevations must comply with Sections 3 and 7 (BAL29) Australian Standard AS3959-2009 'Construction of buildings in bush fire-

prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

The southern elevation must comply with Sections 3 and 6 (BAL19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' of NASH Standard (1.7.14 updated) 'National Standard Steel Frame Construction in Bushfire Areas - 2014' as appropriate and Section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.

Water and Utility Services

The intent of measures is to provide adequate services of water for the protection of buildings during and after the passage of a bush fire, and to locate gas and electricity so as not to contribute to the risk of fire to a building. To achieve this, the following conditions shall apply:

- 13. Water, electricity and gas must comply with the following:
 - Fire hydrant design, spacing, sizing and pressures must comply with AS2419.1. Fire hydrants must not be located within any road carriageway.
 - Ring main systems must be used for urban subdivisions with perimeter roads.
 - Fire hose reels must be constructed and installed in accordance with AS/NZS1221 and AS2441.
 - All aboveground water pipes external to the building must be metal including and up to any taps/outlets/fittings.
 - Electrical transmission lines should be located underground where possible.
 - Overhead electricity lines must have short pole spacing (i.e. 30 metres) except where crossing gullies, gorges or riparian areas. No tree may be closer to an electricity line than the distance set out in in ISSC3 Guideline for Managing Vegetation Near Power Lines.
 - Gas must be installed and maintained as set out in the relevant standard and all pipes external to the building must be metal including and up to any taps/outlets/fittings. Polymer-sheathed flexible gas supply lines must not be used.

General Advice - Consent Authority to Note

The recommendations are based on the documents/plans supplied via Councils referral to the NSW Rural Fire Service (NSW RFS) including:

- The plan titled 'Lot 2 DP1188545 Pacific Drive Transit Hill Overall Site Plan with Dwellings' prepared by Land Dynamics Australia, reference 5222, revision A dated 30 January 2020.
- The bush fire assessment prepared by Building Code & Bushfire Hazard Solutions, reference 200335 dated 22 January 2020.

Council is advised that where a minor amendment to the above-noted documents is proposed, Council may use its discretion to determine whether the minor amendment warrants further assessment by the NSW RFS to reissue an approval.

For any queries regarding this correspondence, please contact Wayne Sketchley on 1300 NSW RFS.

Yours sincerely,

Alan Bawden
Team Leader, Dev. Assessment & Planning
Planning and Environment Services





BUSH FIRE SAFETY AUTHORITY

Subdivision – Torrens Title Subdivision
Pacific Dr Port Macquarie NSW 2444 AUS, 2//DP1188545
RFS Reference: DA20200219000625-Original-1
Your Reference: (CNR-4739) DA2020-65.1

This Bush Fire Safety Authority is issued on behalf of the Commissioner of the NSW Rural Fire Service under s100b of the Rural Fires Act (1997) subject to the attached General Terms of Approval.

This authority confirms that, subject to the General Terms of Approval being met, the proposed development will meet the NSW Rural Fire Service requirements for Bush Fire Safety under s100b of the Rural Fires Act 1997.

Alan Bawden

Team Leader, Dev. Assessment & Planning Planning and Environment Services

Tuesday 14 April 2020

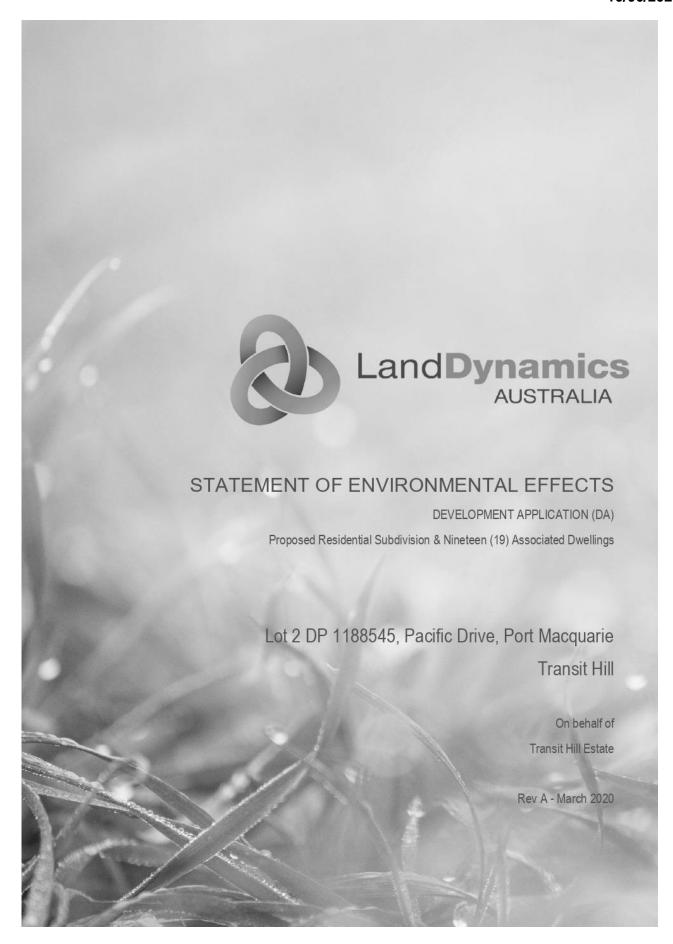
Port Macquarie Hastings Development Control Plan 20	nt Control Pla	an 2013
Chapter / Clause	Complies	Comment
PART 2 General Provisions		
2.3 - Environmental Management	Yes	The overall purpose of Chapter 2.3 is to assist in achieving a balance of appropriate development while conserving the natural environment. Considerations include minimising cut and fill and minimising landform change, whilst considering drainage, privacy and stormwater.
		The proposed development is specifically designed to work with the existing landscape (post approved subdivision earthworks), which requires a balance of cut and fill given the slope of the site. Screen planting is incorporated into the overall landscape design of the subdivision to minimise the visual impact of retaining walls and boundary fencing and to assist in minimising privacy impacts such as overlooking to the adjoining dwellings to the east.
		Retaining walls have been shown on the dwelling plans and in some instances exceed 1m and must be certified by a structural engineer. There is also opportunity at the Construction Certificate stage when the detailed dwelling plans and landscape design undertaken, to terrace the retaining walls to reduce their overall height and be incorporated into the overall landscaped area.
		The site is currently cleared, being one of the remaining stages in the subdivision, and as such there are no ecological requirements to have regard to in the design, nor is there a watercourse.
2.4 - Hazard Management	Yes	The site is not in proximity to the airport.
		Refer to the accompanying Bushfire Assessment. The bushfire hazard has been considered and appropriate APZ and BAL ratings recommended for any future dwelling on the proposed sites. The recommended bushfire measures do not affect vegetation or habitats.
		The site is not subject to Acid Sulphate Soils in the developable area.
		The site is not flood affected or subject to coastal management.
		The site is not identified as being subject to acoustic controls.
2.4.3.4 - Bushfire Hazard Management	Yes	The proposal has had regard to the environmental management of the site.
		The site is bushfire prone. Protective management measures have been recommended to affected lots and a Bushfire Report has been prepared.

Each dwelling has been provided with a double garage, which exceeds the requirement for one space per dwelling. There is ample room on-All stormwater from the proposed development will be collected and managed in accordance with the stormwater management plan for the The proposed development includes 38 car parking spaces within garage which is a surplus of 9 spaces, Further, 5.5m has been provided in ample parking on each lot, and the development does not operate as many multi-unit housing strata developments such as townhouses. In In considering the dwellings as individual dwelling houses or dual occuapncies, I space per dwelling is required. Each dwelling is provided Whilst this development is being undertaken as a multi-unit dwelling development, ultimately the dwellings are titled as Community title with Landscaping of driveways has been indicated on the concept landscape plan and the driveways will be constructed and sealed as per the Development Application - Proposed Residential Subdivision & Associated Dwellings Transit Hill, Pacific Drive, Port Macquarie The attached dwelling and multi-unit housing rates are the same and require visitor parking. In calculating the requirements against this rate, Table 2.5.1 of the DCP indicates the car parking requirements for dwelling houses and multi-unit housing as per the extract below: per units 1.5 per 3-4 bedroom unit + 1 visitors' space per 4 per 1.5 per 3-4 bedroom unit + 1 visitors' space per 4 per 1 per 1 or 2 bedroom unit + 1 visitors' space per 4 Drainage of the common and individual driveways has been incorporated into the stormwater design. 1 per 1 or 2 bedroom unit + 1 visitors' space per 4 doing so, it is reasonable to expect that their visitors will park in front of the garage. front of the garages to ensure ample room for visitors to park for most dwellings. the proposed lots to accommodate car parking in front of most of the garages. 1 per secondary dwelling with a double garage and as such exceeds this requirement considerably 1 per dwelling 1 per dwellin a total of 29 residential spaces and 5 visitor spaces are required. www.ldynamics.com.au semi-detached dwellings multi dwelling housing secondary dwellings dual occupancies dwelling houses overall approved subdivision. Comment Port Macquarie Hastings Development Control Plan 2013 Complies Yes Yes 2.5 – Transport, Traffic Management, LandDynamics Access & Car Parking 2.2.3.6 - Stormwater Chapter / Clause

Chapter / Clause Con	Port Macquarie Hastings Development Control Plan 2013	in 2013
	Complies	Comment
		DCP requirements.
2.7 – Social Impact Assessment & Crime Prevention	Yes	The proposal will have a positive social impact, providing additional residential accommodation to the greater Port Macquarie region. Infilt development with increased density such as this proposed is ideal and does not result in loss of rural land and allows people wanting to downsize to remain in the local area and have a dwelling with minimal yard maintenance. Lighting and fencing will be provided as part of the subdivision works and casual surveillance will be provided in the building designs in future applications. The slope of the land allows for casual surveillance. Use of landscaping will assist in ensuring blank walls are not provided, which are targeted for graffiti. The proposed form of housing caters for different housing needs of the community and provides for all sectors of the housing market.
PART 3 Development Specific Provisions	w.	
3.2 – Low Density Residential Val	sought	The built form and compliance with controls regarding setbacks, private open space, amenity and the like has been considered in the design of the dwellings to ensure the purpose of the chapter are satisfied. We note that as a community title development with private internal roads, the Torners title allotment requirements within this clause of the DCP is difficult to achieve and therefore not applied to Community Title lots. This approach is consistently applied by Council. The dwellings have achieved a minimum setback of 900mm or zero in some instances, to achieve compliance with the BCA. Further, where Lots 6 – 10 adjoin existing dwellings outside of the development lot, the setback has been increased to ensure amenity is protected. Side setbacks exceed 900mm in all instances. A front setback to the internal road network is not required, however has been provided to allow room for landscaping, as well as parking in the driveway. There is a high level of screening from retaining walls, fencing and landscaping provided. A private open space is available to each dwelling with a 4m by 4m affresco area, as well as courtyards, balconies and a backyard garden (illustrated in the plans attached). The design has provided a number of options for outdoor living with varying orientations, which allows for the varied use of the private open space at all times of the year. The design and articulation of the frontage ensures that the garage does not dominate and the separation between the dwellings ensures a satisfactory appearance. In accordance with this Clause, each of the lots have a clearly defined boundary, separate to adjoining lots, by way of boundary fencing.

with providing views over the dwellings below, towards the wider views and the detailed landscaping also assists with screening and preventing In accordance with Clause 3.2.2.10 visual privacy is incorporated where possible into the design and layout of the dwellings. Direct views between primary indoor and outdoor living areas are avoided and substantial setbacks and privacy screening is proposed. The slope assists. The objectives of 3.6.3.2 are met by providing a range of lot sizes to suit a variety of dwelling and household types and ensuring the lot layout The proposal seeks to subdivide the lots with an area less than 450m², which is permitted by this clause if the development is carried out as "Subdivision of dual occupancy development or multi dwelling housing where permissible in the LEP may create allotments smaller than The development is a Community Title development with a variety of lot sizes, consistent with the zone objectives and caters to the varying There is ample room on the site to accommodate the dwelling whilst ensuring a high level of amenity is provided, including private open space and landscaping. The proposed layout presents well to the street and will appear as single residential allotments, providing a satisfactory There are no changes to the proposed road layout and the Community title lots will be serviced by a private waste contractor who will utilise needs of the community. The objectives of 3.6.3.2 are also met by providing a range of lot sizes to suit a variety of dwelling and household Development Application - Proposed Residential Subdivision & Associated Dwellings ransit Hill, Pacific Drive, Port Macquarie The proposed community title roads and shareways are privately owned and no new roads are proposed as a part of this application. There is ample room for landscaping throughout the site, as shown on the landscape concept plan Each allotment to be created is part of a community or strata title scheme, or Is carried out as part of an **integrated Torrens title housing** development." types and ensuring the lot layout plan reflects the site's opportunities and constraints. an integrated housing development. This application satisfies this requirement. The subject proposal achieves compliance with the subject DCP standards. plan reflects the site's opportunities and constraints www.ldynamics.com.au Clause 3.6.3.2 (b) states the private roads. Comment Port Macquarie Hastings Development Control Plan 2013 Complies Yes Yes Yes 3.6.3.2 - Urban Structure & Lot Layout LandDynamics 3.6.3.8 - Road Design and 3.2.2.10 - Visual Privacy Chapter / Clause 3.6 - Subdivision Construction

Port Macquarie Hastings Development Control Plan 2013	nt Control Pla	in 2013
Chapter / Clause	Complies	Comment
3.6.3.16 - Water Cycle Management	Yes	The proposed drainage of the site incorporates Water Sensitive Urban Design (WSUD) and paving is minimised.
3.6.3.17 - Stormwater Management	Yes	Stormwater will be into the road stormwater system. Inter-allotment drainage is anticipated which results in the water discharging into Rowthorne Way.
3.6.3.20 - Water Supply	Yes	A reticulated water supply will be provided to the subdivision as an extension from the current servicing being constructed. A master meter is proposed within Community Lot 1.
3.6.3.24 - Sewerage	Yes	The proposed sewerage system will be designed in accordance with Council's adopted Design Specification documents and the sewerage code of Australia (WSA02-1999). Each lot will have a separate sewer junction and connection to Council's main.
3.6.3.26 – Soil Management	Yes	The aim of this clause is to minimise erosion and sediment loss before, during and after construction. In accordance with this clause an erosion and sediment control plan will be provided with the construction certificate.
3.6.3.34 - Service Infrastructure and Information Technology	Yes	In accordance with this clause the proposed lots will be adequately serviced by electricity and telecommunications and will be provided underground.
3.6.3.35 – Waste Management	Yes	In accordance with this clause the approved public road ensures lots can be serviced by waste collection vehicles. The proposed Community lots will be serviced via a private contractor.
3.6.3.54 - Community Safety	Yes	The proposal has regard to Crime Prevention Through Environmental Design Principles (CPTED) and includes details of surveillance, access control, territorial reinforcement and space management such as artificial lighting in public places; attractive landscaping whilst maintaining clear sight lines and physical or symbolic barriers to attract, channel or restrict the movement of people. The proposed subdivision layout allows for casual surveillance and interaction with the public areas.
U. C. C. U.		





Rev A - Development Application - Proposed Residential Subdivision & Associated Dwellings Transit Hill, Pacific Drive, Port Macquarie

Prepared for:

Transit Hill Estate Pty Ltd

Prepared By:

Land Dynamics Australia

77 Lord Street Port Macquarie NSW 2444 – PO Box 2459 Port Macquarie NSW 2444

T: 02 6583 2677 E: reception@ldynamics.com.au

www.ldynamics.com.au

	Name	Date
Prepared By	Donna Clarke	31/1/2020
Checked By	Graham Burns	31/1/2020
Rev A Prepared By	Donna Clarke	26/3/2020
Rev A Checked By	Graham Burns	26/3/2020

Disclaimer

This report was prepared in accordance with the scope of works set out in correspondence between the client and Land Dynamics Australia. To the best of Land Dynamics Australia's knowledge, the report presented herein accurately reflects the Client's intentions when the report was printed. However, it is recognised that conditions of approval at time of consent, post development application modification of the proposals design, and the influence of unanticipated future events may modify the outcomes described in this report.

Land Dynamics Australia used information and documentation provided by external persons, companies and authority. Whilst checks were completed by Land Dynamics Australia to ensure that this information and/or documentation was accurate, it has been taken on good faith and has not been independently verified. It is therefore advised that all information and conclusions presented in this report apply to the subject land at the time of assessment, and the subject proposal only.

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Rev A - Development Application - Proposed Residential Subdivision & Associated Dwellings Transit Hill, Pacific Drive, Port Macquarie

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1. EXECUTIVE SUMMARY

This Statement of Environmental Effects (SEE) is to accompany a Development Application (DA) lodged with Port Macquarie Hastings Council for the proposed integrated development comprising Subdivision and Dwellings. This SEE has been updated and is Rev A to include a Clause 4.6 Variation regarding minor non-compliance with respect to height of two additional dwellings being a total of 6 of the 19 dwellings due to the topography of the land. The SEE original identified only 4.

The site is identified as Lot 2 DP 1188545, Pacific Drive, Port Macquarie, comprising a vacant parcel of land on the southern side of Transit Hill. The site is approximately 4 km south of the centre of Port Macquarie and is located on the northern side of the Pacific Drive.

A development consent is in place on the site for a Community title subdivision of 35 residential lots via DA 2017/1099. Bulk earthworks associated with the approved subdivision have commenced on site, including clearing and weed management. This application seeks to alter the boundaries of the lots to accommodate three (3) extra lots. The revised proposal will provide consent for Community title subdivision and 19 associated dwellings over the eastern portion of the site via DA 2017/1049. The roads and associated works approved under the original consent will occur as approved and the proposed residential lot layout fits within the building footprint and road layout. The areas of vegetation to be retained remains consistent with the underlying approval for subdivision via DA 2017/1049 and is under the control of a Vegetation Management Plan.

The site is zoned R1 General Residential and E2 Environmental Management under Port Macquarie-Hastings Local Environmental Plan 2011 (LEP), which allows dwelling houses, dual occupancies, multi dwelling housing and subdivision. No works are proposed within the E2 zoned land. The surrounding land is zoned for residential purposes. The proposed development is a permissible land use and aligns with the objectives of the zone. The proposal considers the residential amenity of the existing residents nearby and future residents with respect to the adjoining residential properties and the environmental constraints of the site.

The layout responds to the characteristics of the site and Community Title allows for common areas including roads and fire trail. A high quality of landscaping is proposed throughout the development to the frontages of each site and screening to the dwellings to the east and existing vegetation is to be retained along Pacific Drive and northern portions under the original development consent.

An investigation of environmental and design considerations illustrates the proposal is suitable for the site. Special ecological, bushfire and traffic assessments were undertaken with the original approval and the traffic and bushfire reports have been updated to address the new lots and dwellings. No unmanageable issues were identified in relation to transport, visual and acoustic privacy, heritage, acid sulfate soils, flooding, bushfire, flora and fauna or the provision of utilities. The subject land can accommodate the additional lots and dwellings and existing services and infrastructure are capable of being extended. The existing road network can withstand the additional traffic generation and proposed development does not warrant the upgrade of any intersections.

This report represents a Statement of Environmental Effects (SEE) as required by the NSW Environmental Planning and Assessment Act 1979 (EP&A Act) and NSW Environmental Planning and Assessment Regulation 2000 (EP&A Reg). This SEE describes the site and its context, the nature of the proposal, the relevant planning framework and assesses the proposal against the matters for consideration pursuant to Section 4.15 of the EP&A Act. This SEE concludes that there is no material planning or statutory impediment to the approval of the proposed use.

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This report provides a description of the site and surrounding area; a description of the proposal; and an outline and assessment against of the relevant statutory and strategic planning policy framework. This report should be read in conjunction with the Appendices accompanying this application including dwelling plans, site and services plans, bushfire report and Port Macquarie Hastings Council Development Control Plan 2013 Compliance Table.

2. SITE & CONTEXT

The Site

The site is identified as Lot 2 DP 1188545, Pacific Drive, Port Macquarie, comprising a vacant parcel of land on the southern side of Transit Hill. The site is approximately 4 km south of the centre of Port Macquarie and is located on the northern side of the Pacific Drive. Immediately outside of the site and on the opposite side of Pacific Drive is an existing bus stop.

The site slopes from the north to the south and contains vegetation primarily in the northern portion and maintained grass throughout the majority of the development area. The E2 land is heavily vegetated and has frontage to Orr St, and adjoins a lookout. Existing dwelling houses adjoin the site along the eastern boundary and part of the northern boundary. A single dwelling is located to the south-west corner of the site on a large allotment.

Pacific Drive intersects with Livingstone Road immediately to the south of the development site at a channelised T-intersection and further south, Pacific Drive joins Ocean Drive at a large roundabout. To the north of the site, Pacific Drive intersects with Timber Ridge and Waterview Close at a small, single lane roundabout.

Bulk earthworks associated with the approved subdivision have commenced on site, including clearing and weed management.

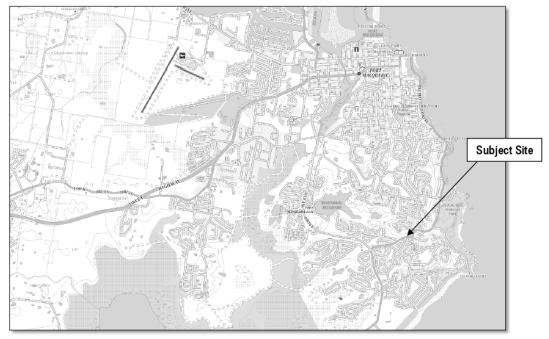


Figure 1 - Locality Map of the Subject Land (source: www.sixmaps.nsw.gov.au)

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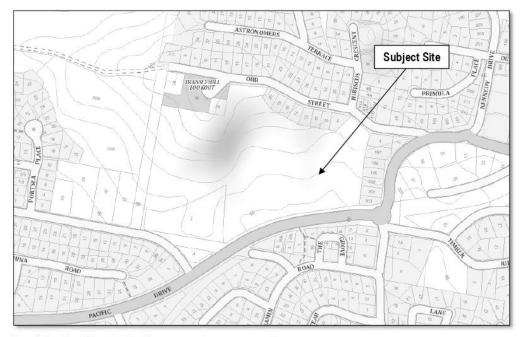


Figure 2 - Location of the subject land (source: www.sixmaps.nsw.gov.au)

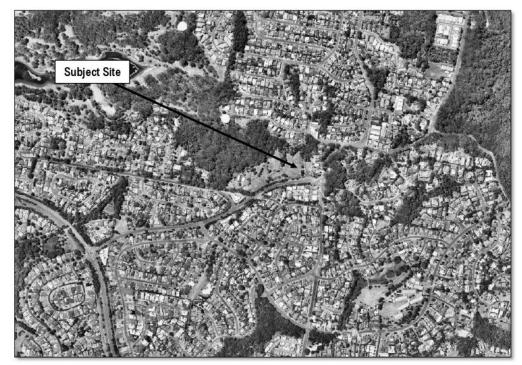


Figure 3 - Aerial Map of the subject land (source: www.nearmap.com)

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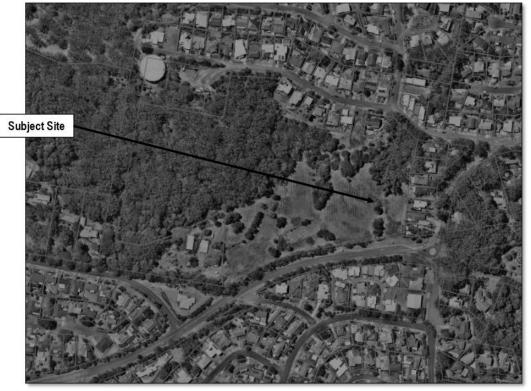


Figure 4 - Close Up Aerial Map of the subject land (source: www.nearmap.com) Note: bulk earthworks have since commenced on site.

Surrounding Development

The site is located within the established residential area and forms part of one of the remaining vacant parcels in the area. The subject land is surrounded by a range of single and two storey dwellings.

The subject land is within easy access to a number of neighbourhood centres, as well as the centre of Port Macquarie to the north. Pacific Drive is serviced by an existing Busways service.

Compatibility of the Proposal

Subdivision of an existing large allotment is compatible with the existing varied subdivision pattern in the immediate area. The area proposed for subdivision is generally clear of vegetation (mainly exotic), making it ideal for development. The approval of a residential subdivision on the site indicates the suitability for residential development.

Previous Applications

On 19 December 2018, Council granted consent to DA 2017/1049 for a Staged Residential Subdivision (35 Lots) comprising 34 standard lots greater than 450m² and roads and one allotment greater than 3000m² which incorporates the E2 land to the west. The development is a community title subdivision, with the exception of lot associated with the E2 land which is a Torrens title allotment.

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Vehicular access to the site is proposed via a central road from Pacific Drive in the centre of the site. The existing bus stop will be relocated to the east of the access point. A fire trail is proposed along the northern edge of the lots to satisfy bushfire requirements. Areas of environmental value were secured in this consent and the building footprint established.

The approved subdivision layout is shown in the approved landscape plan below.



Figure 5 - Approved Landscape Plan - DA 2017/1049

3. THE PROPOSAL

This application seeks approval for a Community title subdivision and 19 associated dwellings over the eastern portion of the site.

The roads and associated works approved under the original consent will occur and the proposed residential lot layout fits within the building footprint and road layout. The areas of vegetation to be retained remains consistent with the underlying approval for subdivision via DA 2017/1049. Vehicular access to the site is proposed via the approved central road from Pacific Drive and the approved fire trail is proposed along the northern edge of the lots to satisfy bushfire requirements. In accordance with the underlying consent, a series of private roads and private driveways provide access to the lots, with three lineal overland flow paths proposed to accommodate stormwater. These works will occur before the dwelling construction and subdivision proposed under this application.

The resulting development will create three (3) new residential allotments from that previously approved, as shown in the figures below.

A dwelling is proposed on each proposed allotment and it is requested that a condition be placed on any consent which allows the subdivision of the lots to occur prior to dwelling construction or completion, provided it is in

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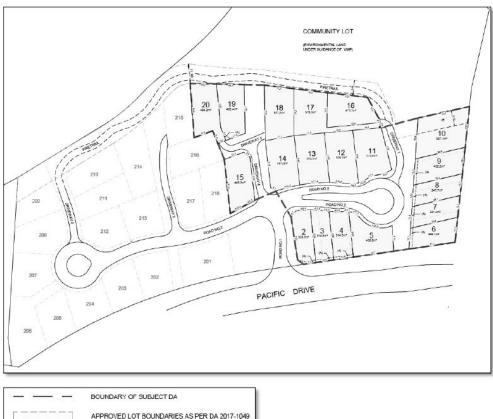


accordance with the approved dwelling plans submitted as part of this application. It is also proposed that the lot registration and dwelling construction can occur in any order, once the lots are created as shown on the staging plan. This allows flexibility for the future purchasers and the developer to respond to market forces and sales. The overall civil infrastructure will occur upfront, with the majority already in place as part of the parent subdivision (DA 2017/1049).

Services including separate water, stormwater and sewer will be provided. A service infrastructure plan has been prepared for the overall development. As vegetation is removed from the site as per the underlying consent, no removal of vegetation is proposed as part of this proposal.

The aim of this development is to provide high quality luxury homes, generous living areas, highly sought-after expansive view and landscaping which screens the adjoining dwellings to the east and provides an attractive appearance to the internal roads. This is reflected in the design and landscaping.

This report is accompanied by a, Plan of Subdivision / Layout Plan and Services Plan and extracts are shown below.



APPROVED LOT BOUNDARIES AS PER DA 2017-1049

ASSET PROTECTION ZONE (APZ) AS PER DA 2017-1049

ASSET PROTECTION ZONE (APZ) AS PER DA 2017-1049

PROPOSED LOTS

PROPOSED LOTS

PROPOSED DRAINAGE EASEMENT 1.5 WIDE

Figure 6 - Proposed Site Layout Plan Extract

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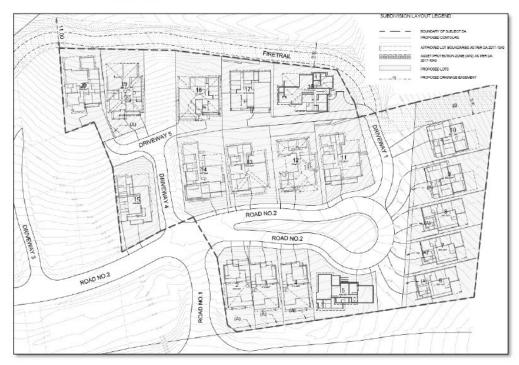


Figure 7 - Proposed Site Layout Plan Extract with Dwellings

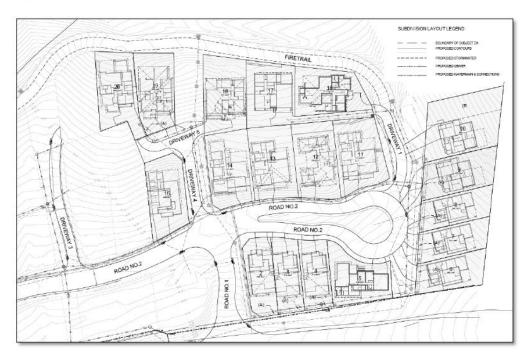


Figure 8 - Proposed Services Plan Extract

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The proposed dwellings have been designed by Collins W Collins and are split level to respond to the slope and contain three bedrooms, open plan living, dining and kitchen and a double garage below. Varying facades and materials have been proposed to provide a variety in appearance of the dwellings. The proposed materials will comprise a mix of brickwork and cladding with metal sheet roofing.

Each dwelling is provided with ample area of private open space, including a balcony off the living area and second area of private open space at the rear of the dwelling and balconies in some instances. The area of private open space has been levelled to increase usability. Fencing is proposed between allotments, in conjunction with retaining walls and landscaping due to the slope of the land, in order to provide privacy to these areas. Subfloor areas have been provided where possible, which utilises the slope of the land.

In order to meet BASIX commitments, each dwelling contains a rainwater tank, 3 star rated showerheads, taps and toilets, amongst other things, as detailed on the BASIX Certificates accompanying this application.

The proposed final allotments and dwellings have the following characteristics:

Proposed Lot	Site Area	Dwelling	Private Open Space	Bedrooms	Parking	Gross Floor Area (as per LEP definition)	Floor Space Ratio (Individual)
Note: No Lot	1 or Dwelling	1 as the Con	nmunity Lot is Lot 1.				
2	337.3m²	2	Alfresco – 27.2m² & Rear Open Space – Approx. 45m² usable excluding rock batter Balcony 6.2m²	4	Double garage	251.7m²	0.74:1
3	314.3m²	3	Alfresco – 27.2m² & Rear Open Space – Approx. 30m² usable excluding rock batter Balcony 6.2m²	- Approx. 30m² garage g rock batter 3.2m² garage		251.7m²	0.80:1
4	314.3m²	4	Alfresco – 27.2m² & Rear Open Space – Approx. 56.3m² Balcony 6.2m²	Approx. 56.3m² garage		251.7m²	0.80:1
5	440.2m²	5	Alfresco – 17.5m² & Rear Open Space – Approx. 78.2m²	4 Double garage		220.1m²	0.5:1
6	354.8m²	6	Alfresco – 16m² & Rear Open Space – Approx. 60m² usable excluding rock batter Balcony 5.1m²	3 Double garage		191.35m²	0.53:1
7	340.9m²	7	Alfresco – 16m² & Rear Open Space – Approx. 60m² usable excluding rock batter Balcony 5.1m²	r Open Space – Approx. 60m² garage sable excluding rock batter		191.35m²	0.56:1
8	347.2m²	8	Alfresco – 16m² & Rear Open Space – Approx. 40m² usable excluding rock batter Balcony 5.1m²	3 Doubl m² garag		191.35m²	0.55:1
9	431.5m²	9	Alfresco – 20.8m² & Rear Open Space – Approx. 65m² usable excluding rock batter Balcony 18.2m²	4	Double garage	241.95m²	0.56:1
10	688.6m²	10	Alfresco – 20.8m² & Rear Open Space – Approx. 340m²	4	Double garage	241.95m²	0.56:1

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Proposed Site Dwelling Lot Area		Dwelling	Private Open Space	Bedrooms	Parking	Gross Floor Area (as per LEP definition)	Floor Space Ratio (Individual)
			total with rock retaining wall in central area and large APZ to north Balcony 18.2m²				
11	513.3m²	11	Alfresco – 23m² & Rear Open Space – Approx. 30m² usable adjoining alfresco & 91m² at rear Balcony 18.2m²	3	Double garage	241.3m²	0.61:1
12	504.7m²	12	Alfresco – 33.1m² & Rear Open Space – Approx. 100m² usable, excluding rock batter Balcony 9m²	4	Double garage	239.7m²	0.47:1
13	500.2m²	13	Alfresco – 23m² & Rear Open Space – Approx. 58m² usable adjoining alfresco excluding rock batter Balcony 18.2m²	3	Double garage	241.3m²	0.61:1
14	14 498m² 14		Alfresco – 23m² & Rear Open Space – Approx. 70m² usable adjoining alfresco excluding rock batter Balcony 12.8m²	3	Double garage	262m²	0.52:1
15	541.3m² 15 Alfresco – 21.8m² & 4 Double Rear Open Space – Approx. 26m² usable adjoining alfresco excluding rock batter Balcony 7.1m² & 7.1m²		273.5m²	0.5:1			
16	567.1m² 16 Alfresco – 24.2m² & 4 Double Rear Open Space – Approx. 42m² garage usable adjoining alfresco and second rear area approx. 45m²		261.3m²	0.46:1			
17	483.8m² 17 Alfresco – 16.9m² & 4 Double Rear Open Space – Approx. 76m² usable adjoining alfresco Balcony 3.4m²		245.8m²	0.5:1			
18	507.5m² 18 Alfresco – 16.2m² & 3 Double Rear Open Space – Approx. 37m² usable adjoining alfresco, excluding rock batter Verandah 12.2m²			242.5m²	0.47:1		
19	455.4m²	19			240.2m²	0.52:1	
20	484.2m²	20	Alfresco – 24.6m² & Rear Open Space – Approx. 22.5m² usable adjoining alfresco excluding rock batter Balcony 18.7m²	4	Double garage	243.5m²	0.52:1
			Overall FSR (residential zon	l led land in eas	tern portion	only 11,700m²)	0.39:1
			Overall FSR (reside		-		0.5:1

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The full set of dwelling plans prepared by Collins W Collins accompany this application and forming an Appendix to this report.

The development will be serviced by a private waste contractor, in accordance with the original consent.

The landscaping scheme has been developed as part of the approved subdivision (see Figure 5) and includes planting along the internal roads, as well as along the eastern boundary adjoining existing dwellings. Additional landscaping will be incorporated into the setbacks as part of the dwelling construction.

A 1.8m high timber boundary fence to Ocean Drive was approved as part of the underlying subdivision to create privacy and match the existing fencing on the southern side of the road and the existing vegetation along the embankment on Ocean Drive rejuvenated providing a natural screen. Between dwellings and to the boundaries of lots with adjoining dwellings, a 1.8m high fence will be provided.

4. PLANNING FRAMEWORK

Planning and Approvals Framework- Section 4.15 (1)(a)

The EP&A Act and EP&A Regulation establishes the framework for the assessment and approval of development in NSW. The proposal represents 'local development' under the EP&A Act which requires development consent. The EP&A Regulation sets out the processes and procedures for the assessment and approval of local development and specifies that a DA must be lodged with the consent authority in line with certain specific requirements.

This SEE accompanies a DA prepared to address the requirements of the EP&A Act and Regulation. Port Macquarie Hastings Council is the consent authority. Pursuant to the provisions of the EP&A Act and EP&A Regulation, the proposed development must be assessed against relevant State and Local planning instruments, as described below, as well as the overarching Federal legislation relating to ecology. The proposed development has been assessed against the planning controls and principles within the following applicable planning instruments:

- Environmental Planning and Assessment Act 1979;
- Environmental Planning and Assessment Regulation 2000;
- Biodiversity Conservation Act 2016;
- Planning for Bush Fire Protection 2006;
- State Environmental Planning Policy No. 44 Koala Habitat Protection;
- State Environmental Planning Policy No. 55 Remediation of Land;
- State Environmental Planning Policy (Infrastructure) 2007;
- State Environmental Planning Policy Coastal Management 2018;
- Port Macquarie Hastings Local Environmental Plan 2011; and
- Port Macquarie Hastings Development Control Plan 2011.

In Section 4 of this report, an assessment of the proposal against each of these instruments is undertaken and demonstrates the proposal is generally consistent with the aims, objectives and controls of each applicable planning instrument, in accordance with Section 4.15 (1)(a) of the EP&A Act. Section 5 of this report addresses Section 4.15 (1)(b), (c), (d) and (e) of the EP&A Act.

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Planning for Bush Fire Protection 2006

The site is identified as bushfire prone land as per the Rural Fire Service's online mapping. A Bush Fire Safety Authority was issued as part of the underlying subdivision consent via DA 2017/1049. A new Bushfire Assessment was undertaken with respect to the current proposal which provided a number of recommendations including construction standards and asset protection zones. A copy of the bushfire report accompanies this application and below is an extract of the recommendations:

9.0 Recommendations

The following recommendations are provided as the minimum necessary for compliance with Planning for Bush Fire Protection – 2006 and Australian Standard 3959 'Construction of buildings in bushfire-prone areas - 2009

Asset Protection Zones

- 1. A restriction to the land use pursuant to section 88B of the Conveyancing Act 1919 shall be placed on all residential lots within the subdivision that are impacted by the asset protection zones (APZ) as identified on the Overall Site Plan with Dwellings prepared by Land Dynamics Australia (job no 5222, dwg no 0002, rev A, dated 12.12.2019). This instrument shall prohibit the construction of buildings other than class 10 structures within the asset protection zones (APZ). The name of the authority empowered to release, vary or modify the instruments shall be Port Macquarie Hastings Council.
- All APZs shall be managed as an Inner Protection Area as outlined within section 4.1.3 and Appendix 5 of Planning for Bush Fire Protection 2006 and the NSW Rural Fire Service's document Standards for asset protection zones.
- That any new landscaping is to comply with Appendix 5 'Landscaping and Property Maintenance' under Planing for Bushfire Protection 2006.

Construction

- That any future dwelling be construction to the relevant Bushfire Attack Level (BAL) under Australian Standard 3959 'Construction of buildings in bushfireprone areas' 2009 as depicted on the attached Bushfire Attack Level overlay (attachment 02).
- That any future dwelling required to be constructed to a BAL under AS3959 2009 must also be constructed to the 'Additional Construction Requirements' detailed in the addendum to Appendix 3 of Planning for Bush Fire Protection.

Services

 That electricity and gas are to comply with section 4.1.3 of Planning for Bush Fire Protection 2006. The following are the requirements for the relevant services

Electricity

- Where practicable, electrical transmission lines are underground.
- Where overhead electrical transmission lines are proposed:
 - lines are installed with short pole spacing (30 metres), unless crossing gullies, gorges or riparian areas; and
 - no part of a tree is closer to a power line than the distance set out in accordance with the specifications in "Vegetation Safety Clearances" issued by Energy Australia (NS179, April 2002).

Gas:

- Reticulated or bottled gas is installed and maintained in accordance with AS 1596 and the requirements of relevant authorities.
- Metal piping is to be used.
- All fixed gas cylinders are kept clear of all flammable materials to a distance of 10 metres and shielded on the hazard side of the installation.
- If gas cylinders need to be kept close to the building, the release valves are directed away from the building and at least 2 metres away from any combustible material, so that they do not act as a catalyst to combustion. Connections to and from gas cylinders are metal.
- Polymer sheathed flexible gas supply lines to gas meters adjacent to buildings are not used.

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The bushfire report concluded:

10.0 Conclusion

Given that the property is deemed bushfire prone under Port Macquarie-Hastings's Bushfire Prone Land Map any development would need to meet the requirements of Planning for Bush Fire Protection – 2006 and of the construction requirements of Australian Standard 3959 'Construction of buildings in bushfire-prone areas - 2009 are applicable.

The development proposal relates to the subdivision of seventeen (17) recently approved residential allotments and the construction of a dwelling within each of the proposed new allotments. The proposal will result in the creation of nineteen (19) new residential allotments and nineteen (19) new dwellings.

The subject site comprises of approved Lots 101-117 in DA 2017-1049, which involved the creation of thirty-five (35) new residential allotments, one (1) community allotment with no building entitlement, and the construction of associated infrastructure at Lot 2 Pacific Drive, Port Macquarie (Lot 2 DP 1188545).

The previous subdivision (DA 2017-1049) was assessed and approved under Planning for Bush Fire Protection 2006 by the NSW Rural Fire Service (RFS ref: D17/4556, dated 3 December 2018).

The vegetation identified as posing a bushfire hazard to the proposed residential allotments is located within the approved Lot 209 to the northwest, the approved community allotment to the north and east beyond Pacific Drive.

The minimum required Asset Protection Zone to the east was determined from Table A2.5 of Planning for Bush Fire Protection 2006 (PBP). The minimum required Asset Protection Zones to the north and northwest were determined from bushfire design modelling (attached) consistent with Appendix 2 of PBP.

The proposed Asset Protection Zones have been increased to ensure that no new dwelling will exceed BAL 29 construction under AS3959 – 2009. All proposed residential allotments can accommodate a building footprint exceeding the minimum required Asset Protection Zones for Residential Subdivisions under Appendix 2 of PBP.

The approved water supply and access provisions are considered adequate and will not be altered as part of this development.

In accordance with the bushfire safety measures contained in this report, and consideration of the site specific bushfire risk assessment it is our opinion that when combined, they will provide a reasonable and satisfactory level of bushfire protection to the subject development.

We are therefore in support of the development application.

Biodiversity Conservation Act 2016

The site was assessed as part of the underlying parent subdivision (DA 2017/1049) against the provisions of the EPBC Act 1999. The ecological significance of the site was examined in detail in the recently undertaken Ecological Report accompanying this application and was considered to be in accordance with the requirements of Section 5A of the Environment Planning and Assessment Act 1979, as amended by the Threatened Species Conservation (TSCA) Act 1995, the Commonwealth Environment Protection and Biodiversity Conservation (EPBCA) Act 1999 - Matters of National Environmental Significance and State Environmental Planning Policy (SEPP) No. 44 - Koala Habitat Protection, as well as the relevant provisions for Koala food trees and Endangered Ecological Communities under the PMHC Development Control Plan (DCP) 2013.

A Koala Plan of Management was not deemed necessary for this site.

A draft Vegetation Management Plan was prepared and conditions imposed regarding the VMP approved and being implemented. The VMP works have commenced on site.

The approved development footprint as approved has been adhered to in the proposed design and the ecological work will occur during the parent subdivision works.

State Environmental Planning Policies (SEPP's)

The following SEPP's are of relevance to the proposal:

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State Environmental Planning Policy No 44 — Koala Habitat Protection

As the area of the subject land is greater than 1ha and is located within the Port Macquarie Hastings Local Government Area, SEPP 44 –Koala Habitat Protection is applicable. A SEPP 44 Koala Habitat Assessment (completed by a qualified ecologist) was undertaken as part of the parent subdivision and remains applicable. As such, SEPP 44 has been satisfied.

State Environmental Planning Policy No 55 - Remediation of Land

SEPP 55 aims to "promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment". The land has been cleared and the landforms part of an approved residential subdivision in 2004, without the need for further investigation. Given there is no change of use of the site from approved for residential purposes, no further investigation of land contamination is required by SEPP 55.

State Environmental Planning Policy (Infrastructure) 2007

The application has been assessed against the requirements of State Environmental Planning Policy (Infrastructure) 2007. This Policy contains State-wide planning controls for developments adjoining rail corridors and busy roads. The development is not located immediately adjacent to a classified road or within 40 metres of a Railway corridor. The development is not classified as a Traffic Generating Development in accordance with Clause 104 and Schedule 3 of SEPP.

The traffic generation of the additional three (3) lots is unlikely to create adverse impacts.

State Environmental Planning Policy Coastal Management 2018

The site is not affected by the mapping under State Environmental Planning Policy Coastal Management 2018.

Local Planning Policies

Port Macquarie Hastings Local Environmental Plan 2011

(a) Zoning, Permissibility & Objectives

As indicated by the following map extract below from the Port Macquarie Hastings LEP 2011, the subject site is currently zoned R1 General Residential.



Figure 9 - Zoning Map Extract Port Macquarie Hastings LEP 2011

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Rev A Development Application - Proposed Residential Subdivision & Associated Dwellings Transit Hill, Pacific Drive, Port Macquarie

The proposal is for Subdivision of the land and construction of a Dwelling House and is permitted with consent on the subject land under the provisions of the Port Macquarie Hastings LEP 2011. Subdivision is specifically permitted under Clause 2.6 of the LEP.

There are a number of definitions applicable to the proposal, with a Dual Occupancy (Attached) most applicable, which is defined as:

"dual occupancy (attached) means 2 dwellings on one lot of land that are attached to each other, but does not include a secondary dwelling.

Note. Dual occupancies (attached) are a type of *dual occupancy*—see the definition of that term in this Dictionary."

and

"dual occupancy means a dual occupancy (attached) or a dual occupancy (detached)

Note. Dual occupancies are a type of **residential accommodation**—see the definition of that term in this Dictionary."

Multi Dwelling Housing is defined as:

"multi dwelling housing means 3 or more dwellings (whether attached or detached) on one lot of land, each with access at ground level, but does not include a residential flat building".

Dwelling houses are permitted with consent in the R1 zone and are defined as:

"dwelling house means a building containing only one dwelling".

Each proposed lot will contain only one dwelling house.

The proposed development provides orderly and economic use of the land, in accordance with the general aims of the LEP.

The proposed subdivision will contribute three (3) additional residential dwellings from approved to the residential housing stock of the greater Port Macquarie region. This is consistent with the Mid North Coast Regional Strategy and the identified population increase. Providing additional housing on a relatively unconstrained site within an established urban area is ideal. The surrounding area contains a variety of allotment sizes. The proposed layout will increase the density on the site, providing an alternative in lot size.

The proposed development is in keeping with the objectives of the zone.

(b) Clause 2.6 - Subdivision

Subdivision of land is permissible with development consent.

(c) Clause 4.1 - Minimum Lot Size

Subdivision requires a minimum allotment size of 450m². The proposal seeks to subdivide 8 of the 19 residential lots below the minimum lot size identified by the LEP of 450m² (Refer to Clause 4.1A below).

(d) Clause 4.1A - Exceptions to minimum lot sizes for certain residential development

The proposal seeks to subdivide the proposed allotments ranging from 314.3m² to 688.6m², with eight of the proposed lots being below 450m², which is consistent with the provisions of Clause 4.1A of Port Macquarie Hastings LEP, permitting exceptions to minimum lot sizes for certain residential development. Clause 4.1A states:

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"4.1A Exceptions to minimum lot sizes for certain residential development

- (1) The objective of this clause is to encourage housing diversity without adversely impacting on residential amenity.
- (2) This clause applies to development on land in the following zones:
 - (a) Zone R1 General Residential,
 - (b) Zone R3 Medium Density Residential,
 - (c) Zone R4 High Density Residential.
- (3) Development consent may be granted to a single development application for development to which this applies that is both of the following:
 - (a) the subdivision of land into 2 or more lots,
 - (b) the erection of an attached dwelling, a semi-detached dwelling or a dwelling house on each lot resulting from the subdivision."

In accordance with Clause 4.1A (3) this application includes the subdivision of 2 or more lots and the erection of a dwelling house on each lot resulting from the subdivision. Therefore, the minimum lot sizes do not apply to the proposal as it is for the subdivision of land into 2 or more lots and the construction of a dwelling house on each lot.

(e) Clause 4.3 - Height of Building

The site has a maximum height of 8.5m as shown on the Port Macquarie Hastings Local Environmental Plan 2013 – Height of Buildings Map.

The proposed Multi Dwelling Housing are split level due to the topography of the land and generally appear as two storeys from the street and have been designed to comply with the height limit. However, very minor exceedances with respect to the dwellings 2, 3, 4, 7, 8 and 15 only resulted. The minimal portion of the roof which exceeds the controls is unlikely to result in amenity impacts and will not be discernible from the public domain. The following table details the maximum height at the worst point above natural ground level, noting it is a small portion only due to the slope, and not the entire dwelling exceeding the height limit. The red line reflects the maximum height limit and in mot cases it is the hot water system which exceeds the limit.

Proposed Dwelling	Height	% Above Limit	Plan Extract – 8.5m height limit shown red
2	8.8m	3.5%	ELECTRIC BOOSTED SOLAR HWS AS PER BASIX REQUIREMENTS (CLIP SNAP) CONTRIUDUUS OVERI GUTTER FIXING SYSTEM TO COM \$500.3 LINE OF 8.5s
3	8.9m	4.7%	ELECTRIC BOOSTED SOLAR HWS 'AS PER BASIX REQLIREMENTS'

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Proposed Dwelling	Height	% Above Limit	Plan Extract – 8.5m height limit shown red
4	8.9m	4.7%	SOLAR HWS TO BE INSTALLED REMENTS JOUS OVERCOW EM TO COMPLY WITH AS
7	9.079	6.8%	\$A - 0.475 - 0.70)
8	8.55m	0.5%	SLARE STATE OF THE
15	9.2m	9%	BOOSTED SOLAR HIWS TO BE INSTALLED SIX REQUIREMENTS AXOLA

Justification to the variations is detailed in the Clause 4.6 variation further below in this report. The individual dwelling plans indicate the overall maximum ridge height and clearly shows that the variation being sought is minor and is unlikely to have any significant amenity or visual impacts and, in most instances, relates to the solar hot water system on the roof.

Further, the benefit of the 19 dwellings being designed and approved at the same time allows for future purchasers to be fully aware of the height and appearance of all dwellings and any associated impacts, based on the design minimising amenity impacts from the additional height.

The height of the buildings is measured from the NGL. Bulk earthworks relating to roads only have occurred on site under the subdivision consent, with the levels where the dwellings are being erected remaining the same.

(f) Clause 4.4 - Floor Space Ratio

The site has a floor space ratio (FSR) of 0.65:1 on the entire site as shown on the Port Macquarie Hastings Local Environmental Plan 2011 - Floor Space Ratio Map.

The gross floor area for each dwelling proposed as part of this application is detailed below.

Proposed Lot	Site Area	Dwelling	Parking	Gross Floor Area (as per LEP definition)	Floor Space Ratio (Individual)
2	337.3m²	2	Double garage	251.7m²	0.74:1
3	314.3m²	3	Double garage	251.7m²	0.80:1
4	314.3m²	4	Double garage	251.7m²	0.80:1
5	440.2m²	5	Double garage	220.1m²	0.5:1

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Proposed Lot	Site Area	Dwelling	Parking	Gross Floor Area (as per LEP definition)	Floor Space Ratio (Individual)
6	354.8m²	6	Double garage	191.35m²	0.53:1
7	340.9m²	7	Double garage	191.35m²	0.56:1
8	347.2m²	8	Double garage	191.35m²	0.55:1
9	431.5m²	9	Double garage	241.95m²	0.56:1
10	688.6m²	10	Double garage	241.95m²	0.56:1
11	513.3m²	11	Double garage	241.3m²	0.61:1
12	504.7m²	12	Double garage	239.7m²	0.47:1
13	500.2m²	13	Double garage	241.3m²	0.61:1
14	498m²	14	Double garage	262m²	0.52:1
15	541.3m²	15	Double garage	273.5m²	0.5:1
16	567.1m²	16	Double garage	261.3m²	0.46:1
17	483.8m²	17	Double garage	245.8m²	0.5:1
18	507.5m²	18	Double garage	242.5m²	0.47:1
19	455.4m²	19	Double garage	240.2m²	0.52:1
20	484.2m²	20	Double garage	243.5m²	0.52:1
Ove	erall FSR (re	sidential zon	ed land in eas	tern portion only 11,700m²)	0.39:1
Over	all FSR (resi	dential lots i	n eastern port	ion only 8,600m²)	0.5:1

Accordingly, the whole multi-unit housing development complies with the 0.65 Floor Space Ratio. This approach is consistent with other applications. Notwithstanding the above table which indicates some individual allotments (2, 3 and 4 only) exceed the maximum FSR requirement, consistent with Council's advice for Community Title developments, the overall FSR for the whole site can be considered. In this instance, the site area of this half over the wider approved subdivision is 11,700m². The total floor space of all dwellings on the site is 4,524.25m², which equates to a floor space ratio of 0.39:1 for the whole site. If only the lots were included (8,600m²), the overall development still complies being 0.5:1.

The LEP defines Gross Floor Area as:

"gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

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- (a) the area of a mezzanine, and
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes:

- (d) any area for common vertical circulation, such as lifts and stairs, and
- (e) any basement:
- (i) storage, and
- (ii) vehicular access, loading areas, garbage and services, and
- (f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- (g) car parking to meet any requirements of the consent authority (including access to that car parking), and
- (h) any space used for the loading or unloading of goods (including access to it), and
- (i) terraces and balconies with outer walls less than 1.4 metres high, and
- (j) voids above a floor at the level of a storey or storey above."

The calculations in the table above have excluded the components listed in the definition, including one car parking space from the garage and balconies. The calculations are generous and have included an area where it was unclear.

In summary, the floor space ratio controls are satisfied for the proposed development.

(g) Clause 4.6 - Exceptions to Development Standards

Flexibility is requested in relation to the proposal in regard to the application of the LEP building height control. In accordance with Clause 4.6, the following is a written request justifying departure from Clause 4.3 in relation to the proposed height of the development.

The height control on the subject site is 8.5m under Clause 4.3. The development largely complies with the height control and permitted architectural features under Clause 5.6 of the LEP, except for four dwellings. No part of the windows or balconies exceeds the height limit, with the extension relating to the upper parts of the dwelling only in small portions only as shown above and generally includes ceiling and roof and in most instances, relates to the solar hot water system on the roof.

The variations are very minor exceedances with respect to the dwellings 2, 3, 4, 7, 8 and 15 only. The minimal portion of the roof which exceeds the controls is unlikely to result in amenity impacts and will not be discernible from the public domain. The table above details the maximum height at the worst point above natural ground level, noting it is a small portion only due to the slope, and not the entire dwelling exceeding the height limit. The table also shows an extract from the plans with the height limit shown red.

The height of the building breaches the 8.5m height limit marginally in isolated portions, however, is below the limit for the large majority of the development, as shown above. The following justification as to why strict compliance with the height control is unreasonable in this instance:

The exceedance (ranging from 1.1% to 4%) comprises a small portion of the roofs or upper components
of six of the nineteen lots, being Dwellings 2, 3, 4, 7, 8 and 15 only and not across all dwellings.

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- The section of roof that does not comply relates to the roof of the building, in most instances, relates to
 the solar hot water system on the roof and upper portions of the rooms, not being windows or balconies.
 The small components that exceeds the height limit is within the development and no part of the window
 or balcony exceeds the limit, preventing overlooking.
- The non-compliance results from the slope of the land. When averaged across the site, it can be seen
 that the development is well below the limit in other areas, which is a direct response to the slope of the
 land. The design allows for the use of the land to be maximised whilst responding to the slope.
- The variation results in maximum amenity to future residents of the dwelling. Due to the slope and
 orientation to maximise views, the dwellings have been designed to step down the hill and as such views
 are over the dwelling below and onto its roof.
- The variation allows diversity in residential accommodation in the area. The bulk and scale are acceptable
 despite the non-compliance, with the height breach being virtually imperceptible.
- The slope in the land and well-designed layout achieves maximum efficiency of the site, despite the small non-compliance.
- Landscape design will provide opportunity for screening between dwellings which also assists with reducing privacy impacts and visual bulk of the dwellings.
- The design with a minor height non-compliance does not impact on solar access and the proposed landscaping assists with all amenity requirements being met and exceeded for this development.
- No impacts arise on adjoining properties as a result of the non-compliance, with the areas in question being located internally to the development.
- The objectives of the LEP and zone continue to be achieved despite the minor variation.
- The additional height does not impact on the only adjoining existing dwellings (to the east) due to the
 dwellings with exceedance being away from the existing dwellings.

Clause 4.6 allows Council to grant consent for development where it does not satisfy a development standard.

The objectives of Clause 4.6 are as follows:

"(a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,

(b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances."

The proposed variation to the height control provides for an improved planning outcome with respect to the overall development meeting the above objectives.

Clause 4.3 (2) of LEP 2011 provides that development on the subject land shall not exceed the maximum building height shown on the Height of Buildings Map. The map shows the maximum permissible 'baseline' building height on the subject land to be 8.5m. The elevation plans show that the proposed development has a relatively minor exceedance to the maximum permitted building height, as shown on the plans and table above.

Clause 4.6 (2) of LEP 2011 permits the consent authority to exercise an appropriate degree of flexibility in applying the maximum permissible building height development standard to the proposed development. This written request

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addresses the matters required by Clauses 4.6 of LEP 2011 in order to satisfy the Council and the Director-General that any requirement for the proposed development to strictly comply with the maximum permissible building height development standard is unreasonable or unnecessary in the particular circumstances.

Council is requested to agree to the proposed development's non-compliance with the maximum permissible building height development standard of 8.5m with respect to a portion of the building on Dwellings 2, 3, 4, 7, 8 and 15 only and grant consent to the proposed development with a maximum building height in excess of the controls, having regard to the matters addressed in this request and the minimal extent of the encroachment.

"Is the planning control in question a development standard"?

The 8.5m maximum permissible building height applying to the subject land under Clauses 4.3 of Port Macquarie Hastings LEP 2011 are development standards for the purposes of Clause 4.6 (Exceptions to development standards) and may therefore be varied by the consent authority pursuant to the provisions of Clauses 4.6 (2) - (5) of the LEP.

"What are the underlying objectives or purpose of the development standard"?

The underlying objective or purpose of the maximum permissible building height development standard applicable to the subject land under Clause 4.3 and the proposed development is stated within the objectives to Port Macquarie Hastings LEP 2011 - Clause 4.3 (1) - Height of Buildings, as follows:

- " (a) to ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality,
- (b) to minimise visual impact, disruption of views, loss of privacy and loss of solar access to existing development,
- (c) to minimise the adverse impact of development on heritage conservation areas and heritage items,
- (d) to nominate heights that will provide a transition in built form and land use intensity within the area covered by this Plan."

As can be seen on the building elevations, the proposed development exhibits only a minor variation to the maximum permitted building height. This is principally a reflection of site levels.

The proposed development exhibits a high degree of architectural quality and urban form. The building's proportions have been developed in consideration of its visual impact on the skyline and impacts for adjoining properties. The proposed dwelling design maximises the roof space and provides a superior level of urban design.

The proposed minor building height exceedance does not significantly reduce the opportunity for either the proposed development, or public areas to receive satisfactory exposure to sunlight. Further, the form of the development allows greater exposure to daylight and solar access.

The design height of the proposed development is appropriate in the context of the surrounding residential form and has had regard to the proposed dwellings downslope in this development. A minor departure only is proposed from the 8.5m maximum permissible building height development standard and does not cause significant visual impact and does not adversely impact view corridors from public spaces or adjoining neighbours. The proposed development will not be visually dominant due to the slope of the land and the cut proposed.

"Matters for Consideration by the Director-General".

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Clause 4.6 (4) (b) of Port Macquarie Hastings LEP 2011 requires the concurrence of the Director-General to be obtained for development that contravenes a development standard. Under Clause 4.6 (5), the Director - General is required to consider the following matters in deciding whether to grant concurrence.

"Whether contravention of the development standard raises any matter of significance for State or regional environmental planning".

The proposed development is consistent with State and regional planning policies/strategic directions. Support of the proposed development and the proposed minor exceedance of the applicable maximum permissible building height development standard in this particular case, would not raise any matter of significance for State or regional planning.

"The public benefit of maintaining the development standard".

This report demonstrates that the proposed minor exceedance of the permissible maximum building height development standard does not have adverse scenic/visual impacts, or amenity impacts on either the public domain, or future neighbouring properties. Further, areas of exceedance are located away from adjoining properties. As the proposed building height exceedance is minor, approval of the proposed development will not undermine the maintaining of the maximum building height development standards applicable elsewhere within the zone.

"Any other matters required to be taken into consideration by the Director-General before granting concurrence."

There are no other matters currently specified to be taken into consideration by the Director- General before granting concurrence.

Conclusion

It is considered that any requirement for the proposed development to strictly comply with the applicable 8.5m maximum permissible building height development standard of Clauses 4.3 of Port Macquarie Hastings LEP 2011 would be unreasonable or unnecessary in the particular circumstances as the proposed development is in the public interest as it will facilitate the economically viable redevelopment of the subject land in a manner consistent with the strategic planning objectives for the development of the overall planned development of the area.

Further, the proposed development is consistent with objectives for development within the zone and the proposed development is consistent with the objectives of the maximum building height development standard as expressed in Clause 4.3 (1) of Port Macquarie Hastings LEP.

The particular circumstances relating to the subject land and the proposed development are unique to this application due to the slope at the eastern end and will not lead to similar development applications which would cumulatively undermine the planning objectives for the locality.

The proposed minor exceedance in maximum permissible building height does not significantly increase the bulk and scale of the proposed development, cause any additional view loss from neighbouring properties, or surrounding residential properties or have any significant additional adverse scenic/visual impacts or amenity (privacy/overshadowing) impacts on the public domain. There is a need for the hot water system infrastructure for a dwelling and it is usual for it to be placed on the roof.

There is no public benefit to be derived, or planning purpose to be served, in requiring the proposed development to strictly comply with the applicable maximum permissible building height development standards of LEP 2011. This request demonstrates that there are sufficient environmental planning grounds for the proposed development

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to contravene the maximum permissible building height development standard applying to the subject land under Clauses 4.3 of Port Macquarie Hastings LEP 2011.

Port Macquarie-Hastings Council is therefore requested to exercise its discretion under Clause 4.6 of Port Macquarie Hastings LEP 2011 and approve the proposed exceedance of the applicable maximum building height development standard for the proposed residential development proposed by this application.

(h) Clause 5.10 - Heritage

The site is not mapped as containing a heritage item, archaeological site or aboriginal place of heritage significance.

(i) Clause 6.3 - Development Control Plan

Port Macquarie Hastings Development Control Plan 2013 applies to the site, specifically Chapter 3 relating to 3.2 Low Density Residential Development and 3.6 Subdivision. Refer to the detailed Compliance Table as an Appendix to this SEE.

(j) Clause 7.1 - Acid Sulfate Soils

The site is not mapped as containing acid sulphate soils.

(k) Clause 7.2 – Earthworks

The proposal involves earthworks with respect to the dwelling construction down the slope of the land. Full details will be provided at the construction certificate stage. Due to the nature of the site, there will be a requirement for some cut and fill between dwellings with a number of retaining wall structures proposed, as shown on the dwelling drawings. The proposed cut and fill will not impact upon the environment, adjoining properties or proposed drainage of the site, but rather provides a level building platform.

(I) Clause 7.3 - Flood Planning

The proposed development is contained within flood free area.

(m) Clause 7.5 - Koala habitat

The development site is not identified as koala habitat and the development is contained within the previously approved development footprint which is being cleared as part of the approved subdivision works.

(n) Clause 7.9 - Development subject to Acoustic Controls

The site is not subject to acoustic controls

(o) Clause 7.13 - Essential Services

Clause 7.13 requires Council to be satisfied that essential services are capable of being provided to the site. The site forms part an overall residential subdivision and servicing will have occurred as part of this approval. Sewer and water is available to the site. A Services Plan accompanies this application which details proposed water, stormwater and sewer, and appropriate existing and proposed easements. Preliminary discussions with service providers have not identified an issue with extending the existing nearby services to the proposed lots.

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Development Control Plans

Port Macquarie Hastings DCP 2013

The Port Macquarie Hastings DCP 2013 is applicable to the site and the current proposal. The DCP supports the LEP in providing a range of development criteria for residential areas, urban centres and character areas as well as development criteria relating to environmental and engineering matters.

Our assessment against the controls set out in the Port Macquarie Hastings DCP is provided in the DCP Compliance Table in an Appendix to this report.

Any non-compliance identified with the DCP are justified within the DCP compliance table and are minor in nature, resulting from the characteristics of the site.

5. PLANNING ASSESSMENT

This section will consider the likely impacts of the development; site suitability and public interest in accordance with Section 4.15 (1)(b), (c), (d) and (e).

Assessment of Natural Environmental Impact – Section 4.15 (1)(b)

Topography and Scenic Impacts

Overall, the proposed development is compatible with existing and future surrounding land uses. The site is zoned to allow the proposed development and is located close to the township of Port Macquarie. The proposed design provides a landscaped buffer between the existing dwellings to the east and has had regard to the environmental qualities of the site.

The building process will be managed so to minimise the disruption to the adjoining properties and the environment. The site slopes towards Pacific Drive and as such dwelling designs have been included which demonstrate that dwellings and adequate areas of private open space and vehicular access can be accommodated on the site notwithstanding the slope.

Micro-Climate Impacts

The proposal will not impact on micro-climates.

Water & Air Quality Impact

The site is not flood affected and water is available to the site as part of the approved residential subdivision and can be extended to accommodate the additional lots.

A Services Plan accompanies this application which details proposed water, stormwater and sewer, and appropriate existing and proposed easements to ensure all lots can legally drain to the street.

During construction, some noise and vibration is likely to be created however construction activities will be short term and will only occur during those hours permitted by the Council and as represented in the development permit. The operational noise levels from the proposal will not be out character with the future intent of the precinct. The development has been designed (materials, setbacks etc) to minimise any impacts on existing residents of the area. It is considered there will be no ongoing air issues pertaining to the proposed development.

When the development is completed, air pollution caused by the operation of the development is not expected to be significant nor create any long term impacts.

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Stormwater Assessment has been prepared to provide information on stormwater quality and quantity control and addresses the pre and post development scenarios for the development. A copy of the report accompanies this application. The proposed development includes bio retention ponds and swales in the MHE common areas and individual tanks on each site is likely.

Soils

As previously assessed, the site is unlikely to include any contaminated soil (or other contaminating agents) based on the site's land use history and the site is suitable for the construction of the proposal. Disturbance to insitu soils on site will be minimised by undertaking all erosion and sediment control practices during construction in accordance with "NSW Department of Housing - Managing Urban Stormwater, Soils & Construction" 2004 (Blue Book). Post construction of residential development, all pervious surfaces will be vegetated by landscaping or turfing/grass seeding until established.

Assessment of Built Environment Impacts - 4.15 (1)(b)

Impact on the Area's Character

The proposal is of benefit to the surrounding area as it proposes a positive development of high quality design that will improve surveillance and safety of the precinct. Overall, the proposed development is compatible with existing and future surrounding land uses, which is residential. The site is zoned for residential purposes and is located within an established residential area. The proposed subdivision design will retain a high level of amenity of the subject and surrounding sites including in respect of solar access, views, privacy and noise levels. Consideration has been given to the existing adjoining dwellings and new landscaping and fencing will be provided along boundaries where not currently in place to ensure a delineation of boundaries and to ensure the amenity is protected for existing and proposed residents. The design of the dwellings, courtyards and landscaping are consistent with that in the immediate area. The aim of this development is to provide high quality luxury homes with lifts, generous living areas, highly sought-after expansive view and finishes which are in keeping with the surrounding dwellings. This is reflected in the design.

Appropriate mitigation will be undertaken during construction and operation to preserve the amenity of surrounding land uses. The site does not exhibit any characteristics which would preclude the development from proceeding.

Aural & Visual Privacy Impact

As described above, the proposed development has been designed in such a way to maximise visual and acoustic privacy by minimising direct views between primary indoor and outdoor living area of adjoining dwellings. Good separation has been provided to the existing allotments adjoining the development. This combined with the future landscaping will enhance the visual appearance of the development whilst assisting with minimising amenity impacts from the new dwellings. Horizontal louvered screens are provided on the balconies of attached dwellings to prevent overlooking.

With regards to the scale and character of the proposed development, the proposed allotments accommodate dwellings which are consistent with the desired and nearby residential subdivisions. The proposed form of housing is clearly evident within the residential areas of Port Macquarie. On a regional scale, the development is consistent with the existing pattern of development being within an existing residential area.

The proposed subdivision layout will exhibit a positive visual outcome for the area achieved through planning and design and landscaping. The variety of site sizes and likely future dwelling types will allow for diversity within the estate. The proposed landscaping and fencing will be consistent throughout the site and have been designed to

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create a consistent feel and distinct character for the unique site. The proposed subdivision layout ensures the orderly use of the land through the provision of a mix of dwelling forms and sufficient private and public open space. The size, shape and orientation of individual allotments and the proposed dwellings create visual interest and providing opportunities for passive surveillance.

Fencing and landscaping within the development will soften the appearance of built form, contribute to the creation of a high amenity environment, provide for pleasant views to and from the site and enhance the vegetated character of the locale. A concept landscape plan has been developed to ensure that screen planting is provided between dwellings. The proposed landscaping will also assist in screening the proposed retaining walls and the detailed Construction Certificate design of the retaining walls may result in terracing in conjunction with landscaping to reduce the overall height of the walls from indicated on the dwelling plans.

The density and scale are commensurate with the existing character of Port Macquarie. The proposed subdivision is a permissible use in the zoning under the LEP and supports the residential development of the site. The proposed landscaping will soften the overall appearance of the future dwellings as well as providing pleasant landscaped areas and pedestrian pathways for the residents. The proposed species have been selected from suitable low-water-use native planting list, with a view for low-water usage and low landscape maintenance requirements.

The proposal ensures that principles of Crime Prevention Through Environmental Design is incorporated into the overall design of the allotments, pathways and common open space to provide passive surveillance, inhibit hiding or enclosed spaces and landscaping to provide an attractive streetscape without compromising safety and security.

Impact on Sunlight Access

Due to the slope of the site down to Pacific Drive, overshadowing of the road is expected.

View Impacts

The slope of the land allows for the dwellings to look over Pacific Drive downslope.

Environmentally Sustainable Development

The proposal incorporates passive solar design principles, which will allow for the dwelling to enjoy levels of thermal comfort and to minimise the reliance on mechanical ventilation, heating and cooling.

Waste Management

The development will provide appropriate best practice facilities for removal of waste. Adequate room is available within the lots for waste storage. The lots will be serviced by Council's contractors.

Assessment of the Site Suitability – Section 4.15 (1)(c)

Proximity to Services & Infrastructure

All services are available to the site as part of the original subdivision and will be extended to the proposed allotments. The demands of the development on utility supplies are reasonable given the urban context and the availability and location of all required servicing. All installations will meet the requirements of Council, Australian Standards and the Building Code of Australia.

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Traffic, Parking & Access

A complying number of parking spaces are proposed on-site for each dwelling, as outlined in the DCP assessment. Access to the site is proposed to the existing Pacific Drive. These existing roads will service the dwellings. It is anticipated that the road network within the area will have sufficient capacity and as such, the proposed development is satisfactory in terms of access and traffic generation.

The Traffic Impact Assessment submitted with the original application has been updated to reflect the new number of dwellings and the summary states:

- "The proposed 46 lot development will generate 414 daily trips and 42 peak hour trips.
- The existing traffic volumes on Pacific Drive, in the vicinity of the development, are 7000 vehicles per day, and 710 during peak times. This is expected to grow at a rate of approximately 1% p.a. for the next 10 years (when the development is completed and fully occupied).
- Peak traffic times in the vicinity of the development were observed to be 7:45 8:45am and 4:30 5:30pm
- The site will have direct access from Pacific Drive via a proposed channelised intersection.
- The existing Pacific Drive carriageway has sufficient width to construct a line-marked, channelised intersection with minimal changes to the existing infrastructure.
- The proposed intersection will have adequate sight distance in both directions to provide safe access to and from the development site with minimal impact on through traffic."

Based on the assessment, the additional three dwellings does not result in the need for additional works beyond that approved under DA 2017/1049. As such, no new traffic works or conditions of consent are required, with all works in the road being undertaken as part of the underlying consent.

Hazards

The subject land is not identified as flood affected nor does it contain acid sulfate soils.

The subject land is identified as bushfire prone and a Bushfire Hazard Assessment accompanies this application which recommends asset protection zones, water provision, landscaping principals and driveway construction details.

Overall Suitability

The site is considered to be suitable for a new housing estate as it is located in an existing residential area and is a cleared area with no unmanageable constraints. The proposal is suitable for the subject land and provides additional housing stock. The proposal is a permissible land use and has been designed to complement the character locality. There are no hazardous land uses or activities nearby and the site is well appointed with respect to public transport.

The proposed development is considered to be compatible with the future desired character of the surrounding area and the R1 zoning for housing. The site is primarily cleared of vegetation and does not contain constraints which preclude development. The slope of the land has been addressed through the design of the dwellings. The proposed built form is an anticipated form of development envisioned in the LEP controls for the locality.

Submissions made in accordance with the Act or Regulations – Section 4.15 (1)(d)

Port Macquarie Hastings Council as the Consent authority will consider any submissions received in response to the public exhibition of the proposed development after lodgement of the Development Application. Following the notification period, any issues of public interest will be known and can be considered and addressed.

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The Public Interest - Section 4.15 (1)(e)

It is considered there are no matters of public interest pertaining to the proposal which will facilitate the orderly and efficient use of land within the area which has been zoned for residential accommodation. The proposal provides an opportunity for more choice of housing in the market. The subdivision and development of the site will improve the supply of housing in the Port Macquarie region, in accordance with the regional strategies.

The proposed housing form is proposed to accommodate market demands from a particular sector of the market. Overall, the proposal provides positive social, economic and environmental outcomes that will positively contribute to Port Macquarie and the overall Port Macquarie region. All environmental impacts are able to be sufficiently mitigated to minimise disturbance to surrounding land uses.

The proposal is therefore considered to be in the general interest of the public and will not conflict with the character or amenity of the surrounding region. The proposal is considered within the public interest as it will assist with housing shortage issues and housing targets as a result of increasing populations in the locality. In view of the above, it is considered that development of the site as proposed would create public benefit.

There are no known Federal and/or State Government policy statements and/or strategies other than those discussed in this report that are of relevance to this particular development proposal.

The proposed development is unlikely to result in any adverse social or economic effects in the locality. The proposal has been designed to respect the surrounding built form and amenity of residents.

It is considered the proposal is in the public interest and of benefit to both Port Macquarie and the wider region.

6. CONCLUSION

This application has been considered against the relevant provisions of the Section 4.15 of the Environmental Planning and Assessment Act, 1979 including relevant State Environmental Planning Policies, Port Macquarie-Hastings Local Environmental Plan 2011 and Port Macquarie-Hastings Development Control Plan 2013 and the proposed development is consistent with legislation and Council's controls.

The site is currently zoned R1 General Residential under the Port Macquarie Hastings LEP 2011, which allows the proposed residential subdivision and dwellings with consent. The subject site is located within an existing residential area and has a subdivision consent already in place. The proposed development layout is in keeping with the existing residential character of the area and the site constraints have been resolved within the design. The likely impacts have been considered and found to be satisfactory and the site is suitable for the proposed development and the proposal is in the public interest. On balance, a good planning outcome has been achieved. No unmanageable issues were identified in relation to transport, visual and acoustic privacy, heritage, flooding, bushfire, flora and fauna or the provision of utilities. The development is proposed on the cleared or disturbed portion of site, in an area zoned for residential purposes.

The comprehensive assessment undertaken has found the following:

- The layout and design of the proposal responds to the site conditions, taking into consideration the site
 topography/ height limits, the current and future character and scale of the surrounding residential area.
- The proposal includes landscape provisions to enhance the visual amenity of the site and integrate the
 proposed development into the site and surrounding area and assist in providing screening and a high
 level of amenity for all future residents.

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- The minor variation to the height limit is discernible and will not adversely impact upon the bulk and scale
 of the development or amenity.
- The proposed development of the site has been assessed and informed by a team of specialist
 consultants including Architecture, Building Code Australia, Civil Engineering, Landscaping and Town
 Planning advice. The supporting reports and plans are included with the application and conclude the
 proposal is appropriate for the site.

On this basis, it is considered that the proposal is consistent with the relevant objectives and provisions of applicable planning instruments and suitable for the site and will have minimal negative impact. For all of the above reasons, in our opinion, the proposal is an appropriate development for the subject site and we seek Council's support for this application.

7. APPENDICIES

- A. Integrated Lot Layout Plan
- B. Integrated Lot Layout Plan with Dwellings
- C. Services Plan
- D. Dwellings 2 to 20 Updated to include height limit
- E. Nathers Dwellings 2 to 20 & Combined
- F. BASIX Certificate
- G. Bushfire Report
- H. Traffic Impact Assessment
- I. Development Control Plan Compliance Table

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Bushfire Assessment Report

Proposed: Residential Development

At:
Lot 2 DP 1188545 /
Pacific Drive,
Port Macquarie NSW

Reference Number: 200335

Prepared For:

Transit Hill Estate Pty Ltd

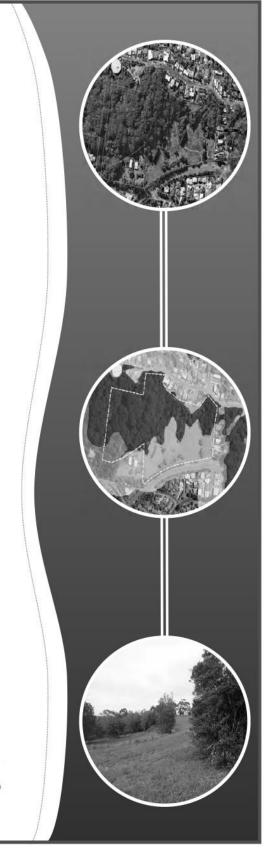
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This report has been prepared as a submission document in support of a development application to Council and in instances may rely upon information provided by a number of external sources including Councils, State Government Agencies and it is assumed that the information provided was accurate at the time. This report cannot be relied upon for commencement of works or construction until such time as it has been endorsed or otherwise included within the consent conditions issued by Council as part of the DA determination.

4.14 applications (under the Environmental Planning and Assessment Act 1979) and all infill development applications <u>may</u> be referred by Council to the NSW Rural Fire Service for review and concurrence during the DA process. S100B applications under the Rural Fires Act 1997 (subdivisions and Special Fire Protection Purpose Developments), Flame Zone determinations and Alternate Solutions <u>must</u> be referred by Council to the NSW Rural Fire Service for review and receipt of a Bushfire Safety Authority (BSA) or other such recommended conditions from the NSW Rural Fire Service before the consent can be granted.

The onus is on the applicant to cross reference this document with any conditions of consent issued by Council or any requirements supplied by the NSW Rural Fire Service following development approval. BCBHS can review and cross reference these documents however the onus is on the applicant to provide them to us and request this review — Building Code and Bushfire Hazard Solutions Pty. Ltd. is not in a position to track every DA through Council and we rely upon the applicant to undertake this role as project co-ordinator.

Where any discrepancy between this document and the development approval or the NSW Rural Fire Service requirements is found, the conditions of consent always take precedence until such time as an application to review, amend or vary these conditions is approved.

Disclaimer:

This report has been prepared with due care and diligence by Building Code and Bushfire Hazard Solutions Pty. Ltd and the statements and opinions contained in this report are given in good faith and in the belief on reasonable grounds that such statements and opinions are correct and not misleading bearing in mind the necessary limitations noted in previous paragraphs.

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List of Abbreviations:

APZ Asset Protection Zone

AS3959 Australian Standard 3959 – 2009 as amended.

BAL Bushfire Attack Level

BPMs Bushfire Protection Measures

BPLM Bushfire Prone Land Map

Council Port Macquarie-Hastings

DA Development Application

EP&A Act Environmental Planning and Assessment Act - 1979

ESD Ecologically Sustainable Development

FRNSW Fire & Rescue NSW

IPA Inner Protection Area

NCC National Construction Code

NP National Park

NSP Neighbourhood Safer Places

OPA Outer Protection Area

PBP Planning for Bush Fire Protection – 2006

ROW Right of Way

RF Act Rural Fires Act - 1997

RFS NSW Rural Fire Service

SEPP State Environmental Planning Policy

SFPP Special Fire Protection Purpose

SWS Static Water Supply

1.0 Introduction

The development proposal relates to the subdivision of seventeen (17) recently approved residential allotments and the construction of a dwelling within each of the proposed new allotments. The proposal will result in the creation of nineteen (19) new residential allotments and nineteen (19) new dwellings.

The subject site comprises of approved Lots 101-117 in DA 2017-1049, which involved the creation of thirty-five (35) new residential allotments, one (1) community allotment with no building entitlement, and the construction of associated infrastructure at Lot 2 Pacific Drive, Port Macquarie (Lot 2 DP 1188545).

The previous subdivision (DA 2017-1049) was assessed and approved under Planning for Bush Fire Protection 2006 by the NSW Rural Fire Service (RFS ref: D17/4556, dated 3 December 2018).

The subject site has street frontage to Pacific Drive to the south and Orr Street to the north and abuts neighbouring private residential allotments to the north and east and the balance of the approved subdivision to the west.

Port Macquarie-Hastings's Bushfire Prone Land Map identifies that the subject site contains designated Category 2 Vegetation and its associated buffer zone. As the subject site is identified as being bushfire prone Planning for Bush Fire Protection 2006 must be applied.

2.0 Purpose of Report

The purpose of this Bushfire Assessment Report is to provide the owners, the Rural Fire Service and Council with an independent bushfire hazard determination together with appropriate recommendations for both new building construction and bushfire mitigation measures considered necessary having regard to construction within a designated 'bushfire prone' area.

The recommendations contained within this report may assist in forming the basis of any specific construction conditions and/or bushfire mitigation measures that Council and/or the NSW Rural Fire Service may elect to place within any consent conditions issued for the subject Development Application.

3.0 Scope of this Report

The scope of this report is limited to providing a bushfire hazard assessment and recommendations for the subject site. Where reference has been made to the surrounding lands, this report does not purport to directly assess those lands; rather it may discuss bushfire impact and/or progression through those lands and possible bushfire impact to the subject site.

4.0 Referenced Documents and Persons

Comments provided are based on the requirements of the NSW Environmental Planning and Assessment Act 1979 (EP&A Act), the Rural Fires Act 1997, the Rural Fires Regulation 2013, the RFS document known as 'Planning for Bush Fire Protection – 2006' for the purposes of bushfire hazard determination and Australian Standard 3959 – 2009 titled 'Construction of buildings in bushfire-prone areas' as amended for building/structural provisions.

A company representative has made a site inspection of the subject property and surrounding area. The Proposed Integrated Lot Layout and Overall Site Plan With Dwellings plans prepared by Land Dynamics Australia (job no 5222, dwg no's 0001 & 0002, rev A, dated 12.12.2019) have been relied upon for this assessment.

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5.0 Compliance Tables & Notes

The following tables sets out the projects compliance with *Planning for Bush Fire Protection – 2006* for residential subdivision as dictated by Appendix 2 Planning for Bush Fire Protection 2006.

Lots 2-20:

	North	East	South	Northwest
Vegetation Structure	Rainforest	Forest	n/a	Forest
Vegetation Width	100 metres	100 metres	n/a	100 metres
FDI	80	80	n/a	80
Slope	>10 degrees up	5 - 10 degrees down	n/a	>15 degrees up
Required Asset Protection Zone	9 metres*	30 metres	n/a	12 metres*
Proposed Asset Protection Zone	≥9 metres	>50 metres	n/a	>19 metres
Significant Environmental Features	Proposed perimeter fire trail	Neighbouring residential allotments / Pacific Drive	Pacific Drive	Proposed perimeter fire trail
Threatened Species	Not Known By Others	Not Known By Others	Not Known By Others	Not Known By Others
Aboriginal Relics	Not Known By Others	Not Known By Others	Not Known By Others	Not Known By Others
Bushfire Attack Level (AS3959)	BAL 29*	BAL 19	BAL Low	BAL 29

^{*} The minimum required Asset Protection Zones to the north and northwest were determined from bushfire design modelling (attached) consistent with Appendix 2 of PBP. To ensure no future dwelling would exceed BAL 29, the AS3959 fuel loads as described in Table B2 of AS3959 – 2009 have been used. As a further redundancy an across slope was used to the north regardless of the recorded >10 degree upslope.

Asset Protection Zones Compliance

The minimum required Asset Protection Zones were determined from Table A2.5 of Planning for Bush Fire Protection 2006 (PBP) or bushfire design modelling (attached) consistent with Appendix 2 of PBP.

The subject development demonstrates compliance with the minimum required Asset Protection Zones under PBP. The available APZs consist of grounds within the subject property, the approved fire trail, Pacific Drive and neighbouring private residential allotments.

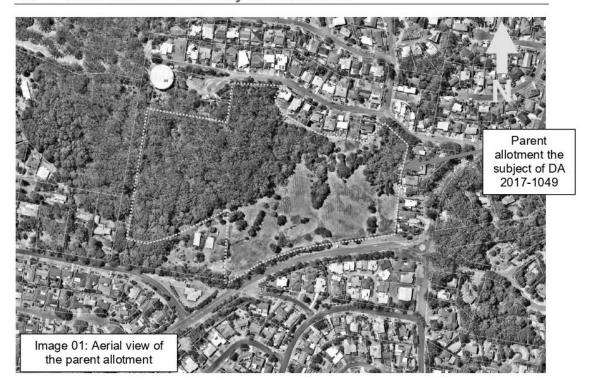
Construction Level Compliance

The Asset Protection Zones have been provided to ensure that no new dwelling will exceed BAL 29 construction under AS3959 – 2009. Refer to the attached BAL Overlay for the relevant Bushfire Attack Level for the proposed dwellings.

Access and Services

Guideline Ref.	Proposed Development Determinations		
	The subject site has street frontage to Pacific Drive to the south and Orr Street to the north.		
Public Roads The approved subdivision (DA 2017-1049) includes an internal road including a perimeter fire trail, which will be accessed from Pacific Driv south. The approved internal road system will not be modified as par application.			
Water Supply	Hydrants are available along Pacific Drive and surrounding public roads for the replenishment of attending fire services. The hydrant system will be extended to service the proposed residential allotments along the new internal road and perimeter fire trail. The sizing, spacing and pressures of this system must comply with AS2419.1-2005.		
Electricity Services	Where possible new transmission lines should be underground.		
Evacuation	Evacuation will be possible by utilising existing and approved road infrastructure.		

6.0 Aerial view of the subject allotment



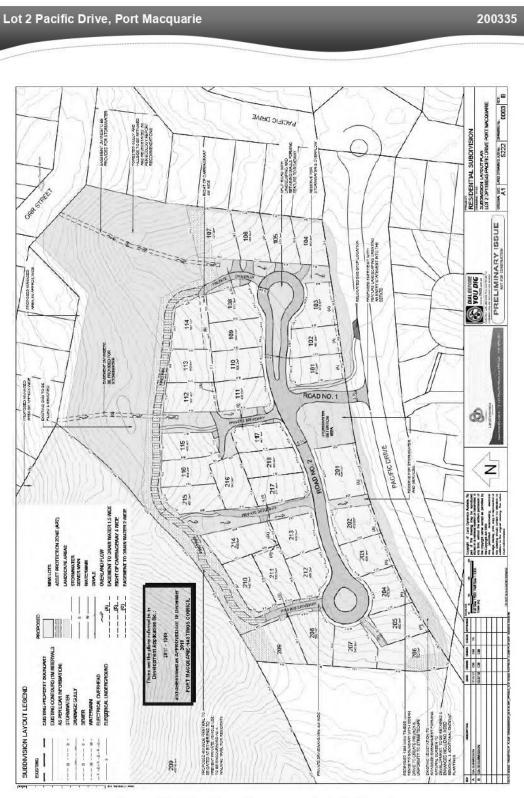


Image 02: Extract from the approved subdivision plan

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7.0 Bushfire Hazard Assessment

7.01 Preface

Properties considered to be affected by possible bushfire impact are determined from the local Bushfire Prone Land Map as prepared by Council and or the Rural Fire Service. All property development within affected areas is subject to the conditions detailed in the document 'Planning for Bush Fire Protection - 2006' (PBP). Set back distances for the purpose of creating Asset Protection Zones (APZ's) must be applied and any buildings must then conform to corresponding regulations detailed in Australian Standard 3959 – 2009 'Construction of buildings in bushfire prone areas'.

Planning for Bush Fire Protection – 2006, (PBP) formally adopted on the 1st March 2007 and amended May 2010 (Appendix 3) provides for the protection of property and life (including fire-fighters and emergency service personnel) from bushfire impact.

The thrust of the document is to ensure that developers of new properties or sub-divisions include the constraints associated with the construction of buildings in bushfire prone areas within their proposed development sites. PBP is applicable to proposed development inside determined Category 1 or 2 areas and also inside a buffer zone radius of 100m from a Category 1 bushfire area or 30m from a Category 2 bushfire area.

The document also acknowledges 'infill' developments associated with re-development of existing properties and allows some higher levels of building safety where the increased 'set backs' (APZ's) may not be achievable.

The subject development relates to the subdivision of seventeen (17) approved allotments for residential purposes. To accord with PBP the subdivision is classified as integrated development and assessed as a 100B application under the Rural Fires Act 1997.

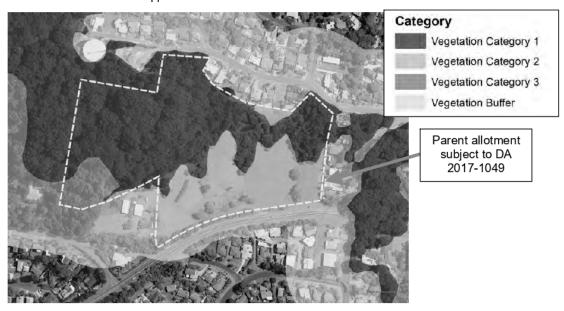


Image 04: Extract from Port Macquarie-Hastings's Bushfire Prone Land Map

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7.02 Location

The subject site comprises of approved Lots 101-117 in DA 2017-1049, which involved the creation of thirty-five (35) new residential allotments, one (1) community allotment with no building entitlement, and the construction of associated infrastructure at Lot 2 Pacific Drive, Port Macquarie (Lot 2 DP 1188545).

Approved Lots 101-117 are zoned 'R1 – Low General Residential' and located within Port Macquarie-Hastings local government area.

The subject site has street frontage to Pacific Drive to the south and Orr Street to the north and abuts neighbouring private residential allotments to the north and east and the balance of the approved subdivision to the west.



Photograph 01: View north from Pacific Drive toward the subject site

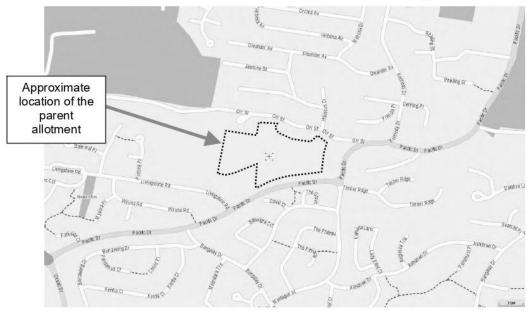


Image 05: Extract from street-directory.com.au

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7.03 Vegetation

The subject site was found to comprise of grazed / slashed pastures on the lower slopes and native bushland on the higher slopes, with the exception of some maintained buffers adjacent the residential allotments along Orr Street.

We have been provided vegetation mapping (overleaf) which was prepared by JB Enviro for the vegetation communities within the subject site.

The surrounding neighbouring private residential allotments were largely found to comprise of maintained lawns and gardens.

The vegetation identified as posing a bushfire hazard to the proposed building envelopes is located within approved Lot 209 to the northwest, the approved community allotment to the north and east beyond Pacific Drive.

The vegetation posing a hazard to the northwest within approved Lot 209 was determined to be Forest (Wet Sclerophyll Forests). To ensure no future dwelling will exceed BAL 29, the fuel load of 25t/ha surface and 35t/ha for Forest as described in AS3959 was used to calculate the minimum required APZs for DA 2017-1049. It should be noted that these fuel loads exceed that described in PBP for Wet Sclerophyll Forests.

The vegetation posing a hazard to the north within the community allotment has been mapped as Rainforest and we have used this structure to determine the minimum required Asset Protection Zones. To ensure no future dwelling will exceed BAL 29, the fuel load of 10t/ha surface and 12t/ha for Rainforest as described in AS3959 has been used to calculate the minimum required APZs. It should be noted that these fuel loads exceed that described in PBP for Rainforest.

The vegetation posing a hazard to the east, beyond Pacific Drive, was found to have an effective size of less than a hectare however as some of the current maintained land is located in a vacant allotment and unformed road reserve (zoned RE1 – Public Recreation and E4 – Environmental Living respectively) the ongoing management is not considered reliable and therefore for the purpose of this assessment we have assessed this vegetation as a Forest (Wet Sclerophyll Forests) hazard.

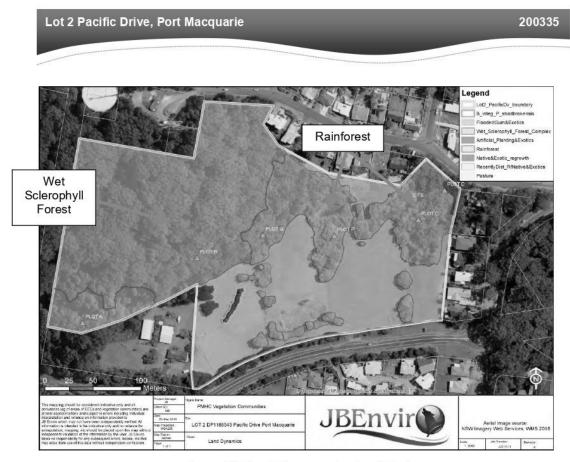
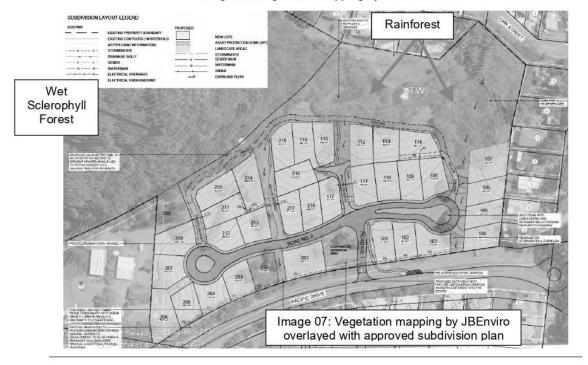


Image 06: Vegetation mapping by JBEnviro



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7.04 Slope and Topography

The slope that would most significantly affect bushfire behaviour must be assessed for at least 100 metres from within the bushfire hazards. The subject site is located on the southern side of Transit Hill and has a moderate to steep upslope from south to north.

The slope that would most significantly influence bushfire behaviour was determined onsite using an inclinometer and verified from surveyed contour data to be:

- > >10 degrees up slope within the hazard to the north
- > 5 10 degrees down slope within the hazard to the east
- >15 degrees up slope within the hazard to the northwest

Note: As a further redundancy an across slope was used for the northern hazard in the bushfire design modelling regardless of the recorded >10 degree upslope.

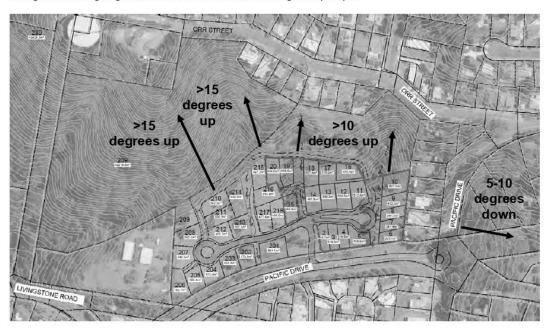


Image 08: Extract from the subdivision plan showing 1m contours

7.05 Asset Protection Zones

The minimum required Asset Protection Zone to the east was determined from Table A2.5 of PBP to be 30 metres. The available APZ to this aspect was found to be >50 metres and achieved completely external to the subject site, comprising of existing developed residential allotments and Pacific Drive.

The minimum required Asset Protection Zones to the north and northwest were determined from bushfire design modelling (attached) consistent with Appendix 2 of PBP. To ensure no new dwelling will exceed BAL 29 the higher fuels loads described in Table B2 of AS3959 – 2009 were used in the bushfire design modelling. The minimum required APZs were calculated to be 9 metres to the north and 12 metres to the northwest.

The minimum required APZs to the northeast have already been enforced by the parent subdivision and comprise of the approved perimeter fire trail and maintained grounds within proposed residential allotments.

All proposed residential allotments accommodate a building footprint exceeding the minimum required Asset Protection Zone for Residential Subdivisions under Appendix 2 of PBP.

The Asset Protection Zones (APZ) for the proposed subdivision are shown on the Overall Site Plan with Dwellings prepared by Land Dynamics Australia (job no 5222, dwg no 0002, rev A, dated 12.12.2019).

The minimum required APZs have already been enforced within the parent subdivision DA 2017-1049 and this proposal remains consistent with that approval.

7.06 Fire Fighting Water Supply

Hydrants are available along Pacific Drive, Orr Street and surrounding public roads for the replenishment of attending fire services. The hydrant system will be extended along the approved internal roads and perimeter fire trail to service the proposed residential allotments and attending fire services. The sizing, spacing and pressures of this system must comply with AS2419.1-2005.

7.07 Property Access – Fire Services & Evacuation

The subject site has street frontage to Pacific Drive to the south and Orr Street to the north.

The parent subdivision includes an internal road system, including a perimeter fire trail, which will be accessed from Pacific Drive to the south.

The internal road system will not be modified from that already approved as part of DA 2017-1049.

Comprehensive access to the bushfire hazards is available via Pacific Drive, Orr Street, Livingstone Road, Timber Ridge and existing service trails off Orr Street for attending fire services undertaking fire suppression or hazard reduction activities.

This access will be further enhanced as a result of the approved internal road system which includes the provision of a perimeter fire trail.

8.0 Site & Bushfire Hazard Determination

8.01 Planning for Bush Fire Protection - 2006

Planning for Bush Fire Protection – 2006 (PBP) is applicable to those lands determined as being within a 'bushfire prone area' in accordance with a local Bushfire Prone Land Map as provided by the Rural Fire Service and Council.

The most appropriate method of determining site bushfire hazard under the terms of PBP is to consider the site in a singular form.

Bushfire prone areas are defined as those areas;

- · containing or within 100m of Category 1 Vegetation; or
- containing or within 30m of Category 2 or 3 Vegetation.

8.02 Australian Standard AS 3959 – 2009 'Construction of buildings in bushfire –prone areas'

Australian Standard 3959 – 2009 'Construction of buildings in bushfire-prone areas' provides for six (6) levels of building construction these being BAL - Low, BAL - 12.5, BAL - 19, BAL - 29, BAL - 40 and BAL - FZ. The Australian Standard 3959 specifies construction standards for buildings within various Bushfire Attack Levels as determined by the Planning for Bush Fire Protection – 2006 document. The NSW Rural Fire Service will not accept deemed to satisfy provisions for BAL Flame Zone and therefore have a NSW variation to the listed standard provisions of BAL FZ under AS3959 - 2009.

8.03 Correlation between bushfire impact and AS3959

Bushfire Attack Level	Maximum radiant heat impact (kW/m²)	Level of construction under AS3959-2009
Low		No special construction requirements
12.5	≤12.5	BAL - 12.5
19	12.6 to 19.0	BAL - 19
29	19.1 to 29.0	BAL - 29
40	29.1 to 40.0	BAL - 40
Flame Zone	>40.0	BAL FZ No deemed to satisfy provisions

8.04 Site Specific Bushfire Hazard Determination

All property development must be assessed on an individual basis as broad-brush approaches of documents such as PBP may not be applicable in every instance. The proposed development located at Lot 2 Pacific Drive, Port Macquarie was assessed against the requirements of Planning for Bush Fire Protection 2006 noting the following:

- a) Approved water supplies and access provisions will comply with PBP 2006.
- b) The proposed development will result in a lower bushfire threat to the surrounding residential allotments.
- Requirements to maintain the Asset Protection Zones within the subject site have already been enforced through DA 2017-1049.

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8.05 Viable Construction Method

The objectives of Planning for Bush Fire Protection – 2006 are for the protection of life including fire fighters. Provided these objectives can be met the construction of buildings is feasible and both the Rural Fire Service and Council should be in a position to consider such applications.

The Asset Protection Zones have been provided to ensure that no new dwelling will exceed BAL 29 construction under AS3959 – 2009. Refer to the attached BAL Overlay for the relevant Bushfire Attack Level for the proposed dwellings.

9.0 Recommendations

The following recommendations are provided as the minimum necessary for compliance with Planning for Bush Fire Protection – 2006 and Australian Standard 3959 'Construction of buildings in bushfire-prone areas - 2009.

Asset Protection Zones

- 1. A restriction to the land use pursuant to section 88B of the Conveyancing Act 1919 shall be placed on all residential lots within the subdivision that are impacted by the asset protection zones (APZ) as identified on the Overall Site Plan with Dwellings prepared by Land Dynamics Australia (job no 5222, dwg no 0002, rev A, dated 12.12.2019). This instrument shall prohibit the construction of buildings other than class 10 structures within the asset protection zones (APZ). The name of the authority empowered to release, vary or modify the instruments shall be Port Macquarie Hastings Council.
- All APZs shall be managed as an Inner Protection Area as outlined within section 4.1.3 and Appendix 5 of Planning for Bush Fire Protection 2006 and the NSW Rural Fire Service's document Standards for asset protection zones.
- 3. That any new landscaping is to comply with Appendix 5 'Landscaping and Property Maintenance' under Planing for Bushfire Protection 2006.

Construction

- 4. That any future dwelling be construction to the relevant Bushfire Attack Level (BAL) under Australian Standard 3959 'Construction of buildings in bushfire-prone areas' 2009 as depicted on the attached Bushfire Attack Level overlay (attachment 02).
- 5. That any future dwelling required to be constructed to a BAL under AS3959 2009 must also be constructed to the 'Additional Construction Requirements' detailed in the addendum to Appendix 3 of Planning for Bush Fire Protection.

Services

6. That electricity and gas are to comply with section 4.1.3 of Planning for Bush Fire Protection 2006. The following are the requirements for the relevant services.

Electricity:

- Where practicable, electrical transmission lines are underground.
- Where overhead electrical transmission lines are proposed:
 - lines are installed with short pole spacing (30 metres), unless crossing gullies, gorges or riparian areas; and
 - no part of a tree is closer to a power line than the distance set out in accordance with the specifications in 'Vegetation Safety Clearances' issued by Energy Australia (NS179, April 2002).

<u>Gas:</u>

- Reticulated or bottled gas is installed and maintained in accordance with AS 1596 and the requirements of relevant authorities.
- · Metal piping is to be used.
- All fixed gas cylinders are kept clear of all flammable materials to a distance of 10 metres and shielded on the hazard side of the installation.
- If gas cylinders need to be kept close to the building, the release valves are
 directed away from the building and at least 2 metres away from any
 combustible material, so that they do not act as a catalyst to combustion.
 Connections to and from gas cylinders are metal.
- Polymer sheathed flexible gas supply lines to gas meters adjacent to buildings are not used.

10.0 Conclusion

Given that the property is deemed bushfire prone under Port Macquarie-Hastings's Bushfire Prone Land Map any development would need to meet the requirements of Planning for Bush Fire Protection - 2006 and of the construction requirements of Australian Standard 3959 'Construction of buildings in bushfire-prone areas - 2009 are applicable.

The development proposal relates to the subdivision of seventeen (17) recently approved residential allotments and the construction of a dwelling within each of the proposed new allotments. The proposal will result in the creation of nineteen (19) new residential allotments and nineteen (19) new dwellings.

The subject site comprises of approved Lots 101-117 in DA 2017-1049, which involved the creation of thirty-five (35) new residential allotments, one (1) community allotment with no building entitlement, and the construction of associated infrastructure at Lot 2 Pacific Drive, Port Macquarie (Lot 2 DP 1188545).

The previous subdivision (DA 2017-1049) was assessed and approved under Planning for Bush Fire Protection 2006 by the NSW Rural Fire Service (RFS ref: D17/4556, dated 3 December 2018).

The vegetation identified as posing a bushfire hazard to the proposed residential allotments is located within the approved Lot 209 to the northwest, the approved community allotment to the north and east beyond Pacific Drive.

The minimum required Asset Protection Zone to the east was determined from Table A2.5 of Planning for Bush Fire Protection 2006 (PBP). The minimum required Asset Protection Zones to the north and northwest were determined from bushfire design modelling (attached) consistent with Appendix 2 of PBP.

The proposed Asset Protection Zones have been increased to ensure that no new dwelling will exceed BAL 29 construction under AS3959 - 2009. All proposed residential allotments can accommodate a building footprint exceeding the minimum required Asset Protection Zones for Residential Subdivisions under Appendix 2 of PBP.

The approved water supply and access provisions are considered adequate and will not be altered as part of this development.

In accordance with the bushfire safety measures contained in this report, and consideration of the site specific bushfire risk assessment it is our opinion that when combined, they will provide a reasonable and satisfactory level of bushfire protection to the subject development.

We are therefore in support of the development application.

Should you have any enquiries regarding this project please contact me at our office.

Prepared by

Building Code & Bushfire Hazard Solutions

Stuart McMonnies

Manager - Bushfire Section

G. D. Design in Bushfire Prone Areas.
Certificate IV Fire Technology
Fire Protection Association of Australia BPAD – L3 Accredited Practitioner
Accreditation number – BPAD9400

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11.0 Annexure 01

List of Referenced Documents

- a) Environmental Planning and Assessment Act 1979
- b) Rural Fires Act 1997 as amended
- c) Rural Fires Regulation 2013
- d) 'Planning for Bush Fire Protection'- 2006 NSW Rural Fire Services &

Planning NSW

e) 'Construction of buildings in bushfire prone areas' - AS 3959 – 2009 (as -

amended) – Standards Australia

f) 'Port Macquarie-Hastings's Bushfire Prone Land Map'

g) Acknowledgements to:

NSW Department of Lands - SixMaps

Street-directory.com.au

NearMap.com

- h) Proposed Integrated Lot Layout and Overall Site Plan With Dwellings plans prepared by Land Dynamics Australia (job no 5222, dwg no's 0001 & 0002, rev A, dated 12.12.2019)
- Vegetation Communities Mapping by JB Enviro, job no J2017-11, rev A, dated 05-Mar-2018

Attachments

Attachment 01: Bushfire Design Modelling

Attachment 02: BAL Overlay

Attachment 03: s4.14 Compliance Certificate



NBC Bushfire Attack Assessment Report V2.1

AS3959 (2009) Appendix B - Detailed Method 2

Print Date: 17/01/2020 Assessment Date: 17/01/2020

Site Street Address: Lot 2 Pacific Drive, Port Macquarie

Assessor: Stuart McMonnies; Building Code & Bushfire Hazard Solutions Pty Ltd

Local Government Area: Port Macquarie-Hastings Alpine Area: No

Equations Used

Transmissivity: Fuss and Hammins, 2002

Flame Length: RFS PBP, 2001 Rate of Fire Spread: Noble et al., 1980

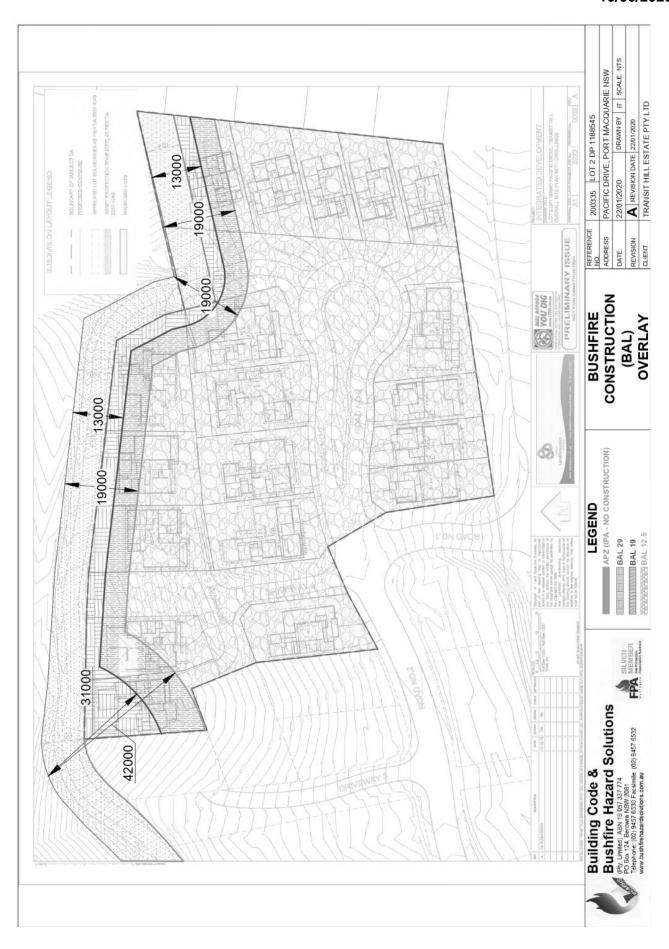
Radiant Heat: Drysdale, 1985; Sullivan et al., 2003; Tan et al., 2005

Peak Elevation of Receiver: Tan et al., 2005

Peak Flame Angle: Tan et al., 2005

Run Description:	North			
Vegetation Informati	<u>on</u>			
Vegetation Type:	Rainforest	Vegetation Group:	Forest	and Woodland
Vegetation Slope:	0 Degrees	Vegetation Slope Type:	Upslop	oe e
Surface Fuel Load(t/ha) : 10	Overall Fuel Load(t/ha):	12	
Site Information				
Site Slope	0 Degrees	Site Slope Type:	Upslop	oe
Elevation of Receiver(r	m) Default	APZ/Separation(m):	9	
Fire Inputs				
Veg./Flame Width(m):	100	Flame Temp(K)	1090	
Calculation Paramete	<u>ers</u>			
Flame Emissivity:	95	Relative Humidity(%):	25	
Heat of Combustion(kJ	/ kg 18600	Ambient Temp(K):	308	
Moisture Factor:	5	FDI:	80	
Program Outputs				
Category of Attack:	HIGH	Peak Elevation of Receiver(m): 3.48		3.48
Level of Construction:	BAL 29	Fire Intensity(kW/m):		5952
Radiant Heat(kW/m2):	28.31	Flame Angle (degrees):		65
Flame Length(m):	7.68	Maximum View Factor:		0.426
Rate Of Spread (km/h): 0.96		Inner Protection Area(m):		9
Transmissivity:	0.874	Outer Protection Area(n	1):	0

Run Description:	Northwest		
Vegetation Informati	<u>on</u>		
Vegetation Type:	Forest	Vegetation Group:	Forest and Woodland
Vegetation Slope:	15 Degrees	Vegetation Slope Type:	Upslope
Surface Fuel Load(t/ha) : 25	Overall Fuel Load(t/ha):	35
Site Information			
Site Slope	15 Degrees	Site Slope Type:	Upslope
Elevation of Receiver(r	m) Default	APZ/Separation(m):	12
Fire Inputs			
Veg./Flame Width(m):	100	Flame Temp(K)	1090
Calculation Paramete	ers ers		
Flame Emissivity:	95	Relative Humidity(%):	25
Heat of Combustion(kJ	/kg 18600	Ambient Temp(K):	308
Moisture Factor:	5	FDI:	80
Program Outputs			
Category of Attack:	HIGH	Peak Elevation of Recei	ver(m): 7.22
Level of Construction:	BAL 29	Fire Intensity(kW/m):	15417
Radiant Heat(kW/m2):	29	Flame Angle (degrees):	53
Flame Length(m):	9.74	Maximum View Factor:	0.441
Rate Of Spread (km/h):	0.85	Inner Protection Area(m): 8
Transmissivity:	0.866	Outer Protection Area(n	n): 4





Building Code & Bushfire Hazard Solutions

(Pty. Limited) ABN 19 057 337 774 PO Box 124, Berowra NSW 2081 Telephone: (02) 9457 6530 Facsimile: (02) 9457 6532 www.bushfirehazardsolutions.com.au



BUSHFIRE RISK ASSESSMENT CERTIFICATE UNDER PART 4 DIVISION 4.3 SECTION 4.14 OF THE EP&A ACT 1979 NO 203

PROPERTY ADDRESS:	LOT 2 DP 1188545 PACIFIC DRIVE, PORT MACQUARIE NSW		
DESCRIPTION OF PROPOSAL:	RESIDENTIAL SUBDIVISION		
PLAN REFERENCE: (relied upon in report preparation)	Proposed Integrated Lot Layout and Overall Site Plan With Dwellings plans prepared by Land Dynamics Australia (job no 5222, dwg no's 0001 & 0002, rev A, dated 12.12.2019)		
BAL RATING:	BAL 29 (If the BAL rating is FZ the application is to be referred to NSW RFS for assessment)		
DOES THE PROPOSAL RELY ON ALTERNATE SOLUTIONS:	YES NO (Circle the relevant response) (If YES the application is to be referred to NSW RFS for assessment)		
BUSHFIRE ASSESSMENT REPORT REFERENCE:	200335		
REPORT DATE:	22 nd January 2020		
CERTIFICATION NO/ACCREDITED SCHEME	BPAD9400		

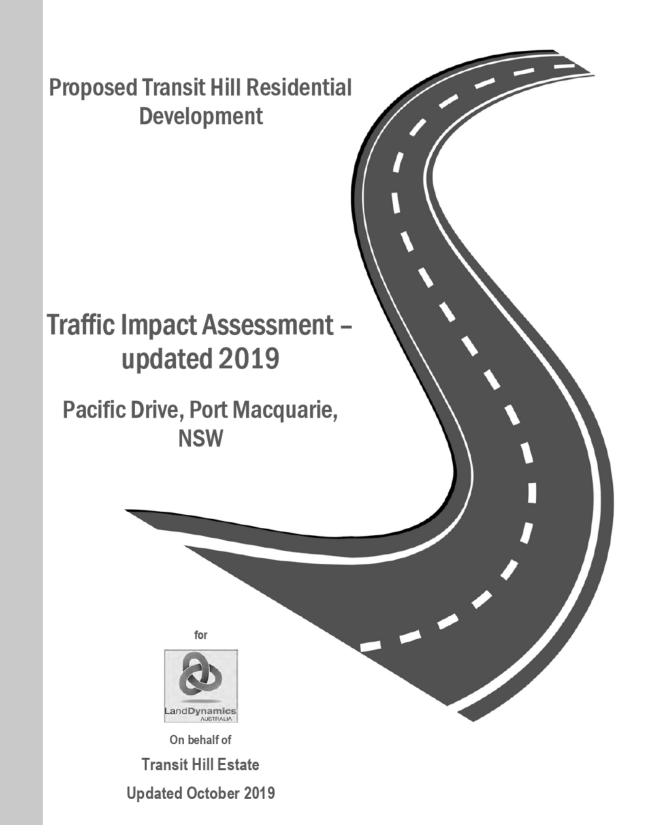
I Stuart McMonnies of Building Code and Bushfire Hazard Solutions Pty Ltd hereby certify, in accordance with Part 4 Division 4.3 Section 4.14 of the *Environmental Planning and Assessment Act 1979 No 203*:

- That I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment; and
- 2. That subject to the recommendations contained in the Bushfire Risk Assessment Report the proposed development conforms specifications and requirements of the documents entitled *Planning for Bush Fire Protection* prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other documents as prescribed by Part 4 Division 4.3 Section 4.14 of the *Environmental Planning and Assessment Act 1979 No 203*.

I am aware that the Bushfire Assessment Report, prepared for the above mentioned site is to be submitted in support of a development application for this site and will be relied upon by Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with *Planning for Bushfire Protection 2006*.

Signature:

Date: 22nd January 2020



Traffic Impact Assessment Details

Generic Document No.				
Edition / Revision No.	1	2	3	
Event				
Document Status	Internal Review	Final for Approval	Updated report	
Prepared By	Andy Davis Director	Andy Davis Director	Andy Davis Director	
Reviewed By	Craig Nethery Director	Craig Nethery Director	Craig Nethery Director Cattletee	
Date	14 Nov 2017	15 Nov 2017	03 Oct 2019	
Internal Review Completed By / Date				

StreetWise Road Safety & traffic Services Pty Ltd

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Transit Hill Estate TIA Pacific Drive, Port Macquarie, NSW Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

1. INTRODUCTION

1.1 General

StreetWise Road Safety and Traffic Services have been engaged to prepare a Traffic Impact Assessment and report for a proposed residential development at Lighthouse Beach, approximately 5kms east of the Port Macquarie CBD. The proposed development is described as Lot 2 DP 1188545, and is located on a vacant lot of land on the northern side of Pacific Drive.

<u>2019</u>: The layout of the development has been amended in 2019, and this report has been updated to reflect the increased number of lots to be developed.

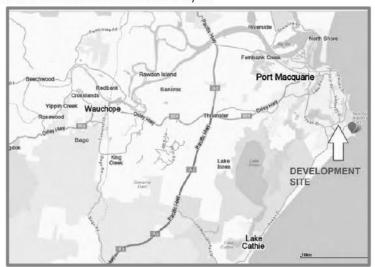


Figure 1 - Locality Plan

1.2 Scope

This traffic impact assessment of the proposed Lighthouse Beach residential development, includes:

- Completion of a Site Inspection
- Complete an AM & PM Peak Manual Intersection Count for the future intersection with Pacific Drive
- · Liaise / Consult with Port Macquarie Hastings Council
- Assess the traffic impacts including:
 - Determine Traffic Generation (Construction traffic)
 - Determine Traffic Generation (Fully completed and occupied development)
 - Distribute Traffic Assignment (Fully completed and occupied development)
 - Intersection / Access Sight Distance Assessment
 - Intersection / Access Design Assessment
- Determine the impacts of the additional traffic on the local network and adjacent intersections
- Development of Intersection / Access Concept Layout, including Swept Turnpath Assessment
- Preparation of Traffic Impact Assessment Report Location of Project
- · Prepare concept intersection layouts at Pacific Drive, if required
- · Review internal roadways, if required
- Check access and internal vehicle turn paths, if required
- Prepare a Traffic Impact Assessment report in accordance with the RMS Guide to Traffic Generating Developments.
- 2019: Update of report to reflect increased number of lots





Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

1.3 Description of Project

The site of the proposed residential development at Transit Hill is currently vacant grassland, surrounded by established residential estates. The subject site is approximately 10.4 hectares, and bordered by Pacific Drive to the south, Orr Street to the east and Livingstone Road to the west. The lot slopes steeply upwards from Pacific Drive towards Transit hill, where the higher sections are covered by dense bushland and mature trees, which border the northern boundary of the site.

The proposed development involves construction of roads, stormwater and others infrastructure to service a proposed 41 residential lots. The preliminary plans indicate an internal loop road within the development will be connected to Pacific Drive via a proposed intersection. The internal road will provide access to the proposed lots.

2019: The number of proposed lots has been increased from 41 to 46



Figure 1.2 – Proposed Development Layout (updated 2019)

2. ROAD NETWORK

2.1 Local Road Network

The proposed development site is located approximately 5kms south of the township of Port Macquarie. Access to the site is proposed via an intersection off Pacific Drive, which then links with a number of major roads in the south of Port Macquarie including Kennedy Drive and Ocean Drive (see Figure 2.2).

Pacific Drive, which runs along the southern boundary of the proposed site, is a collector road which connects Ocean Drive (to the south) with the Port Macquarie CBD via the coastline. In the vicinity of the development, Pacific Drive is generally 12m wide, with one lane in either direction, sealed shoulders and concrete dishdrains on both sides. The width of the existing sealed shoulder varies across the frontage of the site, with concrete blisters forming a bus bay on either side of Pacific Drive (see Figure 2.1 below).





Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

Pacific Drive continues to the north, along Port Macquarie's main beaches, into the Port Macquarie CBD. This route is generally known as a 'tourist' road, and carries large volumes during peak holiday times.

Pacific Drive intersects with Kennedy Drive just north of the proposed development. Kennedy Drive also connects traffic with the Port Macquarie CBD, but is generally wider and more direct that the coastal section of Pacific Drive.

To the south of the development, Pacific Drive joins with Ocean Drive, which is the region's main north-south collector/tourist road. Ocean Drive connects the Lighthouse Beach area with Camden Haven in the south and the Port Macquarie CBD and industrial area to the north. Ocean Drive also connects with the Oxley Highway, Hastings River Drive and further to the Pacific Highway.



Figure 2.1: Looking south on Pacific Drive, at the location of proposed intersection

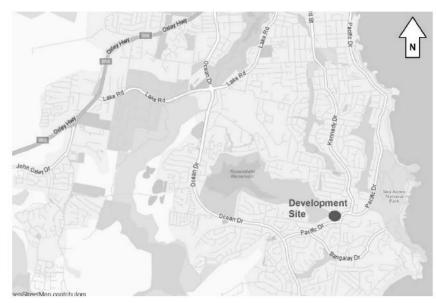


Figure 2.3: Existing local road network



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Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

2.2 Intersections

Pacific Drive intersects with Livingstone Road immediately to the south of the development site at a channelised T-intersection. A few hundred metres further south, Pacific Drive joins Ocean Drive at a large roundabout. This intersection will be further upgraded as part of the planned Ocean Drive duplication.

To the north of the site, Pacific Drive intersects with Timber Ridge and Waterview Close (previous Cathie Road) at a small, single lane roundabout.

2.3 Local Bus Routes

Port Macquarie company, Busways, provides bus services in the Lighthouse Beach area. A number of local and inter-town bus routes, including school services, utilise Pacific Drive. There is an existing bus stop in Pacific Drive, less than 100m from the proposed intersection.

3. TRAFFIC VOLUMES

3.1 Existing Traffic Volumes

StreetWise undertook a manual traffic count on Pacific Drive, in the vicinity of the proposed development. The results of the count are tabulated in Appendix B, at the back of this report. The morning peak hour occurred between 7:45 – 8:45am, while the afternoon peak occurred between 4:30 & 5:0pm.

The total vehicles during the morning peak hour was 710, with a significantly larger number (490) heading northbound towards the Port Macquarie CBD. The highest hourly southbound volume was 229vph.

The afternoon peak hour saw 350 vehicles southbound and 270 vehicles northbound, for a peak hour total of 620.

If we average the two peak hours total volumes, and multiply by 10, we can approximate the daily volumes in Pacific Drive (6650vpd). This corresponds closely with recent advice from Council's Traffic Engineer indicated that volumes on the adjacent section of Pacific Drive (between Orr St & Waterview Close) was recorded as 7000 vpd in February 2017

3.2 Future Traffic Volumes

An annual growth factor of 1% has been adopted by StreetWise for the purposes of this assessment. This will result in daily volumes on Pacific Drive increasing to around 7350 by the year 2027, when the proposed development is likely to be completed and fully occupied.

3.3 Development Generated Volumes

The applicant proposes to create 41 new lots within the subject residential development. According to Council's Guidelines, a standard sized residence in the Hastings area generates an average 9 vehicle trips per day, or 0.9 trips per peak hour.

	2017	2019	Change
Proposed number of lots	41	46	+5
Av trips per residence	9	9	-
Total trips per day	369	414	+45
Total trips per peak hr	37	42	+5



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Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

<u>2019</u>: The above table has been adjusted to show the increased number of lots resulting from the updated development layout (see Figure 1.2).

3.4 Trip Assignment

For the purposes of this assessment, the following assumptions have been adopted, based on existing movements in the area, and the popular local destinations (schools, shops, Port Macquarie CBD, Pacific Highway) etc:

- It is likely the ratio of movements in and out of the future development will be split 50/50 from
 the north and the south on Pacific Drive. To the north of the development, Port Macquarie
 CBD is likely to be the biggest attractor, along with schools, beaches, sporting venues etc.
 To the south, the major attractions are likely to be Lighthouse Beach and Emerald Downs
 shopping centres, Lighthouse Beach schools, Ocean Drive etc.
- Peak hour movements will generally be split 60:40 i.e. 60% and 40% during the morning peak, and the reverse situation in the evening

Accordingly, the additional traffic movements to be generated by the proposed development at peak times are shown in Figure 3.1 below. A slight adjustment has been made to allow for southbound vehicles which may choose to turn left out of the intersection, then utilise the nearby roundabout at Cathie Road, rather than wait for gaps in peak hour traffic to turn right at the future intersection.

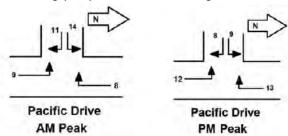


Figure 3.1: Estimated peak hour vehicle trips generated by development (updated 2019)

The majority of the generated vehicle movements will be light vehicles i.e. the percentage of heavy vehicles is likely to be less than 3%.

Figure 3.2 below shows the estimated peak hour movements in and out of the completed development, and the 2027 traffic volumes on Pacific Drive, using a 1% per annum growth factor.

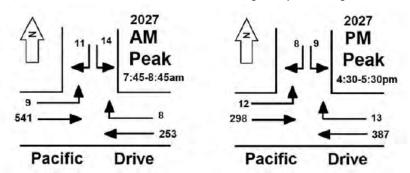


Figure 3.2: Estimated peak hour volumes – 2027 (updated)



Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

3.5 Development impacts on local road network

As discussed in Section 3.4 above, the proposed development will generate an average of 414 trips per day, including approximately 427 additional trips during morning and afternoon peak times. These volumes are relatively low, and will have minimal impact on the local road network.

According to Table 1.5 from Council's Auspec Guidelines (D0.1 Geometric Road Design), Pacific Drive conforms with description 'collector road', and therefore has capacity to cater for up to 6000 vehicles per day.

As discussed previously, the manual traffic count undertaken by StreetWise as part of this assessment, resulted in total volumes of 710 in the morning peak hour, and 620 during the afternoon peak hour. These figures indicate an existing daily volume of over 6000 vehicles is currently occurring, and likely to increase by 1% per annum over the next 10 years.

However, the Austroads Guide to Traffic management (Part 3: Traffic Studies and Analysis) indicates that a single lane within a 60kmh zone can cater for 900 vehicles per hour per lane, and still maintain a Level of Service of 'C'. Based on the Austroads Guide, Pacific Drive should therefore be able to cater for up to 1800 vehicles an hour and still maintain a reasonable flow rate.

It was noted during the traffic count that Pacific Drive traffic flowed freely during both the morning and afternoon peak periods, with minimal queuing at either of the two adjacent intersections.

2019: The above data has been updated to reflect increased number of proposed lots (41 to 46)

3.6 Construction traffic

During the construction stage, it is proposed to access the site via the existing driveway off Pacific Drive, near the future intersection. The development will require extensive earthworks, as well as construction of roads, stormwater and other infrastructure. These activities will require delivery of plant, machinery and materials, as well as regular deliveries of concrete, aggregates etc.

The majority of staff commuting, and materials deliveries will generally be before 7:00am, and therefore outside of peak times within the local road network. The volume of deliveries and other movements are likely be relatively low (say less than 10 per hour) and have minimal impact on local traffic movements.

A Construction Traffic Management Plan will generally be required for a major civil project (such as a residential subdivision) which will provide more accurate construction traffic volumes, timing of the construction staging, vehicle movement plans and details of any required traffic control.

4. SITE ACCESS

4.1 Proposed Access

It is proposed to construct an intersection off the western side of Pacific Drive to provide access to the development. The intersection will connect with an internal roadway. At this stage, the development is proposed as a community title development, which means the internal roads will be privately owned, with only the connecting section of road (within the Pacific Drive road reserve) likely to be under Council's future ownership.



Figure 4.1: Looking west at the existing gate and future intersection off Pacific Drive



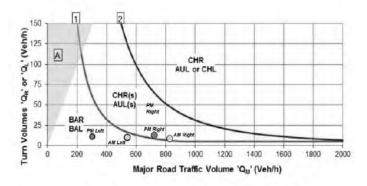
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Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

4.2 Intersection assessment

4.2.1 Intersection Layout

The estimated peak traffic generation from the future residential development are generally low. However, daily and peak hour volumes on Pacific Drive are relatively high, and when applied to the Austroads warrant for intersection upgrade, it is recommended that a short, channelised intersection is required to ensure safe access for right turns to and from the site. Note that a simple BAR intersection will cater for left turns. The diagram is based on 2027 peak hour trips generated by the completed development, and the increased volumes on Pacific Drive (at 1% p.a. growth), as shown in Figure 3.9 below *(updated to show increased lot numbers – 2019).*



(c) Design Speed < 100 km/h

Figure 4.2: Warrant for Intersections: AustRoads Guide to Traffic Management Part 6

The existing Pacific Drive pavement width across the frontage of the proposed development is 12 metres, width adequate width to provide a channelised intersection, as per Figure 4.3 below. The small, channelised intersection will require:

- Removal of existing kerb blisters, extension of kerbs and extend road pavement
- Relocate existing bus bays, if required
- Provide footpath connections to bus bays
- Provision of linemarking to delineate intersection

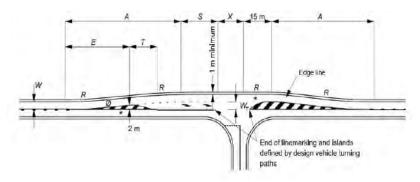


Figure 4.3: Typical CHS Intersection: AustRoads Guide to Road Design - Part 4A





Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

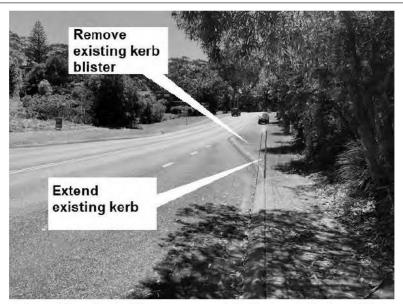


Figure 4.4: Typical diagram – suggested adjustment of kerb and blister

Preliminary discussions with Council indicate general acceptance of the proposed intersection layout and minor adjustment of the existing bus bays, providing the minimum requirements of Austroads and Council guidelines are met.

4.2.2 Intersection Sight Distance

The applicant is proposing to construct an intersection off the western side of Pacific Drive, near the existing low point - approximately 210m north of the existing intersection with Livingstone Road. Sight distance to the south (from Livingstone Road) is approximately 160m. The sight distance is constrained by the curving alignment of the road and a crest. Existing sight distance could be improved by trimming existing trees overhanging the roadway (see Figure 4.3 below).



Figure 4.3: Looking south towards Livingstone Road from the proposed intersection



Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development 10/06/2020

Sight distance to the north (towards Port Macquarie) is approximately 150m. Any vehicle waiting to turn out of the future development is likely to be able to see vehicles turning at the nearby round about at Timber Ridge. Sight distance will be further improved by the removal of trees along the road reserve as part of the future development construction (see Figure 4.4 below).



Figure 4.4: Looking north towards Timber Ridge from the proposed intersection

The existing speed limit is 60kmh. The AustRoads Guide to Road Design: Part 4A – Unsignalised and Signalised Intersections, indicates the following is required (for standard vehicles and a reaction time of 2.5 seconds):

Approach Sight Distance (min requirements) 73m

Safe Intersection Sight Distance (desired) 134m (includes correction for grade)

Therefore, the existing sight distance in either direction is satisfactory to provide safe access to and from the proposed development, with minimal impacts on through traffic on Pacific Drive. It should be noted that vehicles turning right out of the site also have the option of turning left and then utilising the existing Timber Ridge') roundabout.

5. SUMMARY

- The proposed 46 lot development will generate 414 daily trips and 42 peak hour trips.
- The existing traffic volumes on Pacific Drive, in the vicinity of the development, are 7000 vehicles per day, and 710 during peak times. This is expected to grow at a rate of approximately 1% p.a. for the next 10 years (when the development is completed and fully occupied).
- Peak traffic times in the vicinity of the development were observed to be 7:45 8:45am and 4:30 – 5:30pm
- The site will have direct access from Pacific Drive via a proposed channelised intersection.
 The existing Pacific Drive carriageway has sufficient width to construct a line-marked, channelised intersection with minimal changes to the existing infrastructure.
- The proposed intersection will have adequate sight distance in both directions to provide safe access to and from the development site with minimal impact on through traffic.





Transit Hill Estate TIA Pacific Drive, Port Macquarie, NSW Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

6. RECOMMENDATIONS

- Based on the small number of estimated hourly turn movements in and out of the proposed development, construction of a CHS channelised intersection is recommended. There is adequate width within the existing Pacific Drive carriageway to construct the required intersection with minimal civil works required. It is intended that the design and construction of the future intersection layout will conform with the requirements of AustRoads Channelised Right Turn treatment (as per Appendix B). It is understood that any future intersection and roadworks will require the approval of Council.
- Signage should be installed at both approaches to the proposed development access to warn Pacific Drive motorists of potential truck movements during the construction phase.
- The development meets the required guidelines in terms of safe access to the site. The local road network has adequate capacity to cater for the relatively small number of additional vehicle trips to be generated by the development with minimal impacts. Streetwise recommend that there are no traffic-related reasons to reject this development proposal.

7. REFERENCE MATERIAL

Austroads - AGRD04A - 17 Guide to Road Design Part 4A - Unsignalised and Signalised Intersections

Austroads – AGDRD06A – 17 Guide to Road Design Part 6A – Paths for walking and cycling

Austroads - AGRD03 -09 Guide to Road Design Part 3 - Geometric Design

Austroads – AGTM03 – 13 Guide to Traffic Management Part 3 – Traffic Studies and Analysis

RMS – TDT2013/04a – Guide to Traffic Generating Developments – Updated traffic Surveys

RTA – TTR – 002 – 02 – Guide to Traffic Generating Developments





ATTACHMENT

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

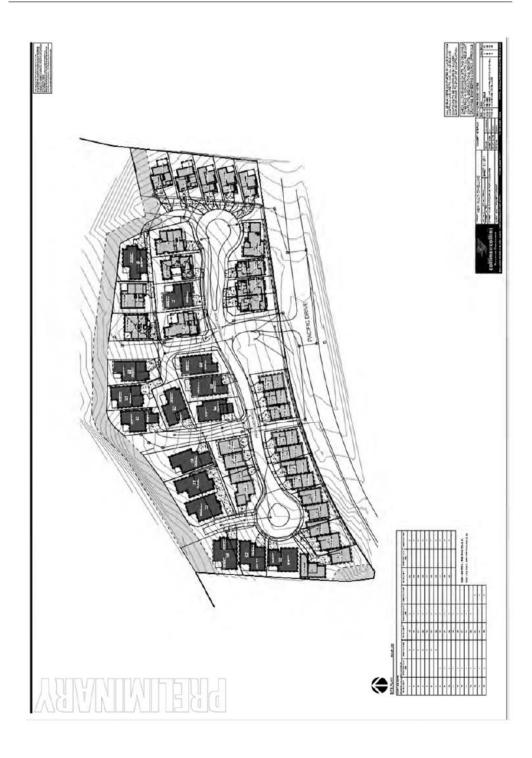
Transit Hill Estate TIA Pacific Drive, Port Macquarie, NSW Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

Appendix A
Proposed Site Plan
- Updated 2019





Transit Hill Estate TIA Pacific Drive, Port Macquarie, NSW Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development







ATTACHMENT

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

Transit Hill Estate TIA Pacific Drive, Port Macquarie, NSW Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

Appendix B
Austroads Channelised Intersection Layout





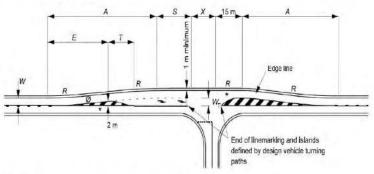
Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

A.5.4 Minimum EDD Channelised Right-turn Treatment for Two-lane Two-way Roadways without Medians

Figure A 3 shows a minimum EDD channelised right-turn treatment for two-lane, two-way roadways without medians.

The primary intent of this treatment is to enable an AUR turn treatment to be linemarked as a CHR turn treatment. This is only possible if full depth pavement exists under the original auxiliary lane and, if required, the shoulder. In this treatment, the through road deviates by the width of the turn lane. The dimensions of the lateral movement length 'A' are deemed suitable for horizontal straights and larger radius horizontal curves. On smaller curves, 'A' will need to be increased above the lengths given in Figure A 3 so that the resulting alignment of the through lane means that a minimal decrease in speed is required for through drivers. To determine whether a minimal decrease in speed is achieved, draw vehicle paths along the through road for the proposed layout and use the operating speed model to calculate the operating speed on each segment. Table A 15 provides dimensions for various terms listed in Figure A 3.

Figure A 3: Minimum extended design domain channelised right-turn treatment for two-lane, two-way roadways without medians



Notes

- Ø Double barrier line should not be used this side of the island.
- "- Diagonal rows of RRPMs within the painted islands should be used to delineate chevrons.
- Diagram shown for a rural intersection layout. The dimensions shown are also suitable for an urban intersection layout which may include bicycle lanes and parking.
- . The dimensions of the treatment are defined as follows. Values of A, R and T are provided in Table A 15.
 - W = Nominal through lane width (m), including widening for curves.
 - W_T = Nominal width of turn lane (m), including widening for curves based on the design turning vehicle = 2.8 m minimum.
 - E = Distance from start of taper to 2.0 m width (m) = $2 \frac{A}{W_T}$
 - S = Storage length (m) is the greater of:
 - the length of one design turning vehicle
 - (calculated car spaces -1) x 8 m (Guide to Traffic Management Part 3: Traffic Studies and Analysis (Austroads 2013e)), or use computer program e.g. aaSIDRA.
 - $T = Physical taper length given by: T = <math>\frac{0.2VW_T}{3.6}$
 - V = Design speed of major road approach (km/h).
 - X = Distance based on design vehicle turning path, refer to Design Vehicles and Turning Path Templates (Austroads 2013f).

Source: Department of Main Roads (2006)44

44 Department of Main Roads (2006) has been superseded and Figure A 3 has not been carried forward into Queensland Department of Transport and Main Roads (2016).



ATTACHMENT

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

Transit Hill Estate TIA Pacific Drive, Port Macquarie, NSW Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development





ATTACHMENT

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

Transit Hill Estate TIA Pacific Drive, Port Macquarie, NSW Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

> Appendix C Traffic Count Results





Tuesday 7 November 2017

Transit Hill Estate TIA Pacific Drive, Port Macquarie, NSW Traffic Impact Assessment – updated 2019 Proposed Transit Hill Residential Development

Til	Time	Northbound	punoc	Southbound	puno	Tota!
7:00	7:15	44		36		
5	7:30	34		31		
00	7:45	81		30		
15	8:00	121	280	45	142	422
00	8:15	117	353	53	159	512
15	8:30	127	446	26	184	630
8:30	8:45	125	490	99	220	710
45	00:6	06	459	54	229	688
00	9:15	85	427	48	224	651

Ţį	Time	Northbound	puno	Southbound	puno	Total
0	3:45	55		71		
2	4:00	69		29		
0	4:15	78		82		
4:15	4:30	51	253	83	303	256
0	4:45	65	263	82	314	577
2	5:00	65	259	73	320	579
0	5:15	74	255	107	345	009
5	5:30	99	270	88	350	620
0	5:45	58	263	75	343	909





Item: 08

Subject: DA2019 - 552.1 STAGED 136 SITE MANUFACTURED HOME ESTATE

AT LOT 10 DP 1250178 NO.11 RESORT RD, KEW

Report Author: Development Assessment Planner, Fiona Tierney

Applicant: ZW2 Pty Ltd
Owner: ZW2 Pty Ltd
Estimated Cost: \$6,358,000
Parcel no: 68549

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA 2019 - 552.1 for a Staged 136 Site Manufactured Housing Estate at Lot 10, DP 1250178, No. 11 Resort Road, Kew, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for a Manufactured Housing Estate at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, two (2) submissions were received.

The proposal has been amended during the assessment of the application. The primary changes made to the proposal include a passing bay on Road No.2, refinements to the layout of the community building layout and carparking and deletion of reference to proposed Area 15 collector road along western boundary.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the attached conditions included as **Attachment 1.**

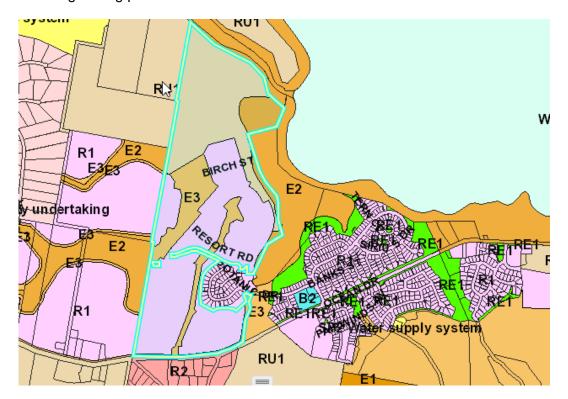
1. BACKGROUND

Existing Sites Features and Surrounding Development

The site has an area of 115.1Ha.



The site is zoned R1 General Residential, RU1 Primary Production, E2 Environmental Conservation and E3 Environmental Management in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The subject site is located on the northern side of Ocean Drive, Kew; bordering onto Lakewood.

The development area is located within the south western corner of the subject site, with frontage to Ocean Drive. The development area has previously been cleared under the Laurieton Residential Resort development consent and Vegetation & Habitat Management Plan.

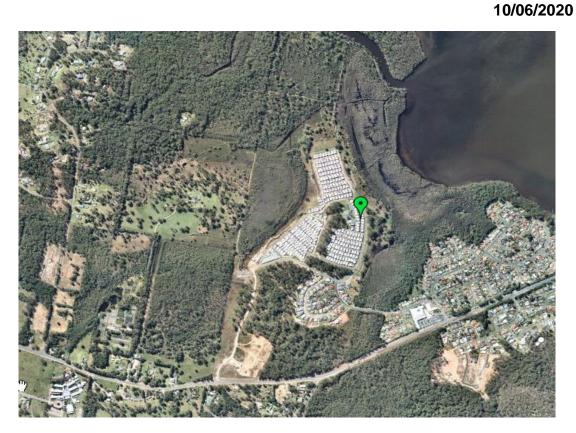
Access to the site is currently provided via the existing construction access from Ocean Drive.

The subject site has a long low ridge running north south, with the foot of the spur ending approximately in the centre of the site. The development area occurs on a gentle and low north west facing slope.

The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photographs:



AGENDA





2. **DESCRIPTION OF DEVELOPMENT**

Key aspects of the proposal include the following:

- 136 Manufactured Home sites staged.Stage 1 Lots 1 to 118



AGENDA

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

- Stage 2 Lots 119 to 136
- Site Office
- Multi-purpose room
- Community Centre
- Swimming Pool
- Bocce Green
- Signage
- Access Roads
- Servicing
- Landscaping
- · Relocation of the existing right of carriageway

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

Application Chronology

- 9 August 2019 Application lodged.
- 22 August 2019 to 20 September 2019 Neighbour notification.
- 26 August 2019 Additional information received intersection.
- 5 September 2019 Request to vary existing Planning Agreement (VPA) from applicant.
- 23 September 2019 Response from Natural Resource Access Regulator (NRAR) - No requirements for Activity Approval.
- 25 October 2019 Request additional information Stormwater.
- 21 November 2019 Comments received Roads and Maritime Services.
- 22 November 2019 Additional information request from Rural Fire Service.
- 25 November 2019 Request to vary VPA not supported.
- 19 February 2020 Additional information submitted by Applicant.
- 24 February 2020 Additional information submitted by Applicant.
- 12 May 2020 Determination received Rural Fire Service

3. STATUTORY ASSESSMENT

Section 4.15(1) Matters for Consideration

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

State Environmental Planning Policy No. 21 - Caravan Parks

The proposal is not for a caravan park under this SEPP. The proposal is for a manufactured home estate with the following SEPP 36 being applicable to consider.

State Environmental Planning Policy No. 36 - Manufactured Home Estates

The aims of this policy and comments are provided below:



a) to facilitate the establishment of manufactured home estates as a contemporary form of medium density residential development that provides an alternative to traditional housing arrangements, and

Comment(s): Manufactured Home Estates are considered a contemporary form of medium density housing. The proposed development will provide an alternative to traditional housing.

(b) to provide immediate development opportunities for manufactured home estates on the commencement of this Policy, and

Comments: This policy was gazetted and commenced on 16 July 1993.

(c) to encourage the provision of affordable housing in well designed estates, and

Comment(s): The proposal will provide a form of alternative residential housing in a specifically designed estate. Adequate provision has been made for on-site facilities, services and open space above minimum standards of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.

(d) to ensure that manufactured home estates are situated only in suitable locations and not on land having important resources or having landscape, scenic or ecological qualities that should be preserved, and

Comment(s): Assessment of the proposal having regard to landscape, scenic and in particular ecological qualities have concluded the site suitable for the proposed development.

(e) to ensure that manufactured home estates are adequately serviced and have access to essential community facilities and services; and

Comment(s): The proposed development will be capable of being serviced by adequate infrastructure including reticulated water and sewer facilities. The proposal will provide a number of community facilities within the estate and access to social and health services is readily available from the site.

(f) to protect the environment surrounding manufactured home estates, and

Comment(s): Measures have been incorporated into the design of the estate to provide adequate protection to the environment within and surrounding the proposed estate. Additional measures have been incorporated into the design in response to comments from statutory authorities.

(g) to provide measures which will facilitate security of tenure for residents of manufactured home estates.

Comment(s): Tenure is largely secured through the large upfront capital required to establish supporting infrastructure. Conditions of consent have been recommended to require community and recreational facilities to be provided up front and before occupation of any sites particularly noting the Staging of the proposal. Tenancy agreements are the other means for tenure security for future residents.

The proposed development is considered consistent with the aims of this policy.



<u>Clause 6 - Where development for the purposes of a manufactured home estate may</u> be carried out

Clause 6 of this policy provides where development for the purposes of a manufactured home estate maybe carried out.

The proposed development is permissible with the consent of Council pursuant to clause 6. In particular, the subject clause allows a manufactured home estate on land where a 'caravan park' is permissible. The R1 residential zoning of the subject land permits 'caravan parks' with development consent. In addition, the proposed development is not subject to any of the excluded areas contained in Schedule 2 of the SEPP.

<u>Clause 7 - Development consent required for manufactured home estates</u>

Clause 7(1) provides that development for the purposes of a manufactured home estate permitted to be carried out by this Policy may be carried out only with the development consent of the Council.

Comment(s): Noted. This Development Application is seeking development consent.

Clause 7(2) provides that a Council must not consent to any such development unless it imposes, as a condition of the consent, a requirement that an approval to operate a manufactured home estate on the land on which the development is to be carried out must be obtained under Part 1 of Chapter 7 of the Local Government Act 1993.

Comment(s): Noted. A suitable condition is recommended in this regard.

Clause 7(3) provides that nothing in this Policy requires a separate development consent to authorise the placing of each manufactured home within a manufactured home estate.

Comment(s): Noted. The installation or construction of a dwellings on individual manufactured home sites will not require separate development consent.

Clause 8 - Subdivision of manufactured home estates

- (1) Land on which development for the purposes of a manufactured home estate may be lawfully carried out (whether or not because of a development consent granted pursuant to this Policy) may be subdivided:
 - (a) under section 289K of the Local Government Act 1919 for lease purposes, or
 - (b) under the Community Land Development Act 1989,
 - only with the development consent of the council.
- (2) A Council must not grant a development consent for such a subdivision if any of the lots intended to be created by the proposed subdivision would contravene a requirement of the Local Government (Manufactured Home Estates) Transitional Regulation 1993.



- (3) Any prohibition or restriction on the subdivision of land imposed by any other environmental planning instrument (whether made before or after this Policy) does not apply to such a subdivision.
- (4) This Policy does not allow the subdivision of land within a Crown reserve.

Comment(s): No subdivision of the MHE for lease or community title purposes is proposed with the subject development application.

Clause 9 - Matters to be considered by Councils

Clause 9(1) provides that Council may grant development consent for the purposes of a manufactured home estate only if it satisfied:

- (a) That each of the sites on which a manufactured home is or will be installed within the manufactured home is or will be installed within the manufactured home estate is or will be adequately provided with reticulated water, a reticulated sewerage system, drainage and electricity, and
 - Comment(s): Each of the proposed sites within the proposed estate are capable of being serviced by reticulated water, reticulated sewer, drainage and electricity services. Appropriate conditions are recommended in this regard.
- (b) that the manufactured home estate is or will be provided with adequate transport services, and
 - Comments(s): The road network provided to and within the estate is considered appropriate for the proposed development. Existing transport services are available to the site.
- (c) that sufficient community facilities and services, whether situated within or outside the estate, are or will be available and reasonably accessible to the residents of the manufactured home estate, and
- 5. Comment(s): A range of community facilities are proposed within the estate, which will be directly available and accessible to the residents within the estate. The community facilities proposed include a clubhouse, swimming pool, multipurpose room and bocce green. Existing services and transport are available to the site.
- 6.
- (d) that the development will not have an adverse effect on any:
 - conservation area
 - heritage item
 - waterway or land having special landscape, scenic or ecological qualities, which is identified in an environmental planning instrument applicable to the land concerned.

Comment(s): The proposed development will not have any identifiable adverse impacts on any of the above.

Clause 9(2) provides that Council may grant development consent for the purposes of a manufactured home estate only after it has considered the following:



(a) the cumulative impact of the proposed development and other manufactured home estates in the locality,

Comments: An assessment of the proposed development, supporting documentation and legislative provisions suggests that there will be no adverse cumulative impact on the locality or other manufactured home estates in the area to warrant recommending refusing consent to the DA. The MHE is run in conjunction with the existing MHE on the site.

8.

(b) any relevant guidelines issued by the Director,

Comment(s): No relevant guidelines identified.

10

(c) the provisions of the Local Government (Manufactured Home Estates)
Transitional Regulation 1993.

11.

Comment(s): The above Regulation has since been repealed. The Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 is the current Regulation applicable. A detailed checklist of compliance with the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 is provided below:

Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.

It is noted the Development Application was accompanied by a section 82(1) objection under the Local Government Act 1993. Specifically seeking an exemption to clause 41 of this regulation which requires manufactured homes to be constructed and assembled onsite.

The relevant parts of the regulation are addressed below in the following table:

CLAUSE	REQUIREMENT (in summary)	COMMENT/COMPLIANCE	
Division 1 App	plication of Part		
Clause 1-4	No specific requirements only information on the legislation in terms of operation, definitions etc	Noted	
5 Application of Part	This part applies to both the operation of the manufactured home estate and the installation of the home itself.	Noted	
Division 2 Approvals and exemptions			
6 Factors for consideration before approval is granted	(1) Council must be satisfied that the estate will be designed in accordance with Division 3; and (2) Council must have regard to the Floodplain Development	(1) The proposed development has been designed in accordance with Division 3, refer to comments in Division 3; (2) Consultation has been	



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	Manual.	undertaken with Council's Flooding Engineer as part of the site is mapped as flood prone land. The works are proposed well clear of the flood areas and no specific conditions are proposed.
7 Matters to be specified in approval	Any approval must specify the number, size and location of the dwelling sites.	For consideration with the application for approval to operate.
8 Conditions of approval	The approval must be conditioned to ensure the design, construction, maintenance and operation of the estate is in accordance with Division 3.	For consideration with the application for approval to operate
9 Conditional exemption	 (1) Council approval is not required for: (a) the installation of a home within the estate, so long as it is designed, constructed and installed in accordance with Division 4 and is only occupied after certificate of completion is issued; or (b) the associated structure is designed, constructed and installed in accordance with Division 4. (2) This exemption applies only of the installation is carried out by the operator of the estate. (3) This exemption does not apply to the installation of a home on flood liable land. (4) This exemption does not apply for homes or associated structures of more than one storey. 	For consideration with the application for approval to operate
10 Installation on flood liable land	(1) Council must have regard to the Floodplain Development Manual.	(1) As detailed above part of the site is mapped as flood prone land. However, the works are proposed to the southern part of the site and well clear of any flood prone land.
	(2) The home must be designed, constructed and installed in	(2) Noted.



	accordance with Division 4.	
11 Installation of manufactured home or associated structure of more than one storey	Council assessment must have regard to the amenity of the adjoining occupiers.	For consideration with the application for approval to operate. The plans provided indicate the dwellings will be of single storey construction.
Division 3 Mai	nufactured home estates	
12 Minimum size of estate	Estate must have an area of not less than 1 hectare.	Complies - area is greater than 1Ha.
13 Community amenities	(1) 10% of total area of estate must be reserved for recreation or other communal activities.(2) If lesser proportion, Council must have regard to the type and range of amenities proposed.	Approximately 12.6% of the site (as amended) during assessment is available for recreational or communal activities which is in excess of the 10% minimum standard.
14 Size of dwelling sites	A dwelling site must have an area of at least 130m ² .	Complies – All proposed site have areas exceeding 130m². Minimum site area is 221m2 to 348m².
15 Site identification	(1) Dwelling site to be numbered with clearly identified boundaries.(2) Site identification must be conspicuous.	Complies – Each of the dwelling sites will be clearly numbered.
16 Dwelling sites to have road frontage	A dwelling site must have vehicular access to a road.	Complies – all proposed dwelling sites have frontage to a road
17 Setbacks of community buildings	 (1) Not to be located closer than 10m to boundary of estate and dwelling sites. (2) Any lesser distance to satisfy Council that building has been properly screened, fenced, enclosed or otherwise treated. (3) Must not in any case be closer than 2m to any boundary. 	The community facility buildings are to be setback greater than 10m from boundaries of the site.
18 Setbacks of dwelling sites from road	(1) No closer than 10m to a public road or 3m to any other boundary unless approved.	All dwelling sites are located greater than 10m from a public road and 3m from any other property boundary. To



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frontages	(2) Any lesser distance to satisfy Council that the dwelling site has been properly screened, fenced, enclosed or otherwise treated.	be confirmed prior to approval to operate.
19 Use of	Buffer zones can be used for:	Complies.
buffer zones	(a) community amenities, access roads, car parking, footpaths or landscaping, or	
	(b) or any similar purpose.	
20 Entrance and exit	(1) Entrance to or exit from estate must be 8m wide.	Complies as amended during assessment. The entrance
roads	(2) Divided roads to have at least 5m on either side.	and exit roads meet the requirements.
	(3) Tapers between entrance and access roads to be in the approval.	
21 Width of roads	 (1) Road reserve to be: (a) 8.5m for major access road, and (b) 6m for minor access road. (2) Sealed portion of access road must be: (a) 6m for major roads, and (b) 4m for minor roads. (3) Passing bays required for minor access roads exceeding 80m in length (4) Passing bays at intervals of 100m. (5) Sealed portion of access road with a passing bay to be: (a) 8.5m for major road, and (b) 6m for minor roads. 	The widths of all proposed internal roads are capable of compliance with the requirements. Passing bays incorporated into amendments during assessment process.
22 Speed restrictions as part of road design	(a) 30 km/hr for major access roads, and(b) 15 km/hr for minor access roads.	To be sign-posted accordingly and suitable condition recommended.
23 Visitor parking	(1)(a) 8 spaces for an estate with 35 sites.(b) 12 spaces for 35 to 70 sites.(c) 16 spaces for 70 to 105 sites.(d) 20 spaces for 105, plus 1/7 sites over 140.	For the 136 sites proposed a total of 20 visitor car parking spaces are required and provided.



	(2)(a) Minimum dimensions of 5.4m x 2.5m, and(b) 6.1m x 2.5m.(3) Visitor spaces to be clearly identified.	All spaces satisfy the minimum dimension requirements.
24 Visitor parking for people with disabilities	 (1) 1 space for people with a disability. (2) If more than 100 sites - 1 / 100 sites of fraction of 100 sites. (3) In accordance with AS/NZS 2890.1:2004. (4) Visitor and disabled spaces to be clearly marked. (5) Visitor spaces to be counted under clause 23. 	For the 136 sites proposed a total of 2 disabled visitor spaces are required and provided.
25 Road surfaces	Must have all-weather sealed surface, allow for adequate drainage and eliminate excessive grades.	All proposed roads to and within the development will have all asphalt sealed surface and will allow for adequate drainage.
26 Lighting	Roads to be lit between sunset and sunrise.	All roads proposed to be lit via fixed street lighting.
27 Water supply	 (1)(a) Estate must be connected to mains water, or (b) provided with an alternative. (2)(a) Dwelling site must be connected to the estate water supply, and (b) separately metered. (3)(a) water supply to comply with the Plumbing and Drainage Code of Practice, and (b) Requirements of relevant statutory bodies. (4) Water for domestic requirements to comply with 'Australian Drinking Water Guidelines. 	Complies – Estate is to be connected to mains water. Each dwelling site is to be connected to the estate water supply and to be separately metered.
28 Sewerage	 (1)(a) Estate must be connected to main sewer, or (b) alternative approved system. (2) Dwelling site to be connected to estate system. (3)(a) System to comply with the Plumbing and Drainage Code of 	Complies. Estate to be connected to reticulated main sewer. A new sewer main is required outside of the development site. Each dwelling site will be required to be connected to the estate



	Practice, and (b) Requirements of relevant statutory bodies.	system.
29 Drainage	 Estate to comply with specified and approved stormwater drainage system. 	Conceptual stormwater management plan has been submitted and will be
	(2)(a) dwelling site to be connected with estate system, or (b) or provided with on-site drainage system.	conditioned to comply. Dwelling sites will be required to be directly connected to the stormwater drainage system.
	(3)(a) System to comply with the Plumbing and Drainage Code of Practice, and (b) Requirements of relevant statutory bodies.	
30 Electricity supply	(1) Dwelling site to be supplied with electricity and a separate meter.	Electricity supply is capable of being supplied to each
	(2) Installation in accordance with AS/NZS 3000:2000.	dwelling site. Recommended condition applied requiring letter from respective
	(3) Electricity charge to comply with standard for locality.	electricity authority confirming satisfactory arrangement have been made.
31 Telephone lines	Must be available to each dwelling site.	Each dwelling site will capable of having a telephone service available.
32 Common trenches	Common trench may be used.	Noted.
33 Garbage removal	Arrangements to be specified and must be in a clean and sanitary condition.	All proposed dwelling sites will be provided with a garbage collection service via a private waste contractor.
34 Fire hydrants	(1) Dwelling site and community building to be no more than 90m from fire hydrant.	Fire hydrants are proposed to meet the requirements.
	(2)(a) hydrant to be a double- headed pillar-type hydrant, and	
	(b) maintained to standard specified.	
35 Buildings	(1) A building must not be erected in an estate unless the approval allows.	Complies. No buildings, other than community/recreational buildings are proposed as part
	(2) Buildings allowed within an estate include:	of this proposal.
	(a) community building,(b) Brick or masonry separating walls or external facades to homes.	



	•	
	(3) Brick or masonry external façade permitted only if: (a) the dwelling site is within a 'neighbourhood lot', and (b) the owner of the lot is also the proprietor.	
36 Use of manufactured home estates	(1)(a) estate must not be used for any other commercial purpose, or (b) manufacture, construction or reconstruction of a moveable dwelling.	Noted.
	(2) Manufactured home may be used for exhibition purposes.	
	(3) Renovation and maintenance permitted on homes.	
37 Community map	Map to be provided to Council.	Noted. A community map will be provided to Council and will be a condition of any approval to operate the MHE under a separate section 68 permit.
38 Access to approval and community map	Approval, community map and this Regulation must be available for inspection.	Noted. Will be condition as part of the approval to operate the MHE under a separate section 68 permit.

State Environmental Planning Policy (Koala Habitat Protection) 2019

Clause 15 - A development application made, but not finally determined, before the commencement of this Policy in relation to land to which this Policy applies must be determined as if this Policy had not commenced. The application was made and not finally determined prior to the commencement of this policy, and the application is therefore required to be assessed under the relevant provisions of State Environmental Policy No 44 - Koala Habitat Protection. See assessment comments below.

State Environmental Planning Policy (Coastal Management) 2018

The site is located within an area containing coastal wetlands, coastal wetland proximity, coastal use area and coastal environment area. The development area, however is only identified as containing a small portion of coastal wetlands proximity. The application has been referred under the Water Management Act to the NSW Natural Resource Access Regulator. No requirement was specified under the Act for a Controlled Activity Approval.

In accordance with clause 7, this SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.

Having regard to clause 11 of the SEPP, the proposed development will not result in:



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- identifiable significant adverse impacts on the biophysical, hydrological or ecological integrity of the adjacent coastal wetland to the development site; and
- any identifiable significant reduction to the quantity and quality of surface and ground water flows to and from the adjacent coastal wetland.

Having regard to clauses 13 and 14 of the SEPP, the proposed development is not considered likely to result in any of the following:

- a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;
- b) any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on Aboriginal cultural heritage, practices and places;
- e) any adverse impacts on the cultural and built environment heritage;
- f) any adverse impacts the use of the surf zone;
- g) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands;
- h) overshadowing, wind funnelling and the loss of views from public places to foreshores; and
- any adverse impacts on existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability.

In accordance with Clause 15 the proposal is not likely to cause increased risk of coastal hazards on the land or other land.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is predominately cleared and located within an area zoned for residential purposes.

State Environmental Planning Policy No. 44 - Koala Habitat Protection

With reference to clauses 6 and 7, the subject land is greater than 1 hectare (including any adjoining land under same ownership) and therefore the provisions of SEPP must be considered.

There is no Koala Plan of Management on the site. No vegetation is proposed to be removed therefore no further investigations are required.

State Environmental Planning Policy No. 55 - Remediation of Land

In accordance with clause 7, following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

The requirements of this SEPP are therefore satisfied.

State Environmental Planning Policy No. 62 – Sustainable Aquaculture

Given the nature of the proposed development, the development site not being in close proximity to waterways and proposed stormwater controls the proposal will be unlikely to have any adverse impact on existing aquaculture industries.



State Environmental Planning Policy No. 64 – Advertising and Signage

The proposal incorporates a large feature two sided billboard signage and flag signage at the entry to the proposed estate. The proposal satisfies the applicable requirements of this policy. The assessment table provided below provides consideration of the proposal in accordance with schedule 1 of the policy.

Applicable clauses for consideration	Comments	Satisfactory
Clause 8(a) Consistent with objectives of the policy as set out in Clause 3(1)(a).	The signage is consistent with the objectives of this policy.	Yes
Schedule 1(1) Character of the area.	The entrance and flag signage to be incorporated will not be out of character with the area.	Yes
Schedule 1(2) Special areas.	The entrance signage will not adversely impact on any identifiable special areas.	Yes
Schedule 1(3) Views and vistas.	The entrance signage will not adversely impact on any views or visas.	Yes
Schedule 1(4) Streetscape, setting or landscape.	The entrance works and signage will not adversely detract from the streetscape.	Yes
Schedule 1(5) Site and building.	This signage is compatible with the size and scale of the estate to which it is to be located.	Yes
Schedule 1(6) Associated devices and logos with advertisements and advertising structures.	None proposed.	N/A
Schedule 1(7) Illumination.	No internal illumination of the entrance signage is proposed. Timed external upwards illumination proposed.	Yes
Schedule 1(7) Safety.	The signage will not adversely impact on public safety matters.	Yes

State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

The Applicant has submitted that the development is not age restricted although targeted to over 55. No provisions of this SEPP require specific consideration in this regard.



State Environmental Planning Policy (Infrastructure) 2007

With reference to clause 101, the site has frontage to the Ocean Drive which is a classified road. The consent authority must not grant consent to development on such land unless it is satisfied that:

- (a) where practicable and safe, vehicular access to the land is provided by a road other than the classified road, and 12.
- (b) the safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development as a result of—
 - (i) the design of the vehicular access to the land, or
 - (ii) the emission of smoke or dust from the development, or
 - (iii) the nature, volume or frequency of vehicles using the classified road to gain access to the land, and
- (c) the development is of a type that is not sensitive to traffic noise or vehicle emissions, or is appropriately located and designed, or includes measures, to ameliorate potential traffic noise or vehicle emissions within the site of the development arising from the adjacent classified road.

The proposal has been referred to NSW Roads and Maritime Services (RMS) during the assessment of the application. The advice received from the RMS has been considered later in this report.

Road noise/acoustic impacts are considered later in this report.

State Environmental Planning Policy (State and Regional Development) 2011

The proposed development does not have a capital investment value of more than \$20 million and is not considered Regional Development (as per legislation in force at the time of lodgement of the DA). No provisions of this SEPP require specific consideration in this regard.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

 Clause 2.2 - The subject site is zoned R1 General Residential, RU1 Primary Production, E2 - Environmental Conservation and E3 - Environmental Management. The works are located wholly within the R1 zone.

13.

- 14. In accordance the SEPP36 for a Manufactured Home Estate to be permissible a 'caravan park' under this LEP is to be permissible. In this regard, in accordance with clause 2.3(1) and the R1 landuse table, the proposed development for a 'caravan park' is a permissible landuse with consent in the R1 zone.

 15.
- 16. The proposed recreation and communal facilities are based upon the submitted details and locations best characterised as being ancillary and subordinate to the primary landuse and therefore permissible. The SEPP 36 requires communal facilities also which implies permissibility also for such ancillary uses.

The objectives of the R1 zone are as follows:

- o To provide for the housing needs of the community.
- o To provide for a variety of housing types and densities.



 To enable other land uses that provide facilities or services to meet the day to day needs of residents.

The objectives of the RU1 zone are as follows:

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To encourage diversity in primary industry enterprises and systems appropriate for the area.
- o To minimise the fragmentation and alienation of resource lands.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.

The objectives of the E2 zone are as follows:

- To protect, manage and restore areas of high ecological, scientific, cultural or aesthetic values.
- To prevent development that could destroy, damage or otherwise have an adverse effect on those values.
- o To protect coastal wetlands and littoral rainforests.
- To protect land affected by coastal processes and environmentally sensitive land.

17. The objectives of the E3 zone are follows:

- To protect, manage and restore areas with special ecological, scientific, cultural or aesthetic values.
- To provide for a limited range of development that does not have an adverse effect on those values.
- Clause 2.3(2) The proposal is consistent with the zone objectives having regard to the following:
 - The proposal is a permissible landuse:
 - The proposal will provide for an alternative type of residential housing with a range of opportunities for varied housing types; and
 - o The works are located wholly within the R1 zone.
- Clause 4.4 The floor space ratio of the component of proposal with permanent community amenity buildings does not exceed and complies with the maximum 0.65:1 floor space ratio applying to the site.
- Clause 5.10 Heritage. The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.3 Part of the site is land within a mapped "flood planning area" (Land subject to flood discharge of 1:100 annual recurrence interval flood event (plus the applicable climate change allowance and relevant freeboard) In this regard the following comments are provided which incorporate consideration of the objectives of Clause 7.3 and 7.4, Council's Flood Policy 2015, the NSW Government's Flood Prone Lands Policy and the NSW Government's Floodplain Development Manual (2005):
 - The proposal is compatible with the flood hazard of the land taking into account projected changes as a result of climate change;
 - The proposal will not result in a significant adverse effect on flood behaviour that would result in detrimental increases in the potential flood affectation of other development or properties;



- The proposal incorporates measures to minimise & manage the flood risk to life and property associated with the use of land;
- The proposal is not likely to significantly adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses; and
- The proposal is not likely to result in unsustainable social and economic costs to the community as a consequence of flooding.
- Clause 7.9 Acoustic controls An acoustic assessment has been submitted
 due to the impact of noise from traffic on Ocean Drive. The assessment has
 found that some living and bedroom windows will require an upgrade to glazing
 and ventilation. Conditions of consent have been applied to require compliance
 with the recommendations of the report.
- Clause 7.13 Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development. Provision of electricity and other services (NBN) will be subject to obtaining satisfactory arrangements from the service providers as recommended by a condition of consent.

(ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply to the site

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

DCP 2013	: General Provisions		
	Requirements	Proposed	Complies
2.2.2.1	Signage to be building or business identification. Be contained to within the property. Not project above building facades. Potential for light spill from illumination to be subject to curfew.	Entrance signage on front wall identifying the estate proposed. Curfew proposed.	Yes
2.3.3.3	Significant land reforming proposals shall not change surface levels by more than 5m.	Landform change is less than 5m change proposed. Maximum cut of 4m and maximum fill of 2m which tapers down to natural ground level to Ocean Drive.	Yes
2.3.3.1	Cut and fill 1.0m max. 1m outside the perimeter of the external building walls	Earthworks are proposed and capable of being managed. Suitable site management conditions	Yes



DCP 2013: General Provisions			
	Requirements	Proposed	Complies
		recommended.	
2.3.3.2	1m max. height retaining walls along road frontage	No retaining walls along road frontage proposed.	N/A
	Any retaining wall >1.0 in height to be certified by structure engineer	Engineering certification capable.	Yes - capable
	Combination of retaining wall and front fence height max 1.8m, max length 6.0m or 30% of frontage, fence component 25% transparent, and splay at corners and adjacent to driveway	No combination of retaining and front fence proposed.	N/A
2.3.3.8	Removal of hollow bearing trees	No hollow bearing trees are proposed to be removed.	Yes
2.6.3.1	Tree removal (3m or higher with 100m diameter trunk at 1m above ground level and 3m from external wall of existing dwelling)	No tree removal is proposed	Yes
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.	Yes
2.5.3.2	New accesses not permitted from arterial or distributor roads	Access proposed via proposed public road connection to Ocean Drive.	Yes
	Driveway crossing/s minimal in number and width including maximising street parking	Single entry and exit point proposed via public road.	Yes
2.5.3.3	Parking in accordance with Table 2.5.1.	Adequate off-street parking is proposed consistent with the requirement of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings)	Yes



DCP 2013	3: General Provisions		
	Requirements	Proposed	Complies
		Regulation 2005.	
2.5.3.11	Section 94 contributions	Refer to main body of report.	Yes
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Suitable landscaping proposed.	Yes
2.5.3.14	Sealed driveway surfaces unless justified	Internal roads to be sealed.	Yes
2.5.3.15 and 2.5.3.16	Driveway grades first 6m or 'parking area' shall be 5% grade with transitions of 2m length	Internal roads can comply with requirements of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.	Yes
2.5.3.17	Parking areas to be designed to avoid concentrations of water runoff on the surface.	Parking areas will be adequately drained.	Yes
	Vehicle washing facilities – grassed area etc. available.	Suitable areas available for car washing.	Yes
2.7.2.1	Social impact assessment shall be submitted in accordance with Council's Social Impact Assessment Policy	A Social Impact Assessment has been submitted with the DA that is considered later in this report.	Yes
2.7.2.2	Design addresses generic principles of Crime Prevention Through Environmental Design guideline	Adequate casual surveillance will be available for all community amenities within the development.	Yes

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

An existing planning agreement exists for the site more broadly from the first stage of Laurieton Residential Resort. The Planning Agreement was between Port Macquarie-Hastings Council and ZW2 Pty Ltd (Trading as Laurieton Residential Resort) dated 22 February 2017. Amongst other things, the existing Planning Agreement allowed for the manufactured homes associated with DA2009 - 302 (approval for a



manufactured home estate) to be charged at an aged unit rate and set requirements around ensuring a similar usage.

A request to vary the existing Planning Agreement was received from the applicant in relation to DA2019 - 552. The request was to seek an extended agreement across this development site to formalise how the contributions were calculated for the manufactured homes associated with DA2019 - 552. In particular, the applicant was seeking to have the manufactured homes assessed at the same aged unit rate for contribution purposes.

Council staff have considered the offer and do not support amending the existing Planning Agreement to also include the manufactured home estate proposed under DA2019 - 552. In assessing the most relevant contribution rate applicable to DA2019 - 552, it is considered that the caravan park rates in the Development Contributions Assessment Policy (DCAP) are the most appropriate (Note: Caravan Park rates shift to the Flats, Units, Town Houses etc rate under the DCAP where the sites are to be used as permanent self-contained). This was the approach traditionally used with the exception of some manufactured housing estates utilising Planning Agreements.

It was also acknowledged that the DCAP has an aged unit rate for development approved under SEPP (Housing for Seniors or People with a Disability). The DCAP further advises that the aged unit rate can be used where "the applicant demonstrates to Council's satisfaction that the development will be occupied by older persons as defined in the SEPP and the maximum occupancy for any unit is 2 persons". However, it has not been satisfied that the future dwellings in the manufactured housing estate will be used as such and that ensuring compliance with such a requirement would prove difficult to enforce and un-reasonable from a compliance perspective given the nature of the development for which consent has been applied for.

In order to obtain reduced contributions as an aged unit, it was suggested that consideration be given to amending the development application (DA2019 - 552) from a manufactured home estate to seniors housing with subsequent consideration of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

(iv) Any matters prescribed by the Regulations

N/A

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

Context and Setting

- The proposal will be unlikely to have any adverse impacts to existing adjoining properties or the public domain.
- The proposal is considered to adequately address the planning controls for the area. The site is zoned for residential purposes and is adjoining an existing MHE.
- The proposal will not have any identifiable adverse impacts on existing view sharing or significant vistas.
- The proposal will be unlikely to result in any significant adverse lighting impacts.



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- There are no identifiable adverse privacy impacts.
- There are no identifiable adverse overshadowing impacts. The proposal (including future manufactured homes and dwellings) will be unlikely to prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June.

Roads

The site has road frontage to Ocean Drive, Kew.

Adjacent to the site, Ocean Drive is a sealed public road under the care and control of RMS. Ocean Drive is a RMS Classified road with a 7m road width within a 20m road reserve. There is no kerb and gutter along the frontage of Ocean Drive, however there is a table drain along the northern (adjacent) side. There is a 2.5m wide cycle path along the southern (opposite) side of Ocean Drive. There are also overhead power poles present on both sides of the road.

Traffic and Transport

The site is currently approved for residential use. This development proposes to generate 286 daily trips. The addition in traffic associated with the development is likely to have an impact on the existing local road network and will require an upgrade of the Ocean Drive frontage.

The application includes a Traffic Impact Assessment from Intersect Traffic. Findings of the study determined:

- There is sufficient spare capacity within the local road network to cater for the proposed development, however, dedicated turning lanes will be required to safely manage traffic entering and exiting the development.
- Subject to the vehicular access off Ocean Drive being constructed to a CHR(s)/AUL(s) standard the site access and internal road network would comply with the requirements of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings, 2005 and Austroads).
- Sufficient room exists on the site to provide the required visitor car parking (at least 20 visitor car parks, two of which will be accessible spaces).
- The report states that no additional external pedestrian or cycle paths will be required as part of this development. However, it is a PMHC requirement that a footpath be provided along the frontage for developments such as these. The relocation of sections of the existing cycle path will also be required due to the associated road widening of Ocean Drive.
- Internal pedestrian and cycle facilities will need to be provided to the consent authority requirements though it is considered sharing of the internal road ways by pedestrian and cyclists would be satisfactory for the type and scale of the development.

Key issues or recommendations to be addressed by conditions.

As such, the following is to be incorporated in the conditions of consent.

Construction of a new, unsignalised intersection on Ocean Drive at the entrance to the estate, within the first stage of the development, in accordance with AUSTROADS and Council's AUS-SPEC standards, at no cost to Council, and the following items:



- a) Design details shall be approved by Council as part of a Roads Act (s138) application prior to construction.
- b) A detailed Geotech report shall be provided to Council as part of the Roads Act application and shall detail the pavement design for the Ocean Drive intersection, as well as any reconstruction works along this length of road that are required as a result of the new road design.
- c) Any Regulatory signs and devices proposed on public roads will require the endorsement of the Local Traffic Committee prior to Council's approval.
- d) Any proposed changes to speed zoning should be referred to Roads & Maritime Services (RMS) for consideration prior to the issue of any Roads Act approval.
- e) Any road reserve widening to accommodate the intersection is to be dedicated at no cost to Council.
- f) All new roads including private roads within the Manufactured Home Estate shall be lit between sunset and sunrise. For any public roads deemed to require street lighting, the lighting classification shall be nominated by Council prior to any Construction Certificate, using Essential Energy's prescribed form. Details of lighting installation shall be shown on the Construction Certificate plans for each relevant stage.
- g) The intersection shall include suitable stormwater drainage infrastructure designed to meet the requirements of AUSPEC D5.
- h) The provision of additional civil works within Ocean Drive at no cost to Council necessary to ensure satisfactory transitions to existing work as a result of work conditioned for the development. Design plans are to be approved by Council prior to issue of the Subdivision Construction Certificate.

Roads and Maritime Services (RMS)

Consistent with RMS requirements, the proposal was referred to the RMS. RMS' review of the proposal determined:

Roads and Maritime has reviewed the referred information and provides the following comments to assist the consent authority in making a determination:

1. Ocean Drive is a classified regional road (MR600) and as such, concurrence form Roads and Maritime is required under section 138 of the Roads Act for access onto that road. The applicant should be advised of that requirement.

Comments: The applicant has been advised of this requirement and conditions of consent will be applied.

2. No details have been provided of the size or location of the signage. It is noted that he application classified the sign as 'business identified signage' meaning it is not caught by referral to Roads and Maritime for concurrence. Therefore, Council should be satisfied that the signage meets the requirements of SEPP 64 and the Transport Corridor and Outdoor Advertising and Signage Guidelines.

Comments: Details in relation to the size and location of signage were provided within the Landscape Plans. A SEPP 64 Assessment was provided with the application and Council is satisfied that this meets the requirements of SEPP 64 and the Transport Corridor Outdoor Advertising and Signage Guidelines.

3. Site Regrade Plan Sheet 1 (in Appendix A) shows a proposed Collector Road along the western boundary of the property for access to a future adjoining urban release area. No other plans show this future road, and nor is there any mention of connecting this development onto that road.



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Comments: The applicant acknowledged that this collector road was an error and the plans were updated to remove this reference.

4. It appears that the road named Resort Road on maps may traverse/ sever the site. This should be clarified as it has potential to impact the design and access arrangements for the Home Park.

Comments: The applicant confirmed via NSW Six Map and a Certificate of Title and Deposited Plan that Resort Road does not traverse/sever the site. The access through the site is not a public road, but is a 'Right of Carriageway 20 wide', and is proposed to be relocated as part of the proposed development.

5. The Traffic Impact Assessment (TIA) concluded on page 16 that a CHR(s) and an AUL(s) were required for the new access. This is likely to require shifting the eastbound carriageway and widening for AUL(s) on the northern side. However, no Strategic Design for the proposed road works has been provided. Such design will be required before any approval under section 138 can be considered.

Comments: The applicant acknowledged that a CHR(s) and AUL(s) will be required and a draft intersection plan was provided. A detailed strategic design for the proposed road works will be provided following development consent being issued, and prior to approval under Section 138. This design will be forwarded to RMS for concurrence prior to issue of that approval.

- 6. It is understood that the existing temporary access track over the site will be closed, and will not provide secondary access onto Ocean Drive. This should be clarified, and the timing of that closure reflected in any approval granted. The proposed development incorporates the continuation of the existing secondary access road from the existing MHE in the northern portion of the site (Laurieton Residential Resort). The existing secondary access road will be realigned to connect with the internal access road infrastructure of the proposed MHE, with the existing connection to Ocean Drive in the southern corner of the site to be maintained. A gate (no lock) will be provided at the southern end of the existing access road where it enters the proposed MHE with an RFS keyed gate/bollard provided at the southern end of the internal road which discharges to Ocean Drive.
- 7. Consideration should be given to connectivity for public transport facilities and active transport modes such as walking and cycling. In this regard, we note that there is a shared path and bus stop located on the southern side of Ocean Drive. Any road works on Ocean Drive should consider incorporating an appropriate facility to assist in crossing the road.

Comments: It is noted that the nearest bus stops are located opposite the site at the Mountain View Road intersection for westbound buses and 100m west of the site for eastbound buses. These are considered within easy walking distance from the development location. In order to facilitate safe and convenient pedestrian access to the facilities located on the southern side of Ocean Drive, the applicant has proposed to incorporate a pedestrian refuge within the median (painted chevron area). However, given the traffic volumes on Ocean Drive and the likely age demographic of the MHE residents, it is recommended that a formalised pedestrian refuge will be required and a DA condition has been included to reflect this.

Pedestrians

This development is proposing effectively 136 new residential sites for development. A footpath is a Council requirement to be provided along the frontage for developments such as these to provide linkages to existing infrastructure. Internal



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pedestrian and cycle facilities would need to be provided to the consent authority requirements though it is considered sharing of the internal road ways by pedestrian and cyclists would be satisfactory for the type and scale of the development.

It is noted that the nearest bus stops are located opposite the site at the Mountain View Road intersection for westbound buses and 100m west of the site for eastbound buses. These are considered within easy walking distance from the development location. In order to facilitate safe and convenient pedestrian access to the facilities located on the southern side of Ocean Drive, the applicant has proposed to incorporate a pedestrian refuge within the median (painted chevron area). However, given the traffic volumes on Ocean Drive and the likely age demographic of the MHE residents, it is recommended that a formalised pedestrian refuge will be required and a DA condition has been included to reflect this.

Parking and Manoeuvring

Resident parking will be able to be provided on each MHE site. In addition, a total of 20 visitor parking spaces (including 2 disabled spaces) have been provided on-site. Parking on site can comply with relevant Australian Standards (AS 2890) and conditions have been imposed to reflect these requirements.

Water Supply Connection

Council records indicate that the development site has an existing 150/32mm combined metered water service. The proposed development can be serviced for water supply from the existing 150/32mm combined meter. Final water service sizing will need to be determined by a hydraulic consultant to suit the domestic and commercial components of the development, as well as fire service and backflow protection requirements in accordance with AS3500.

Sewer Connection

Council records indicate that the development site is connected to Sewer via junction to the existing sewer line that traverses the development site. The proposed development must discharge all sewage to a new manhole. A gravity sewer connection from the new manhole shall be provided to the western property boundary at no cost to Council.

The hydraulic designer is to confer with Council sewer section prior to submitting sewer design plans.

Stormwater

The site naturally grades towards the north-west corner (rear of the site) and is currently unserviced via the public piped drainage system.

A stormwater management plan has been submitted in support of the development application and demonstrates conceptually that the development can achieve Council's AUSPEC requirements with regard to water quality and detention. In this regard, a stormwater basin is proposed to be located to the north west of the development. The report demonstrates that the basin and associated treatment train achieves compliance with Councils water quality targets via the provision of a GPT, grassed swales and bio-retention. MUSIC modelling output summaries have been submitted to demonstrate compliance in this regard.

Amendments were made during the course of the assessment to ensure the MUSIC model replicated the stormwater design.



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Additionally, a summary of the modelling undertaken utilising the RAFTS software demonstrates that the basin has capacity to detain stormwater discharge to the extent that post development flows are less than pre development rates. To achieve this, the basin provides a volume of 3616m3.

The plan indicates that no stormwater will be discharged to the Ocean Drive frontage of the site.

A detailed site stormwater management plan will be required to be submitted for assessment with the S.68 application and prior to the issue of a Construction Certificate.

In accordance with Councils AUSPEC requirements, the following must be incorporated into the stormwater drainage plan:

- Detailed modelling and calculations to demonstrate that the designed system meets the above objectives,
- Design specifications for the detention and water quality facilities;
- Maintenance plans/specifications for the detention and water quality facilities;
 and
- Design specifications for the outlet form the stormwater basin to demonstrate that flows are being discharged onto the surface of the land in a manner that matches pre development discharge.

Other Utilities

Telecommunication and electricity services are available to the site.

Evidence of satisfactory arrangements with the relevant utility authorities for provision to each proposed lot and the MHE will be required prior to final Section 68 permit to operate the MHE being issued.

Heritage

Following a site inspection (and a search of Council records), no known items of Aboriginal or European heritage significance exist on the property. No adverse impacts anticipated.

Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will be unlikely to have any adverse impacts on water resources and the water cycle.

Soils

The proposed development will be unlikely to have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

Air and microclimate

The construction and/or operations of the proposed development will be unlikely to result in any adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.



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Flora and fauna

Construction of the proposed development will not require additional removal/clearing of vegetation. The site is the subject of the original Laurieton Residential Resort development and Vegetation Management Plan (Keystone Ecological 2016).

Clearing of the land, offsets and management were evaluated as part of the application and is subject to ongoing management strategies. This included nest boxes, glider poles, weed management and regeneration of vegetation communities. The applicant is to ensure the recommendations of the VMP are implemented and maintained.

The proposal is located within the highly modified area required to be low fuel for RFS purposes and is not within the area required to be revegetated. Council's ecologist has assessed the ecological report, inspected the site and has no additional requirements.

Waste

With regards to the ongoing operational management of waste; an Operational Management Plan will be prepared with the appointed private waste contractor, ensuring each moveable dwelling will have access to an appropriate garbage collection service onsite.

Each moveable dwelling will have access to suitable garbage and recycling bin facilities, allowing for waste to be sorted prior to collection. No adverse impacts anticipated. An appropriate condition is recommended in this regard.

A Waste Management Plan has been submitted which is considered acceptable. Standard precautionary site management condition recommended.

Energy

The proposal includes measures to address energy efficiency in the design of the onsite communal facilities and will be required to comply with the requirements of Section J of the Building Code of Australia. No adverse impacts anticipated.

Noise and vibration

The operation of the dwellings and community facilities are proposed by the Applicant to not be restricted by hours of operation, but rather by standard noise criteria under the Protection of the Environment Operations Act 1997.

No other adverse impacts are anticipated.

A standard condition recommended to restrict construction to standard construction hours.

Bushfire

The site is identified as being bushfire prone.

In accordance with Section 100B - *Rural Fires Act 1997, whilst* not technically integrated development the application proposes an MHE that could lawfully be used for residential purposes.

The Applicant has submitted a bushfire report prepared by a Consultant. The report has carried out an assessment under Section 100B requirements.

The Commissioner has assessed the development and has issued a Bushfire Safety Authority subject to conditions. A copy of the Authority is attached to this report.



Safety, security and crime prevention

A Crime Prevention Through Environmental Design (CPTED) Report has been prepared for the proposed development.

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area.

The increase in housing density will improve natural surveillance within the locality.

Social impacts in the locality

A Social Impact Assessment prepared by Aigis Group - Mark Sargent Enterprises has been submitted with the DA as required by Council's Development Control Plan 2013 and Social Impact Assessment Policy.

The below is a list of the key recommendations from the Social Impact Assessment, which the Applicant has justified that have been incorporated into the site plan or are addressed in the accompanying expert reports:

- 1. The landscape buffer is to be maintained to enhance acoustic privacy and reduce visual impacts.
- 2. A Traffic Engineering Assessment is to be provided with the Development Application.
- 3. Provision of community facilities and landscaping.

Subject to the above being complied with, the proposal has been assessed as being unlikely to result in adverse social impacts which would warrant refusing the DA.

Residents of the MHE will have access to Laurieton based medical facilities via the local bus transport.

Issues relating to impact on character have been addressed above earlier in this report.

Economic impact in the locality

No adverse impacts. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

Construction

No potential adverse impacts identified to neighbouring properties with the construction of the proposal.

Cumulative Impacts

The proposed development is not expected to have any adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposal will adequately fit into the locality and the site attributes are conducive to the proposed development to not warrant recommending refusing consent to the application.



Site constraints of bushfire risk and potential road noise have been adequately addressed and appropriate conditions of consent recommended.

(d) Any submissions made in accordance with this Act or the Regulations

Two (2) written submissions were received following public exhibition of the application. Copies of the written submissions have been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:

Submission Issue/Summary	Planning Comment/Dechance
-	Planning Comment/Response
The area is well known for Black Cockatoos and requests Casuarina Species be planted. Also request Eucalypt Species and wildlife infrastructure.	As discussed earlier in this report, the site is part of a broader scale Vegetation Management Plan that includes this site and has ongoing works for regeneration of vegetation communities that has been assessed under the original Laurieton Residential Resort. Further revegetation is not considered appropriate and would have broader implications for bushfire hazard management over the entire site. The application has been assessed by Council's ecologist who has advised that the requirements of the VMP have been fulfilled and the planting schedule proposed within the MHE is acceptable.
	submitted during the assessment of the application.
Traffic impact and safety concerns including road widening at entry/exit, turning bays on Mountainview Road and lower speed limit.	The application (including traffic report) has been referred to the Roads and Maritime Services who have made recommendations in relation to access. The applicant has modified the plans and provided additional entry details that are acceptable to the RMS and conditions of consent applied. See specific additional information above in relation to traffic and RMS assessment. Lowering the speed limit is considered unnecessary.
Noise Impact to proposed dwellings	Ocean Drive is a major collector road for access to Laurieton. Whilst future development is subject to acoustic controls for dwellings to be constructed, there is currently no ability to impose an upgrade to existing dwellings or planned road works/noise mounds in this section of road.
Noise and Dust Impact during construction	Standard condition of consent is to be imposed.
Pedestrian access-footpath required	Additional requirements have been imposed via conditions for extension of footpaths and for pedestrian refuges.
Maintenance of existing shrubs along Ocean Drive	Additional monitoring will be conducted under the terms of the Vegetation Management Plan



(e) The Public Interest

The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- Development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- Development contributions will be required in accordance with Section 7.11 of the Environmental Planning and Assessment Act 1979 towards roads, open space, community cultural services, emergency services and administration buildings.
 18.
- A copy of the contributions estimate is included as **Attachment 3**.

5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

Attachments

- 1. DA2019 552.1 Recommended Conditions
- 2<u>↓</u>. DA2019 552.1 Plans
- 31. DA2019 552.1 Contributions Estimate
- 4. DA2019 552.1 Responce to RFI
- 5. DA2019 552.1 SOEE
- 6. DA2019 552.1 Stormwater Report
- 7. DA2019 552.1 Traffic Impact Assessment
- 8. DA2019 552.1 Vegetation & Habitat Management Plan



FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2019/552 DATE: 26/05/2020

PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
SOEE		ADW Johnson	August 2019
Site and proposal plans	190111(4)e DA 1010-106	ADW Johnson	11/2/2020
Concept Engineering Plans	190111(4) Sheets 1-3,102,201- 208,221,401,402, 461,501,502,511- 516,601,602,611,		11/2/2020
Stormwater Management Report		ADW Johnson	December 2019
Architectural Plans- Admin Headquarter & Resort Amenities	1802617	Sorensen Design and Planning	4 November 2019
Landscape Plans	1711 LP-00 - 05 REV F	Moir Landscape Architects	1/11/2019
CPTED		James Marshall & Co	June 2019
Bushfire Hazard Assessment		David Pensini Building Certification and Environmental Services	July 2019
Traffic Impact Assessment	Ref 18/029	Intersect Traffic	August 2019
VMP	PMHC 12-543	Keystone	3/5/2016

		Ecological	
Acoustic Assessment	181732-8193 R3	Spectrum Acoustics	July 2019

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No building or subdivision work shall commence until a Construction Certificate or Subdivision Works Certificate has been issued and the applicant has notified Council of:
 - a. the appointment of a Principal Certifying Authority; and
 - b. the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

- (3) (A004) An application for a Subdivision Works Certificate will be required to be lodged with Council prior to undertaking subdivision works and a Subdivision Certificate is required to be lodged with Council on completion of works
- (4) (A007) The development must only proceed in accordance with the approved stages as set out below:
 - Stage 1: Lots 1 to 118 including all infrastructure and community facilities
 - Stage 2: Lots 119 to 136

Unless specified, the conditions of this consent will apply to all stages, with any decision on any discrepancy with conditions and associated staging resting with Council. Any decision to allow a change to staging will rest with Council along with applicable conditions and any contributions payable.

- (5) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
- (6) (A009) The development site is to be managed for the entirety of work in the following manner:
 - Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 - 2. Appropriate dust control measures;
 - Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
 - Building waste is to be managed via appropriate receptacles into separate waste streams;
 - 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
 - Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

- (7) (A011)The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (8) (A013) The general terms of approval from the following authorities, as referred to in section 4.50 of the Environmental Planning and Assessment Act 1979, and referenced below, are attached and form part of the consent conditions for this approval.
 - NSW Rural Fire Service The General Terms of Approval, Reference DA-2019-03091 and dated 12 May 2020, are attached and form part of this consent.
- (9) (A014) This approval does not provide any indemnity to the owner or applicant under the Disability Discrimination Act 1992 with respect to the provision of access and facilities for people with disabilities.
- (10) (A016) This consent does not override any requirements of the Environmental Protection and Biodiversity Conservation Act 1999.
- (11) (A029) The provision, at no cost to Council, of concrete foot paving for the full road frontage and connecting to the existing footpath on the Northern side of Ocean Drive, to the east of the site. For a 1.5 metre wide footpath(unless varied in writing by Council) is required with design details in accordance with AUSPEC and Council Standard drawing. The design plans must be approved by Council pursuant to Section 138 of the Roads Act.
- (12) (A031) Approval pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be obtained from Port Macquarie-Hastings Council.

Such works include, but not be limited to:

- Civil works
- Traffic management
- · Work zone areas
- Hoardings
- · Concrete foot paving (width)
- Footway and gutter crossing
- · Functional vehicular access
- Other

Where works are proposed on an RMS classified facility, the Road Authority shall obtain RMS concurrence prior to any approval.

- (13) (A032) The developer is responsible for any costs relating to minor alterations and extensions to ensure satisfactory transitions of existing roads, drainage and Council services for the purposes of the development.
- (14) (A033) The applicant shall provide security to the Council for the payment of the cost of the following:
 - a. making good any damage caused to any property of the Council as a consequence of doing anything to which the consent relates,
 - completing any public work (such as road work, kerbing and guttering, footway construction, utility services, stormwater drainage and environmental controls) required in connection with the consent,
 - remedying any defects in any such public work that arise within twelve (12) months after the work is completed.

Such security is to be provided to Council prior to the issue of the Subdivision Certificate/Construction Certificate or Section 138 of the Roads Act, 1993.

The security is to be for such reasonable amount as is determined by the consent authority, being an amount that is 10% of the contracted works for Torrens Title subdivision development/the estimated cost plus 30% for building development of public works or \$5000, whichever is the greater of carrying out the development by way of:

- i.deposit with the Council, or
- ii.an unconditional bank guarantee in favour of the Council.

The security may be used to meet any costs referred to above and on application being made to the Council by the person who provided the security any balance remaining is to be refunded to, or at the direction of, that person. Should Council have to call up the bond and the repair costs exceed the bond amount, a separate invoice will be issued. If no application is made to the Council for a refund of any balance remaining of the security within 6 years after the work to which the security relates has been completed the Council may pay the balance to the Chief Commissioner of State Revenue under the Unclaimed Money Act 1995.

- (15) (A077) Trees growing on the land on which the structure is erected or on adjoining land must not be damaged as a result of the erection or use of the structure.
- (16) (A195) The construction of the first row of manufactured homes in the MHE facing Ocean Drive on Lot 1 through to Lot 13 and Lot 136 must be constructed in full accordance with the recommendations made in the Spectrum Acoustics Noise Impact Assessment Report. Certification from a suitably qualified and practising professional will be required to be submitted to Council certifying that the dwellings have been constructed to the correct standard. Refer to E195 for more detail, if required.
- (18) Entrance threshold landscaping and signage shall be located in private lands.
- (19) This consent provides for a total of 136 manufactured home sites within the approved Manufactured Home Estate.
- (20) Unless varied by this consent the manufactured home estate is to comply with Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
- (21) The development is not to be used for tourist (i.e. short term stay) purposes.
- (22) The use of the community and recreational facilities within the site are for residents or their guests use only.

B – PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE (WHERE APPLICABLE TO THE WORKS BEING CARRIED OUT)

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
 - Position and depth of the sewer (including junction)
 - · Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location

- (2) (B003) Submission to the Principal Certifying Authority prior to the issue of a Subdivision Works Certificate or Construction Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
 - 1. Road works along the frontage of the development.
 - 2. New roads.
 - 3. Earthworks, including filling of the land for flood protection.
 - 4. Public parking areas including;
 - a. Driveways and access aisles;
 - b. Parking bays
 - Delivery vehicle service bays & turning areas Sewerage reticulation.
 - Water supply plans shall include hydraulic plans for internal water supply services and associated works in accordance with AS 3500, Plumbing Code of Australia and Port Macquarie-Hastings Council Policies.
 - 6. Stormwater systems.
 - Erosion & Sedimentation controls.
 - Provision of a 1.5m (unless varied in writing by Council) concrete footpath Across full road frontage and connecting to the existing footpath on the northern side of Ocean Drive, to the east of the site.
 - Detailed intersection layout at the junction of Ocean Drive in accordance with the current version of the AUSTROADS Guide to Road Design, Part 4A - Unsignalised and Signalised Intersections, giving particular attention to AUL(S) / CHR(S) design.
 - Provision of fire trails with the current version of Planning for Bush Fire Protection.
- (3) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.

Such works include, but not be limited to:

- Civil works
- · Traffic management
- Work zone areas
- Hoardings
- Concrete foot paving
- Footway and gutter crossing
- Functional vehicular access

Where works are proposed on an RMS classified facility, the Road Authority shall obtain RMS concurrence prior to any approval.

(4) (B011) As part of Notice of Requirements by Port Macquarie-Hastings Council as the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution, prior to the issue of a Construction Certificate relating to all community and recreation facilities, of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with the provisions of the relevant Section 64 Development Servicing Plan towards the following

- augmentation of the town water supply headworks
- augmentation of the town sewerage system headworks
- (6) (B012) To ensure that adequate provision is made for the cleanliness and maintenance of all food preparation areas, all work involving construction or fitting out of the premises shall comply with the requirements of Australian Standard 4674-2004 "Design, Construction and Fit-Out of Food Premises", Food Act 2003, the provisions of the Food Safety Standards Code (Australia) and the conditions of development consent. Details demonstrating compliance are to be submitted to the Principal Certifying Authority prior to release of the Construction Certificate for any community or recreational building containing food preparation areas.
- (7) (B021) A hydraulic strategy and plans are required from a hydraulic consultant for the whole of the development on the site stage by stage. Water service sizing is then to be determined by the hydraulic consultant to suit the proposed domestic and commercial components of the development, as well as addressing fire service requirements to AS 2419 and backflow protection requirements.
- (8) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate. Certification that the construction of footings and piers has been carried out in accordance with the approved drawings and specifications shall be provided by a practising chartered professional civil and/or structural engineer to the Principal Certifying Authority with the application for the Section 307 Certificate of Compliance/Occupation Certificate.
- (9) (B045) A schedule of existing and proposed fire safety measures is to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.
- (10) (B048) Prior to the issue of a Construction Certificate, provision shall be made for the storage of garbage containers and containers for recyclable material in a designated garbage area. If an external area is used for the storage of putrescible material then the area shall be:
 - a. Bunded with a minimum volume of the bund being capable of containing 110% of the capacity of the largest container stored, or 25% of the total storage volume, whichever is the greatest.
 - b. Provided with a hose tape connected to the water supply;
 - c. Paved with impervious material;
 - d. Graded and drained to the sewer system, and
 - e. Roofed to prevent the entry rainwater.
- (11) (B052) The provision of 3m x 3m splay corners or otherwise agreed to by Port Macquarie-Hastings Council. Details must be submitted to and approved by Port Macquarie-Hastings Council prior to release of the Construction Certificate.
- (12) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.

- (13) (B053) Design of car park and accesses in accordance with AS 2890 (including AS 2890.1, AS 2890.2 and AS 2890.6), the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 and Planning for Bushfire Protection 2006. Certification that the design meets these requirements by a suitably qualified consultant is to be provided to the Principal Certifying Authority prior to release of the Construction Certificate.
- (14) (B057) The existing sewer including junction and/or stormwater drainage shall be located on the site and the position and depth indicated on the plans which accompany the application for the Construction Certificate.
- (15) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.
- (16) (B085) The location of electricity substations are to be clearly illustrated on the Subdivision Works Certificate or Construction Certificate plans. All substations are to remain on private property unless otherwise agreed to by Port Macquarie-Hastings Council (B195)
- (17) (B195) Council records indicate that the development site has an existing 150/32mm combined metered water service. The proposed development can be serviced for water supply from the existing 150/32mm combined meter. Final water service sizing will need to be determined by a hydraulic consultant to suit the domestic and commercial components of the development, as well as fire service and backflow protection requirements in accordance with AS3500.
- (18) (B196) Council records indicate that the development site is connected to Sewer via junction to the existing sewer line that traverses the development site. The proposed development must discharge all sewage to a new manhole. A gravity sewer connection from the new manhole shall be provided to the western property boundary at no cost to Council.
- (19) (B197) Construction of a new, unsignalised intersection on Ocean Drive at the entrance to the estate, within the first stage of the development, in accordance with AUSTROADS and Council's AUS-SPEC standards, at no cost to Council, and the following items:
 - a) Design details shall be approved by Council as part of a Roads Act (s138) application prior to construction.
 - b) An upgrade of Ocean Drive immediately adjacent to development site will be required, with the inclusion of dedicated CHR(s) / AUL(s) turning lanes. The intersection must be designed in accordance with AUSTROADS and Council's AUS-SPEC standards.
 - Any road reserve widening to accommodate the intersection is to be dedicated at no cost to Council.
 - d) A pedestrian refuge will be required in the centre median of Ocean Drive, with kerb ramps provided for access to the adjoining footpaths/cycleways. The design shall be in accordance with AUSTROADS and Council's AUS-SPEC standards.
 - The intersection shall include suitable stormwater drainage infrastructure designed to meet the requirements of AUSPEC D5.
 - f) A detailed Geotech report shall be provided to Council as part of the Roads Act application and shall detail the pavement design for the Ocean Drive intersection, as well as any reconstruction works along this length of road that are required as a result of the new road design.

- g) Any Regulatory signs and devices proposed on public roads will require the endorsement of the Local Traffic Committee prior to Council's approval.
- Any proposed changes to speed zoning should be referred to Roads & Maritime Services (RMS) for consideration prior to the issue of any Roads Act approval.
- i) All new roads including private roads within the Manufactured Home Estate shall be lit between sunset and sunrise. For any public roads deemed to require street lighting, the lighting classification shall be nominated by Council prior to any Construction Certificate, using Essential Energy's prescribed form. Details of lighting installation shall be shown on the Construction Certificate plans for each relevant stage.
- j) The provision of additional civil works within Ocean Drive at no cost to Council necessary to ensure satisfactory transitions to existing work as a result of work conditioned for the development. Design plans are to be approved by Council prior to issue of the Subdivision Construction Certificate.

C – PRIOR TO ANY WORK COMMENCING ON SITE (WHERE APPLICABLE TO THE WORKS BEING CARRIED OUT)

- (1) (C001) A minimum of one (1) week's notice in writing of the intention to commence works on public land is required to be given to Council together with the name of the principal contractor and any major sub-contractors engaged to carry out works. Works shall only be carried out by a contractor accredited with Council.
- (2) (C004)Prior to works commencing an application being made to the electricity and telecommunications service providers. Services are required to be underground.
- (3) (C013) Where a sewer manhole and/or Vertical Inspection Shaft exists within a property, access to the manhole/VIS shall be made available at all times. Before during and after construction, the sewer manhole/VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.
- (4) (C195) Prior to the issuing of the Construction Certificate, a Construction Noise Management Plan, incorporating a noise complaint register shall be submitted to the PCA and Council. The CNMP shall incorporate relevant sections and work practices set out under the NSW EPA Interim Construction Noise Guideline.

D - DURING WORK (WHERE APPLICABLE TO THE WORKS BEING CARRIED OUT)

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
 - a. completion of installation of erosion control measures
 - b. prior to installing traffic management works
 - c. when the sub-grade is exposed and prior to placing of pavement materials:
 - d. when trenches are open, stormwater/water/sewer pipes and conduits jointed and prior to backfilling;

- e. at the completion of each pavement (sub base/base) layer;
- f. before pouring of kerb and gutter;
- g. prior to the pouring of concrete for sewerage works and/or works on public property;
- h. on completion of road gravelling or pavement;
- i. during construction of sewer infrastructure;
- j. during construction of water infrastructure;
- k. prior to sealing and laying of pavement surface course.

All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public Infrastructure and any other Council approval, prior to proceeding to the next hold point.

- (2) (D003) The site is in an area known to contain rock that may contain naturally occurring asbestos (NOA). Should potential NOA be located on site notification shall be provided to Council and Workcover prior to works proceeding. No work shall recommence until a NOA management plan has been approved by Council or Workcover.
- (3) (D006)A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.
- (4) (D015) The swimming pool shall not to be filled with water until a safety fence/barrier complying with the current Swimming Pools Act and Regulations has been installed and an inspection has been carried out and approval given by the Principal Certifying Authority.
- (5) (D016) Where depth of water in the pool exceeds 300mm during construction a temporary barrier or fence in accordance with the current Swimming Pools Act and Regulations is to be erected or other precaution taken so as to prevent entry of children into the pool.
- (6) (D033)Should any Aboriginal objects be discovered in any areas of the site then all excavation or disturbance to the area is to stop immediately and the National Parks and Wildlife Service, Department of Environment and Conservation is to be informed in accordance with Section 91 of the National Parks and Wildlife Act 1974. Subject to an assessment of the extent, integrity and significance of any exposed objects, applications under either Section 87 or Section 90 of the National Parks and Wildlife Act 1974 may be required before work resumes.
- (7) (D037) Noise from construction activities (measure as the L_{AeqT} noise level) shall not exceed the background noise level (measured as the L_{A90} noise level in the absence of the source), for periods of construction between 4 and 26 weeks by 10 dB(A), and for periods of construction exceeding 26 weeks by 5 dB(A), in any Octave Band Centre Frequency, when measured at any affected residence, or premises.
- (8) (D040) Wastes including vegetation shall not be disposed of by burning.
- (9) (D043) Any damage to a tree nominated for retention/protection during the construction phase shall be treated by an Arborist with a minimum qualification AQF level 5 (diploma level) or an international qualification considered equivalent by Council, or a person deemed suitable by Council at the developer's expense.
- (10) (D051) Prior to commencement of any pavement works a material quality report from the proposed supplier shall be submitted to Council. The

- pavement materials shall meet Council's current specifications at the time of construction.
- (11) (D052) Prior to laying of Asphaltic Concrete (AC) or wearing surface course, submission to Council of pavement and soil test results prepared by a NATA registered person for all road pavement construction, including:
 - a. CBR test results, and
 - b. Subgrade / select fill, sub-base and base pavement compaction reports in accordance with AS1289.5.1.1 & AS1289.5.2.1 as applicable.

E – PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE (WHERE APPLICABLE TO THE WORKS BEING CARRIED OUT)

- (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E015)Prior to occupation or issue of the Occupation Certificate, details of compliance with the bushfire risk assessment is to be provided to the Principal Certifying Authority.
- (3) Approval to operate a manufactured home estate on the land on which the development is to be carried out must be obtained under Part 1 of Chapter 7 of the Local Government Act, 1993.
- (4) (E005) Prior to the release of any bond securities held by Council for infrastructure works associated with developments, a formal written application is to be submitted to Council specifying detail of works and bond amount
- (5) (E007)The owner/applicant is responsible for ensuring that any imported fill is either Virgin Excavated Natural Material (VENM) or Excavated Natural Material (ENM). Prior to the issue of an Occupation Certificate, certification is to be provided to Council demonstrating that the fill is either VENM or ENM.
- (6) (E011) Submission prior to the issue of a Subdivision Certificate of a plan prepared by a Registered Surveyor showing location of existing road formation relative to reserved and dedicated roads to enable determination of any road widening necessary. Any road widening is to be at no cost to
- (7) (E020) The provision of a suitable sign containing the details required by the current Swimming Pools Act and Regulations.
- (8) (E021) Pool(s) to be fenced in accordance with the Swimming Pools Act, 1992.
- (9) (E031) Provision of a sign at the front vehicular access point within the property, prior to occupation or the issue of the Occupation Certificate, indicating that visitor/customer parking is available on-site.
- (10) (E034) Prior to occupation or the issuing of the Final Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (11) (E040) Each onsite detention system is to be marked by a plate in a prominent position which states:
 - "This is an onsite detention system. It is an offence to reduce the volume of the tank or basin or interfere with any part of the structure that controls the outflow".

This plate is to be fixed into position prior to occupation or the issue of the Occupation or Subdivision Certificate.

(12) (E042) Creation of drainage easement between lots (i.e. interallotment)

Where stormwater pipelines traverse lots other than those which they benefit appropriate drainage easements shall be created and registered on the title of the relevant lot(s) with the Lands and Property Information NSW.

- a. For pipes less than 500mm diameter, the easement width must be a minimum of 1500mm. Easements for larger diameter pipes must be the pipeline diameter plus 1200mm wide, with a minimum width of 2400mm.
- b. Where easements are associated with a subdivision, the easement shall be established with the plan of subdivision and Section 88B instrument. Details to be submitted to Council prior to issue of Subdivision Certificate.

Where easements are not associated with a subdivision, the easement shall be approved by Council prior to lodgement at Lands and Property Information (LPI) NSW and evidence of registration shall be submitted to the Principal Certifying Authority prior to any Occupation Certificate.

(13) (E046) Prior to the issue of an Occupation Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to maintain the on-site stormwater detention facilities on the property.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

- a. The Proprietor of the property shall be responsible for maintaining and keeping clear all pits, pipelines, trench barriers and other structures associated with the on-site stormwater detention facilities ("OSD").
- b. The Proprietor shall have the OSD inspected annually by a competent person.
- c. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all pits, pipelines, trench barriers and other structures in or upon the said land which comprise the OSD or which convey stormwater from the said land; and recover the costs of any such works from the proprietor.
- d. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the OSD, or failure to clean, maintain and repair the OSD.

The proprietor or successor must bear all costs associated in the preparation of the subject 88E instrument. Evidence of registration with the Lands and Property Information NSW shall be submitted to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate.

(14) (E048) Prior to the issue of an Occupation Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to maintain the water quality control facilities within the site.

In addition, a maintenance schedule for the water quality controls must be submitted to Council for approval with the stormwater work-as executed plans. This maintenance schedule and work as executed plan shall be registered and referred to as part of the positive covenant.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

- a. The Proprietor of the property shall be responsible for inspecting, maintaining and keeping clear all components of and structures associated with the stormwater quality improvement device (SQID) in accordance with the maintenance plan in order to achieve the design system performance targets.
- b. The Proprietor shall have the SQID inspected annually by a competent person.
- c. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all components or structures in or upon the said land which comprise the SQID and recover the costs of any such works from the proprietor.
- d. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the SQID, or failure to clean, maintain and repair the SQID.

The instrument shall be created and registered on the title of the relevant lot(s) with the Lands and Property Information (LPI) NSW. The plan and terms of the easement must be endorsed by Council through formal application prior to lodgement at the Lands and Property Information NSW. Evidence of registration shall be submitted to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate.

- (15) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (16) (E056) A Certificate of Compliance under the provisions of Section 307 of the Water Management Act must be obtained prior to the issue of any Occupation Certificate or installation of any manufactured home.
- (17) (E062) Prior to occupation or the issue of any Occupation Certificate, evidence must be provided to the Principal Certifying Authority that satisfactory arrangements are in place for collection of general waste (rubbish), recycling and food and garden organics from the premises by a private waste contractor. All wastes are to be collected as separate waste streams
- (18) (E064) Provision of street lighting to all new roads in accordance with AS1158 and compliance with the requirements of the electricity authority regarding provision of electricity to serve the development. Provision shall be made for placement of conduits for future requirements or upgrades. Evidence by way of letter from the electricity provider, indicating compliance with this condition shall be submitted prior to the issue of the Subdivision Certificate.

Any proposal to erect non-standard, prestige or Smart Poles (or equivalent) street lighting shall:

- · Forward all plans to the service provider for comment;
- Include instruction for completion of 'Lighting Requirements';
- be referred to Council together with details of the difference in annual charges over a twenty five (25) year period in accordance with Policy R5
 Street Lighting on Public Roads;
- Supply to Council to keep in stock, one (1) extra pole for every six (6) run
 of poles, for all poles that are non-standard poles.

- (19) Landscaped areas being completed in accordance with the stamped approved landscaping plans and staging plans prior to occupation. Public landscaping may be bonded as agreed to by Council.
- (20) (E066) Ancillary works shall be undertaken at no cost to Council to make the engineering works required by this Consent effective to the satisfaction of Director of Council's Infrastructure Division. Such works shall include, but are not limited to the following:
 - a. The relocation of underground services where required by civil works being carried out.
 - b. The relocation of above ground power and telephone services
 - c. The relocation of street lighting
 - d. The matching of new infrastructure into existing or future design infrastructure
- (21) (E068) Prior to the issue of a Occupation Certificate evidence to the satisfaction of the Certifying Authority from the electricity and telecommunications providers that satisfactory services arrangements have been made to the lots or dwellings (including street lighting and fibre optic cabling where required).
- (21) (E072) Lodgement of a security deposit with Council upon practical completion of the subdivision works.
- (22) (E076) The plan of subdivision and Section 88B instrument shall establish the following covenants; with Council having the benefit having the sole authority to release, vary or modify each restriction, easement and/or covenant. Wherever possible the extent of the land affected by these covenants shall be defined by bearings and distances shown on the plan of subdivision.
 - a) Restriction as to user in respect of lots for a private garbage service to be in place requiring the collection of all domestic waste comprising general waste (rubbish), recycling and food and garden organics by a private contractors. All wastes are to be collected as separate waste streams.
 - Details are to be submitted to Council prior to issue of the Subdivision Certificate.
- (23) (E080)The applicant is required to make provision in the application for a Subdivision Certificate: dedication as public road of the area required for road widening,
 - a. dedication as public road of a 3m splay corner.
- (24) (E082) Submission of a compliance certificate accompanying Works as Executed plans with detail included as required by Council's current AUSPEC Specifications. The information is to be submitted in electronic format in accordance with Council's "CADCHECK" requirements detailing all infrastructure for Council to bring in to account its assets under the provisions of AAS27. This information is to be approved by Council prior to issue of the Subdivision or Occupation Certificate. The copyright for all information supplied, shall be assigned to Council.
- (25) E(195) Prior to the issuing of any type of Occupation Certificate or occupation of the site, whichever occurs first, certification from a suitably qualified and practising professional clearly certifying that the construction of the first row of manufactured homes facing Ocean Drive on Lot 1 through to Lot 13 and Lot 136 have been constructed in full accordance with the recommendations made in the Spectrum Acoustics Noise Impact Assessment Report, shall be submitted to the PCA and Council

(26) (E027) A final site inspection of any community or recreational building containing any food preparation areas shall be arranged by the Applicant and shall be undertaken by Council's Environmental Health Officer.

F – PRIOR TO OCCUPATION OF INDIVIDUAL MANUFACTURED HOMES / ISSUE OF CERTIFICATE OF COMPLETION IN ACCORDANCE WITH SECTION 69 OF LOCAL GOVERNMENT (MANUFACTURED HOME ESTATES, CARAVANS, CAMPING GROUNDS AND MOVEABLE DWELLINGS) REGULATION

- (1) The installation of a manufactured home within the estate is to comply with Division 4 of Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
- (2) The community facilities and recreational facilities shall be completed and Occupation Certificate issued prior to occupation or the issue of any certificate of completion of a manufactured home within the estate.
- (3) Payment to Council of the Section 7.11 contributions set out in the "Notice of Payment Developer Charges" schedule attached to this consent and/or as amended by a "Notice of Payment Developer Charges" issued at the time of installation of a manufactured home (based upon the number of bedrooms in the individual manufactured home), unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental Planning and Assessment Act 1979 as amended, and in accordance with the provisions of the following plans:
 - Port Macquarie-Hastings Administration Building Contributions Plan 2007
 - Hastings S94 Administration Levy Contributions Plan
 - Port Macquarie-Hastings Open Space Contributions Plan 2018
 - · Hastings S94 Major Roads Contributions Plan
 - Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005
 - Port Macquarie-Hastings Section 94 Local Roads Contributions Plan Areas 13, 14 and 15

The plans may be viewed during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.

(4) (DG026) As part of Notice of Requirements by Port Macquarie-Hastings Council as the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to this consent and/or as amended by a "Notice of Payment - Developer Charges" issued at the time of installation of a manufactured home (based upon the number of bedrooms in the individual manufactured home), is required to be paid to Council, unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with the provisions of the relevant Section 64 Development Servicing Plans and towards the following:

- · augmentation of the town water supply headworks
- · augmentation of the town sewerage system headworks
- (5) Timing of payment of monetary contributions:
 - A Section 68 application for the installation of a manufactured home is to be lodged with Council, including a site map indicating the location of each site. Council may then issue notification of contributions payable.
 - Prior to occupation of any manufactured home, a Notice of completion is to be lodged with Council accompanied by the required contributions for that manufactured home, and specifying the location of each site.

G - OCCUPATION OF THE SITE

- (1) (F001) On site car parking in accordance with the approved plans to be provided in an unrestricted manner at all times during the operations of development for use by both staff, residents and visitors to the Manufactured Home Estate.
- (2) (F013) All garbage areas are to be screened from the street, create no adverse odour impact on adjoining properties and be kept free of pests at all times.
- (3) (F024) Offensive noise as defined under the Protection of the Environment Operations Act 1997, shall not be generated as a result of the operation of the development.
- (4) (F001) On site car parking in accordance with the approved plans to be provided in an unrestricted manner at all times during the operations of development for use by both staff and patrons.
- (5) (F003) All loading and unloading operations associated with servicing the site must be carried out within the confines of the site, at all times and must not obstruct other properties/units or the public way.
- (6) (F024) Offensive noise as defined under the Protection of the Environment Operations Act 1997, shall not be generated as a result of the operation of the development.
- (7) (F027) The swimming pool filtration motor shall be operated between the following hours only:

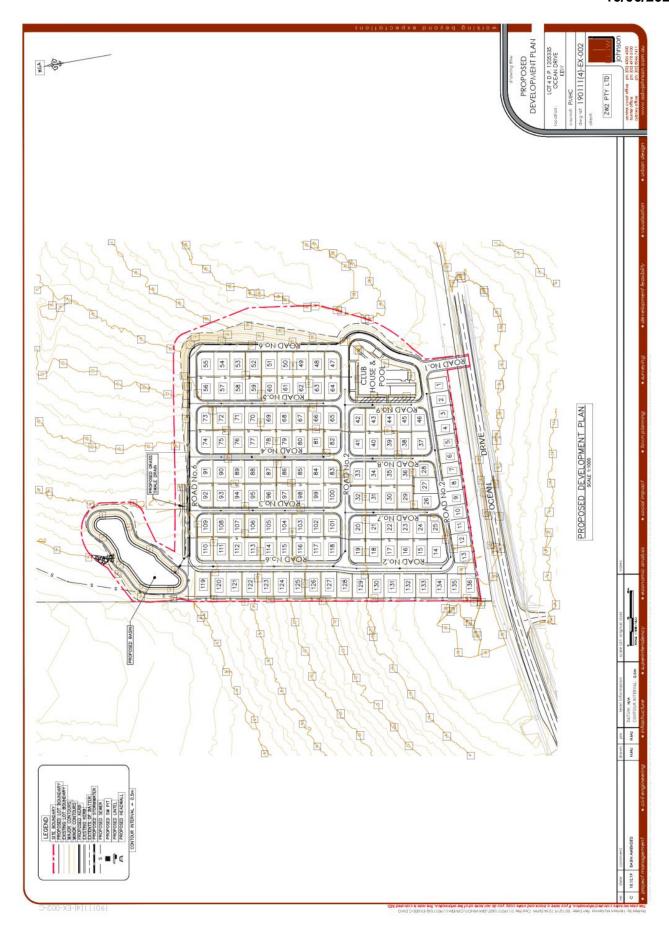
Monday to Friday (other than a public holiday) 7.00 am – 8.00 pm

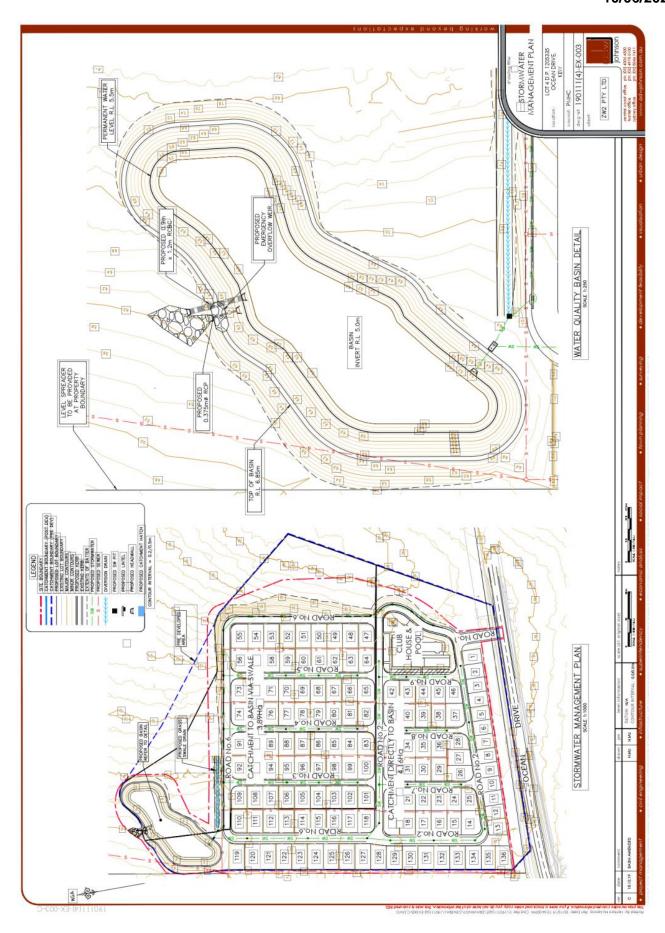
Saturday to Sunday and Public Holidays 8.00 am - 8.00 pm

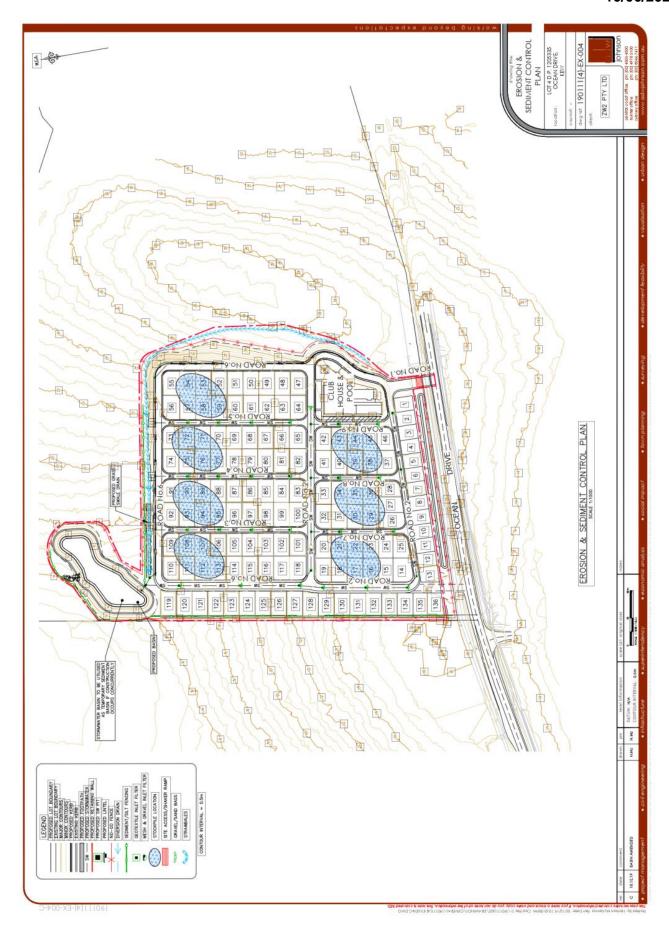
The pool filtration motor shall be enclosed with an effective soundproof unit.

(8) (F036) Any exterior lighting on the site shall be designed and installed so as not to cause a nuisance or adverse impact on the amenity of the surrounding area by light overspill. The lighting shall be the minimum level of illumination necessary for safe operation and must be designed, installed and used in accordance with AS 4282 control of the obtrusive effects of outdoor lighting. No flashing, moving or intermittent lighting is permitted on the site.





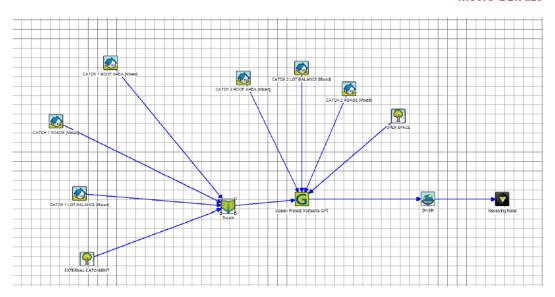






Appendix A

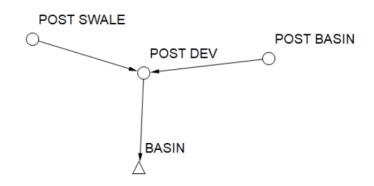
MUSIC DETAILS



MUSIC Model - Ocean Drive, Kew

RAFTS DETAILS





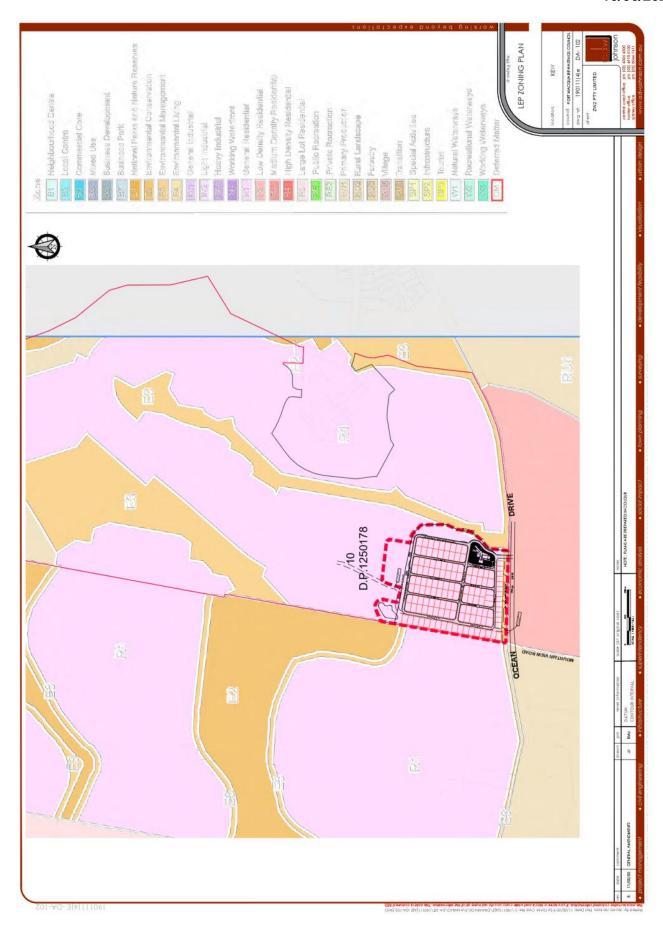
RAFTS Model - Ocean Drive, Kew

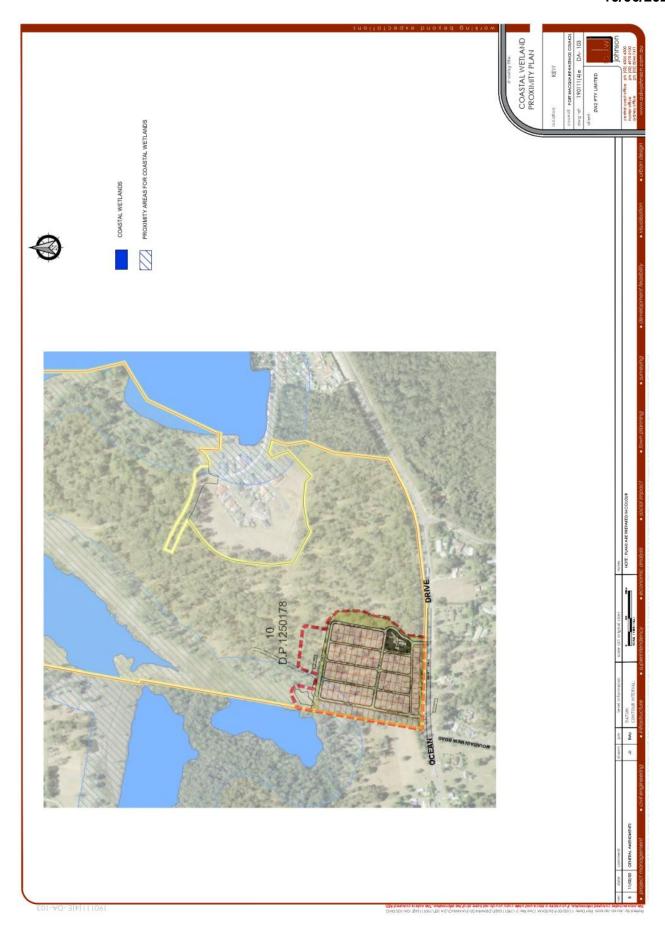


Attachment 2

AMENDED PLAN SETS













LANDSCAPE DEVELOPMENT APPLICATION DOCUMENTATION (DA) MANUFACTURED HOME RESORT

LOT 10, DP1250178, OCEAN DRIVE, KEW, NSW 2439.

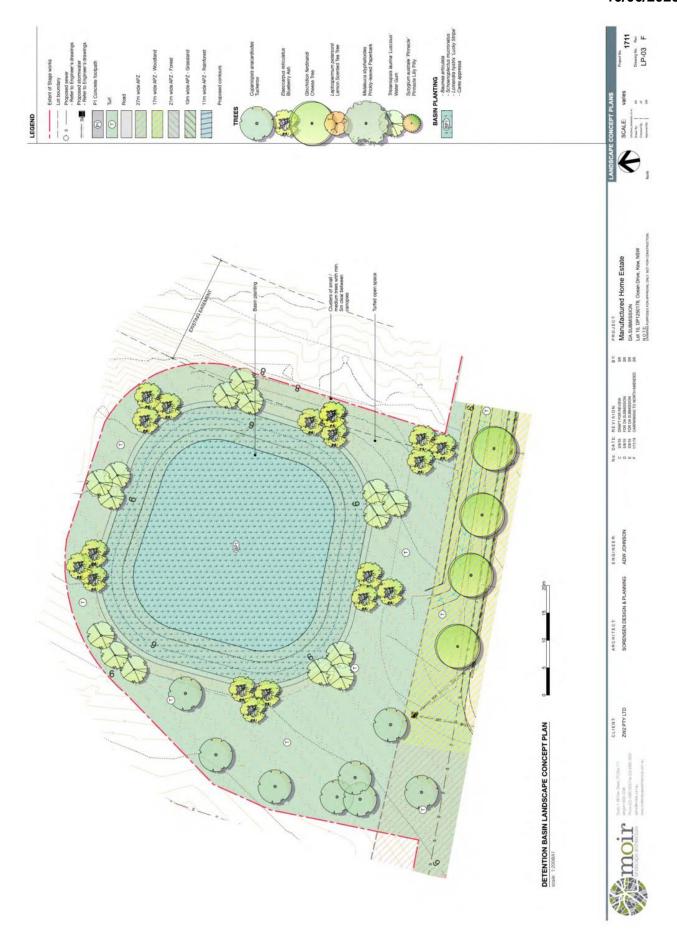
5/8/19 5/8/19 5/8/19 5/8/19 5/8/19 шшшшш LANDSCAPE CONCEPT MASTERPLAN ANDSCAPE CONCEPT PLANS LANDSCAPE CONCEPT PLANS THEMING PLAN COVER SHEET Sheet Name Sheet No. LP-00 LP-01 LP-02 LP-03 LP-04



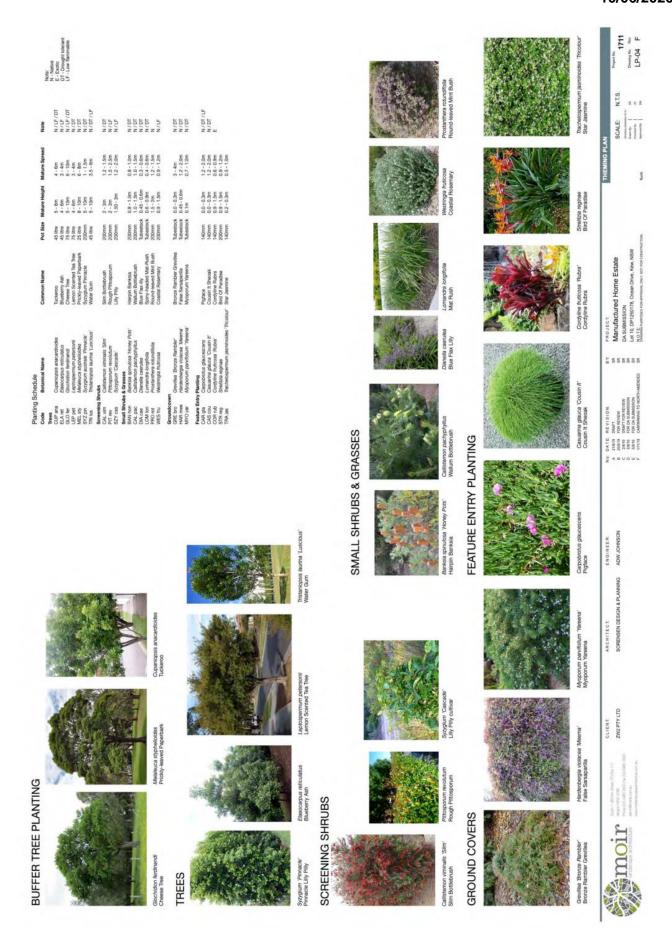




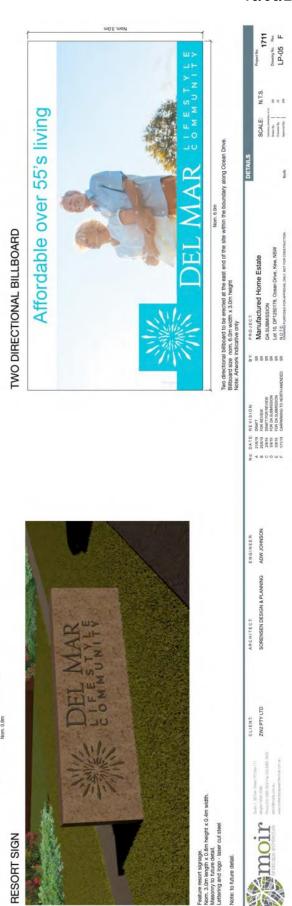




DEVELOPMENT ASSESSMENT PANEL 10/06/2020



DEVELOPMENT ASSESSMENT PANEL 10/06/2020

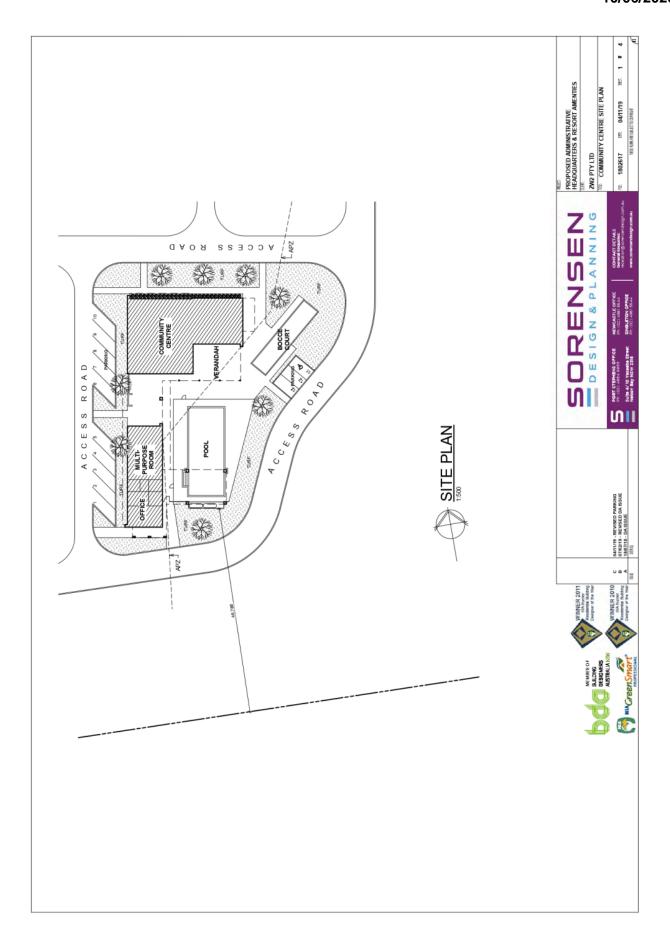


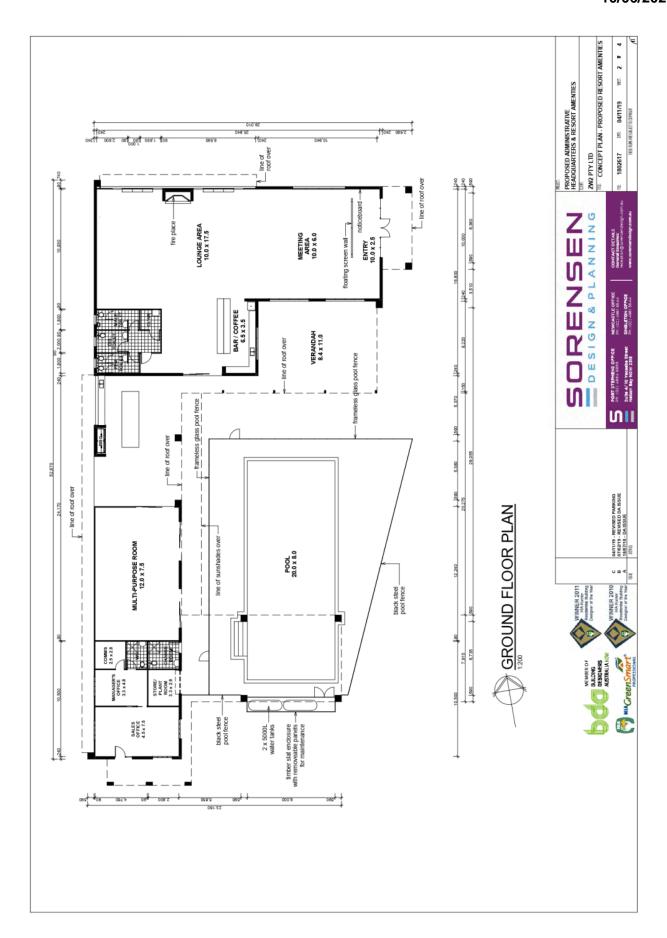
YOUR NEW LIFESTYLE AWAITS

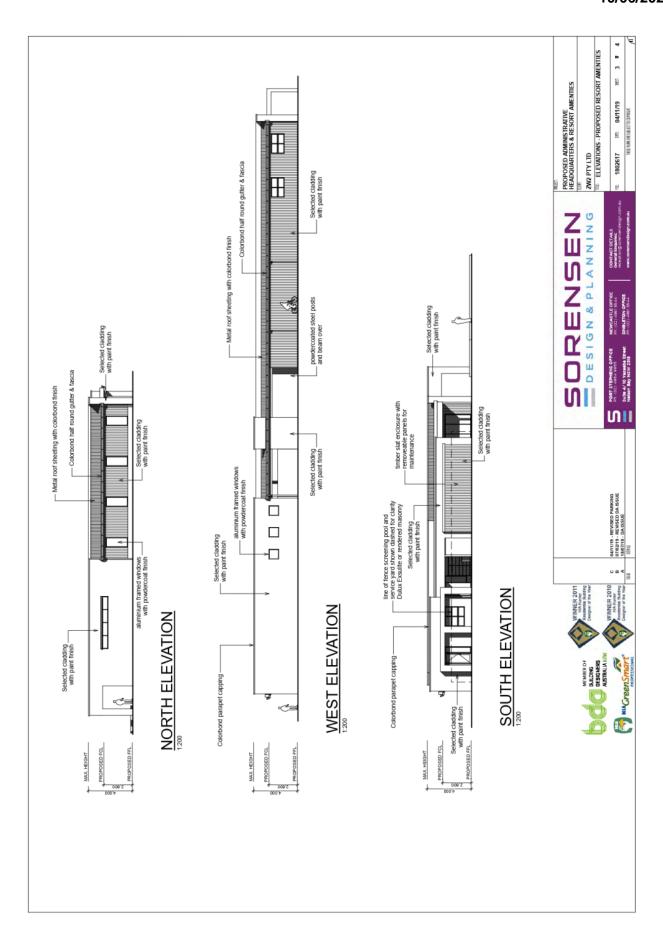
FLAG POLE BANNERS

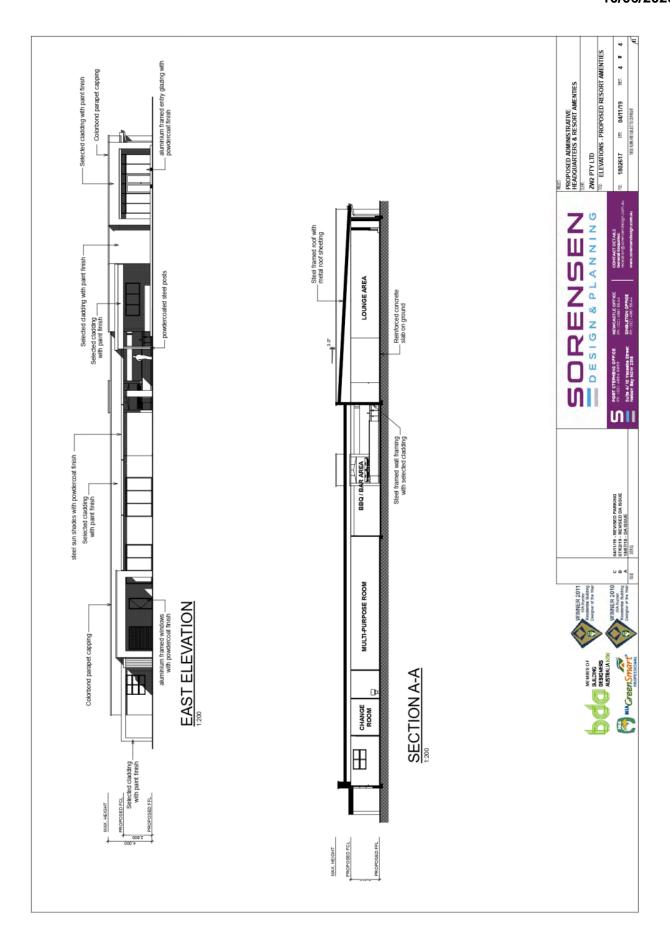
Banners to be attached to 4 x flagpoles within the boundary along Ocean Drive. Banner size nom. 2.4m height x 0.8m width

Note: to future detail.

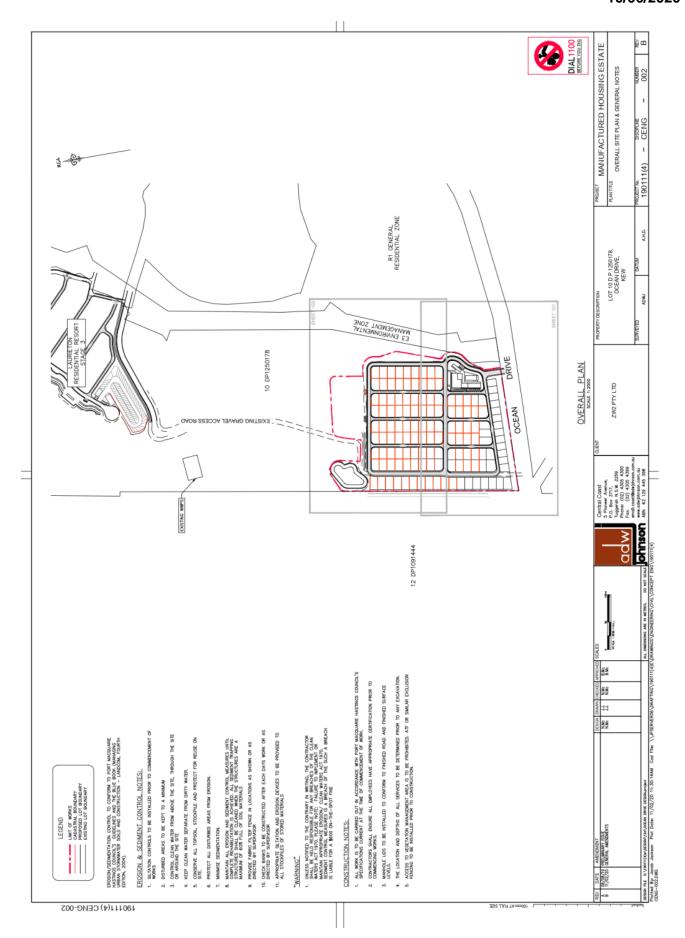




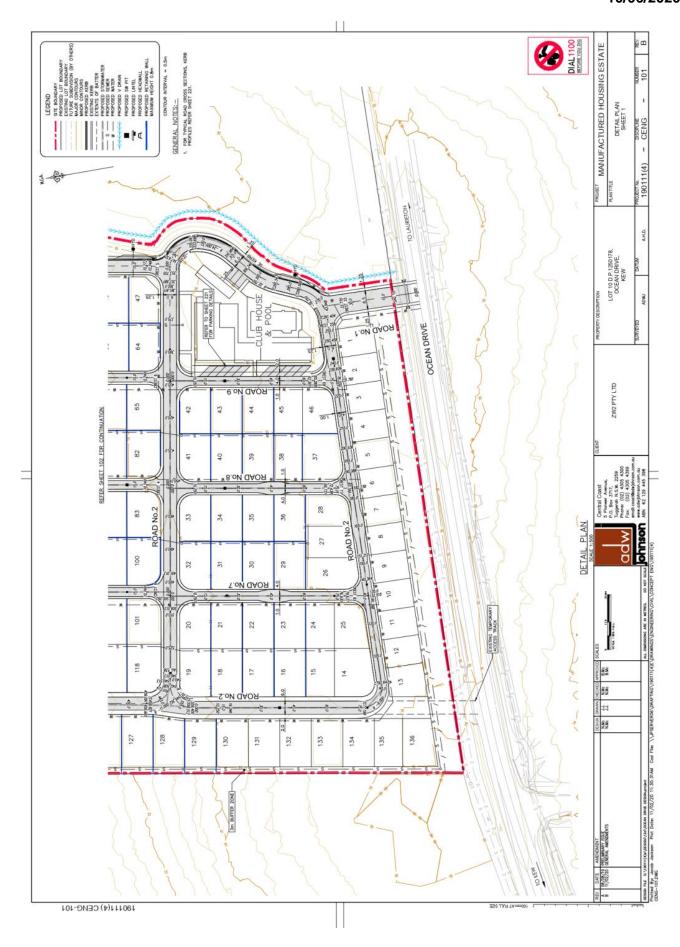




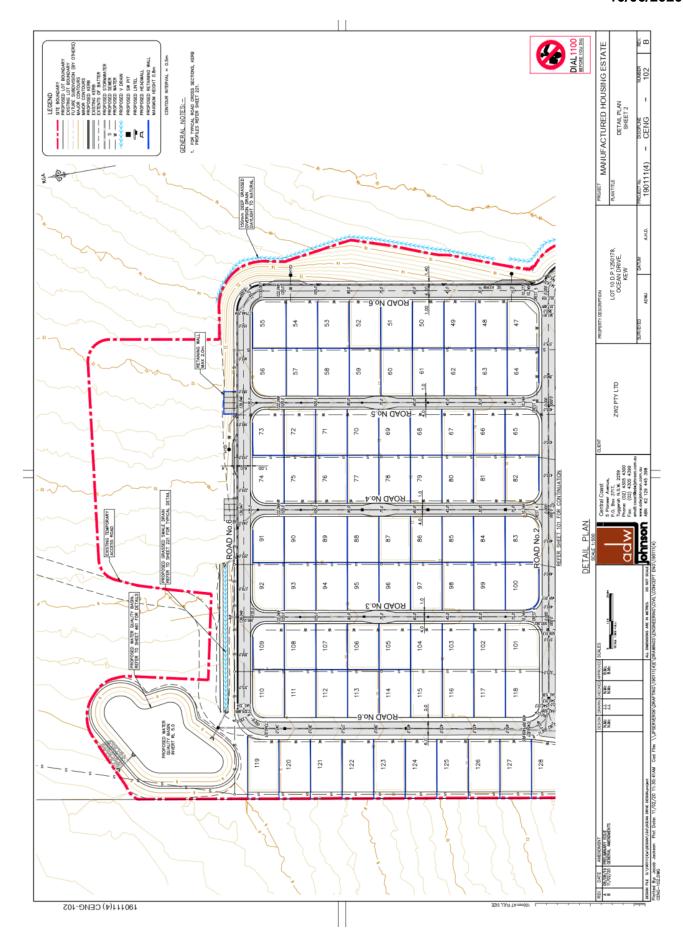




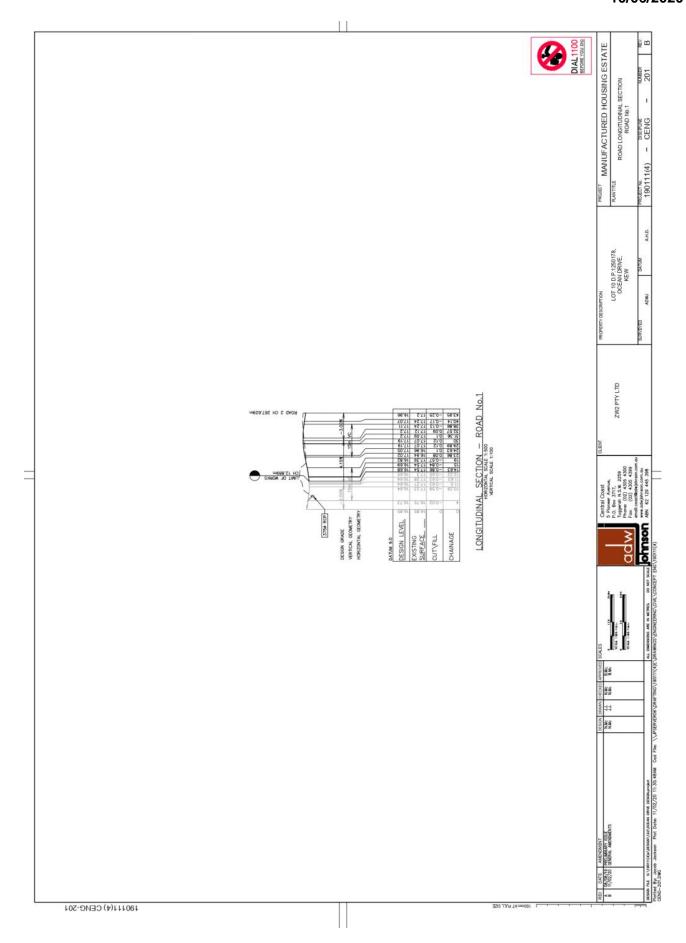


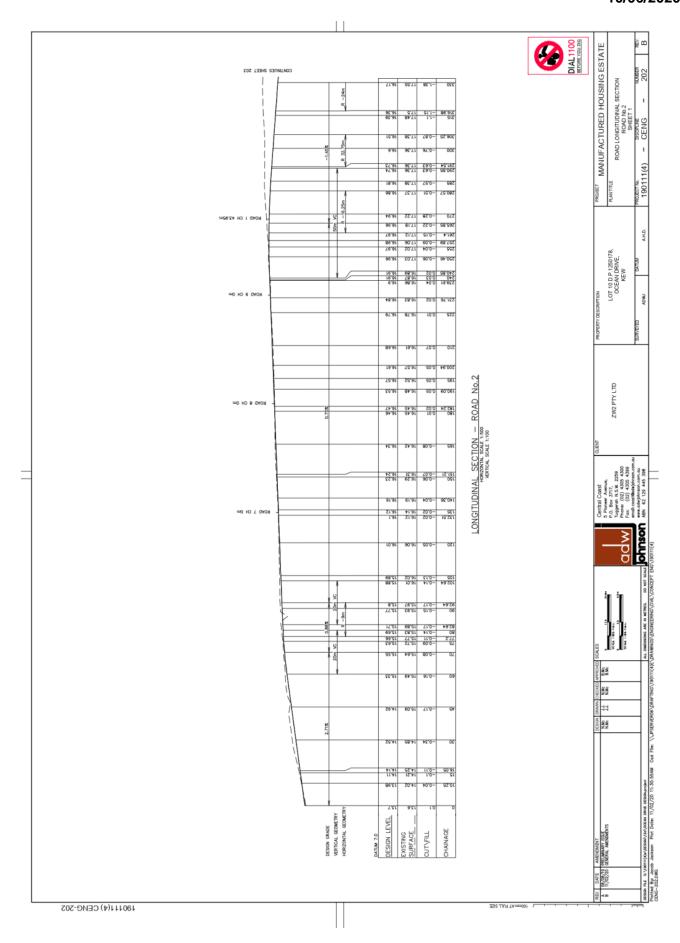


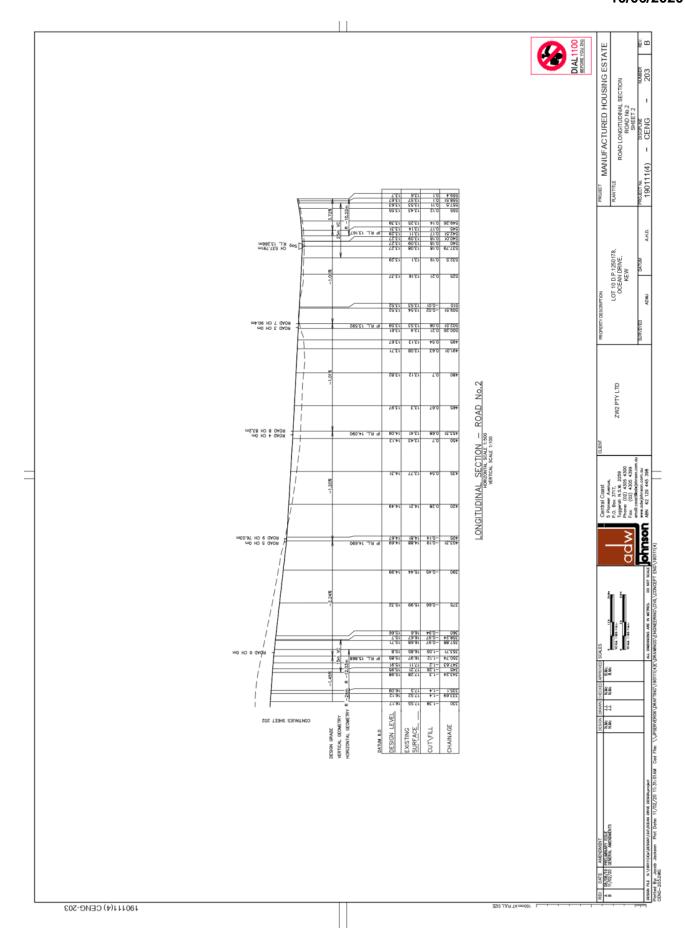
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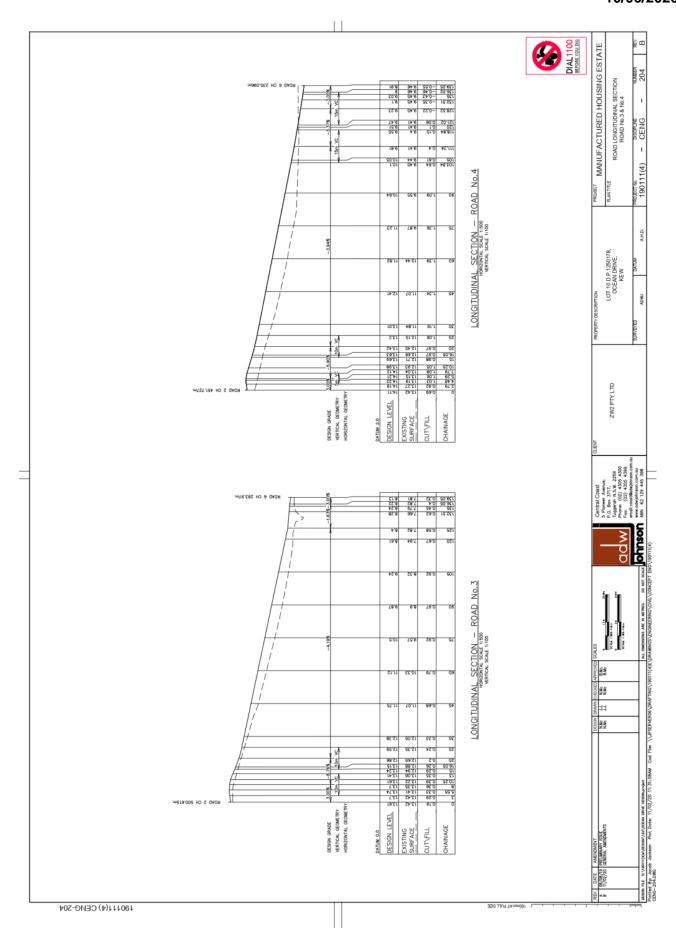
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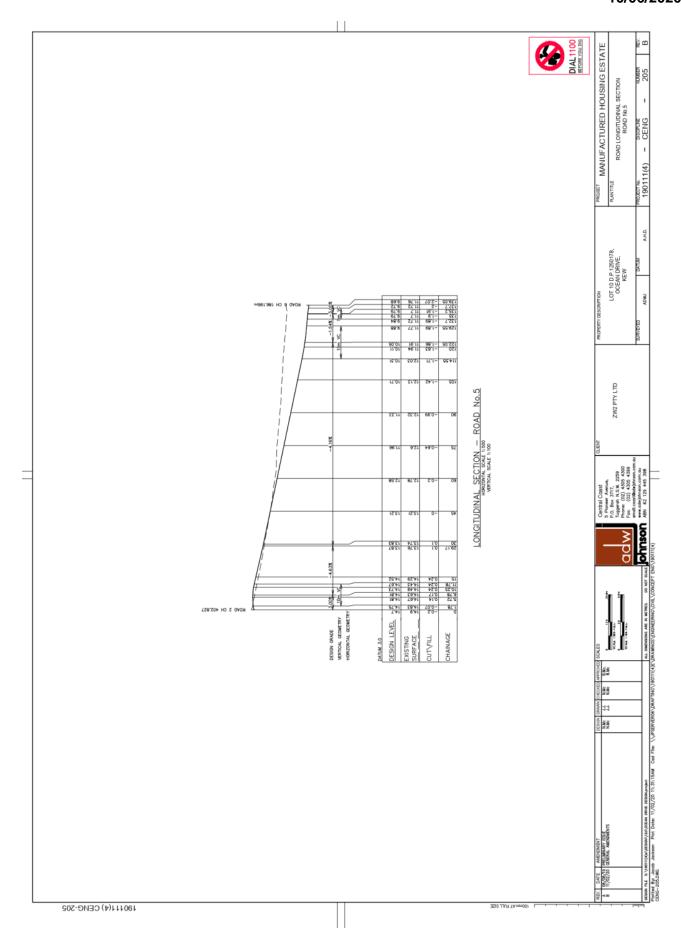


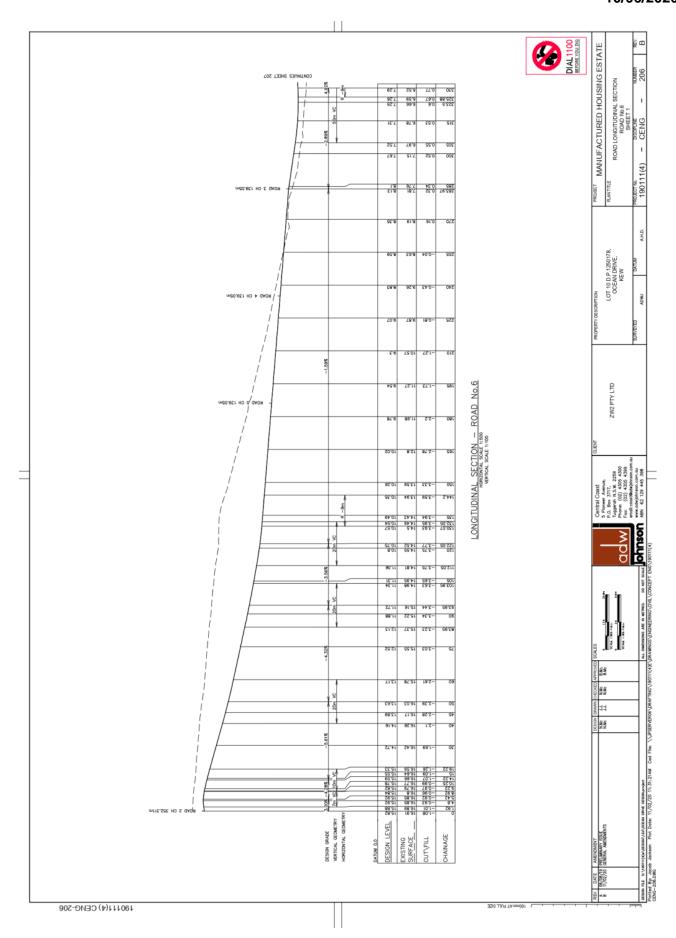


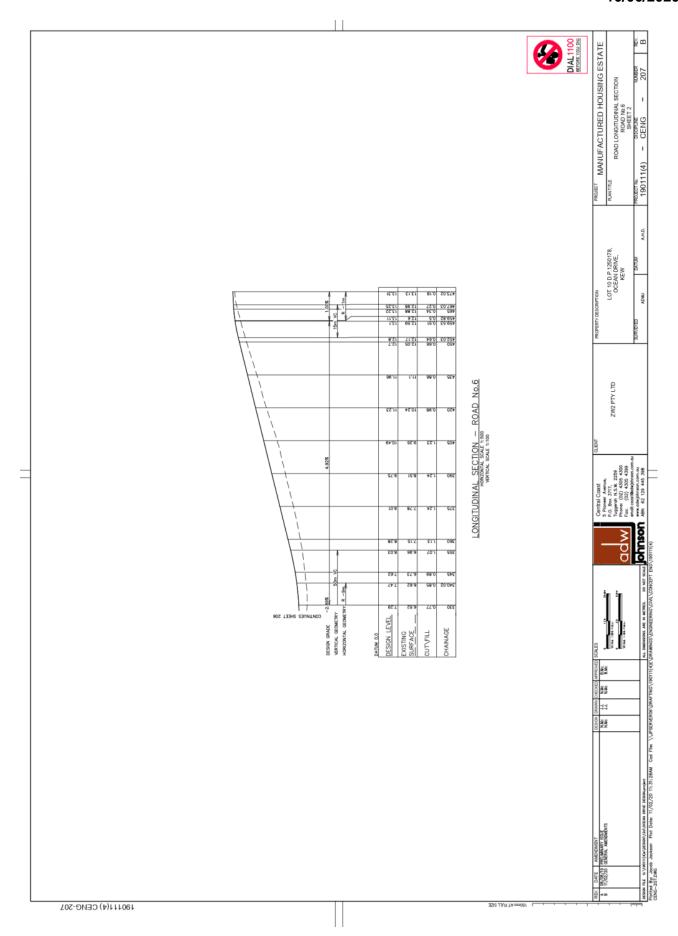


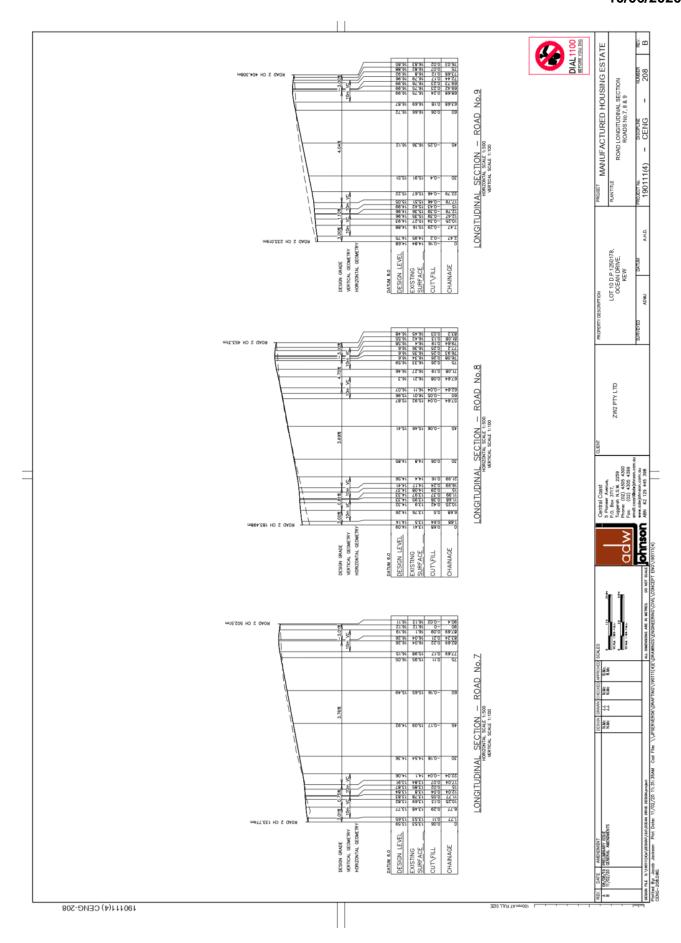
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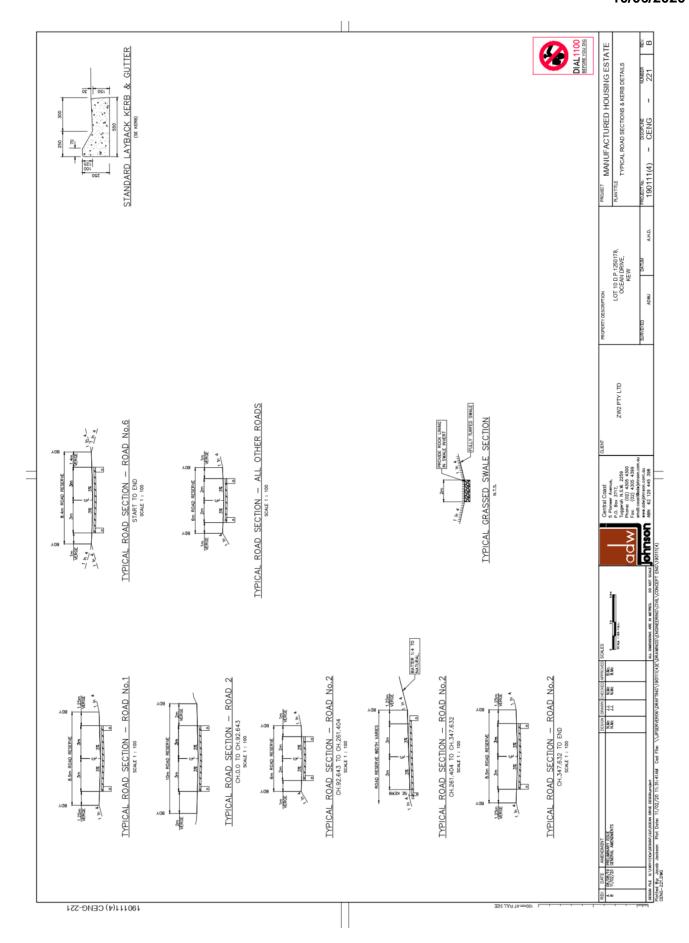




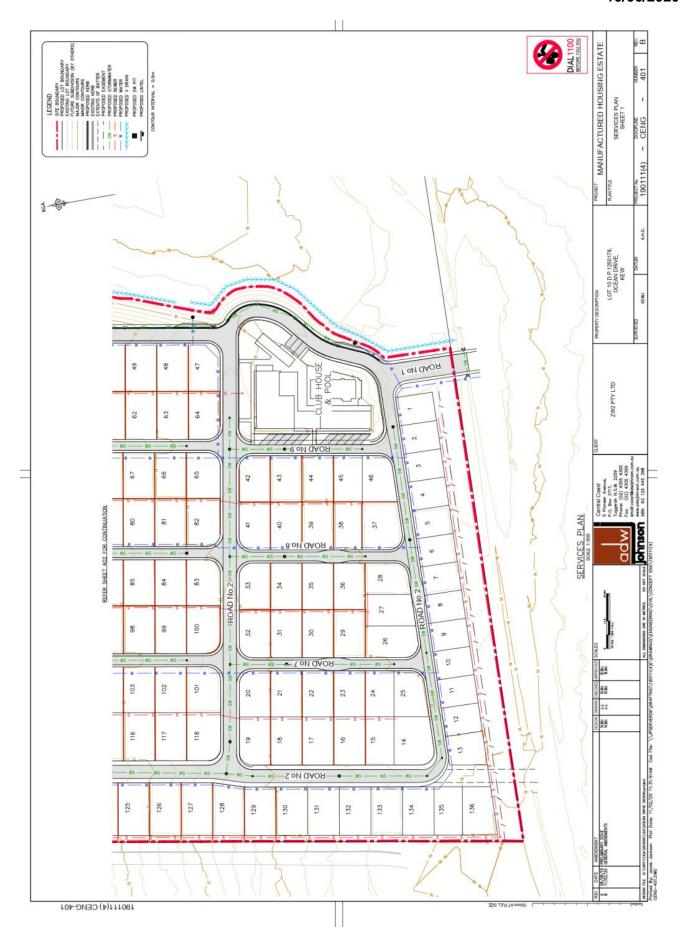




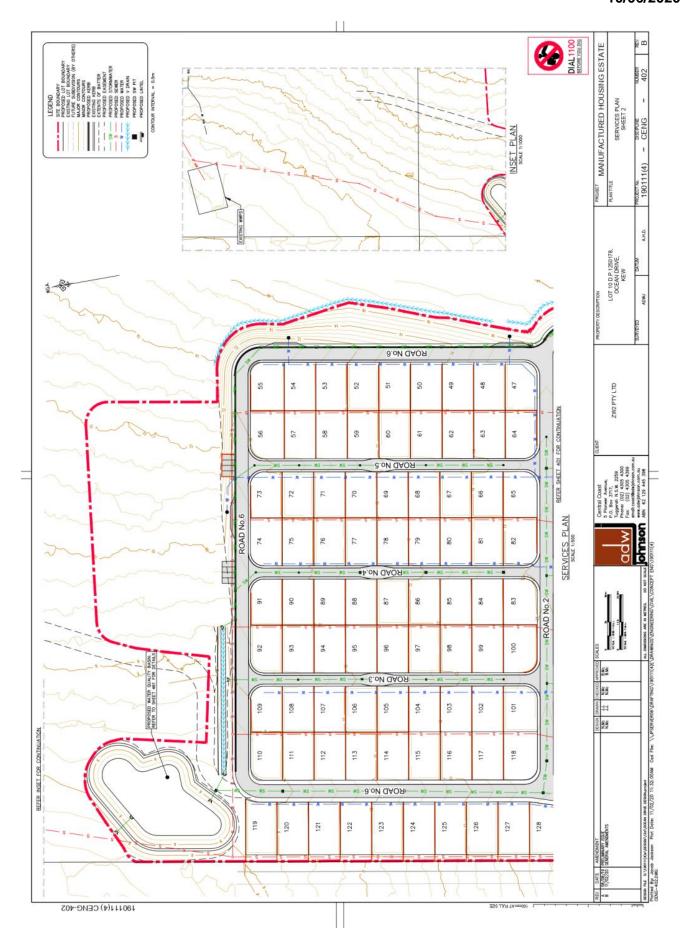
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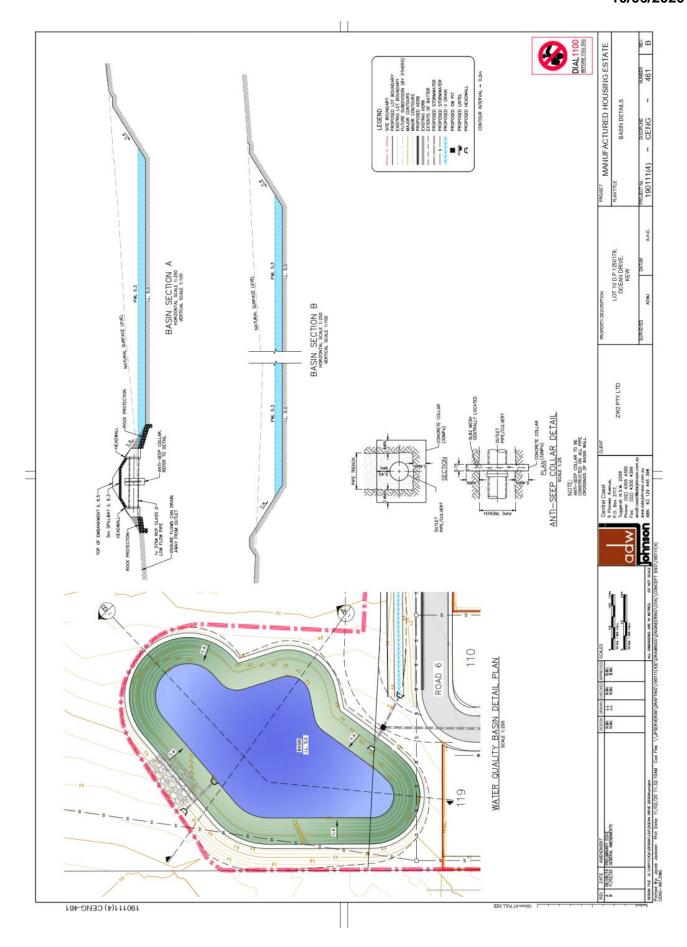


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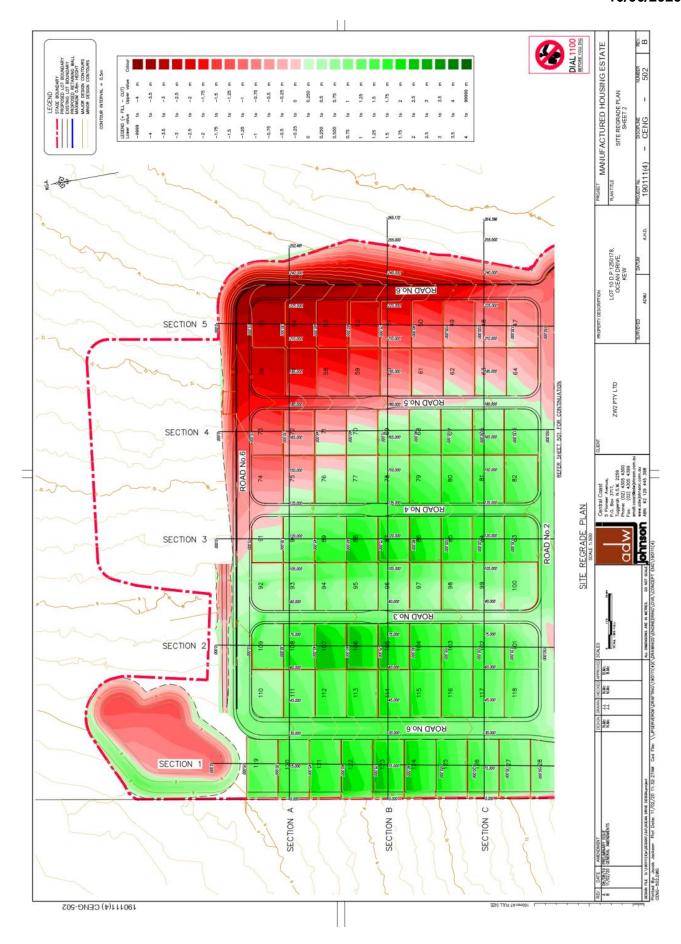




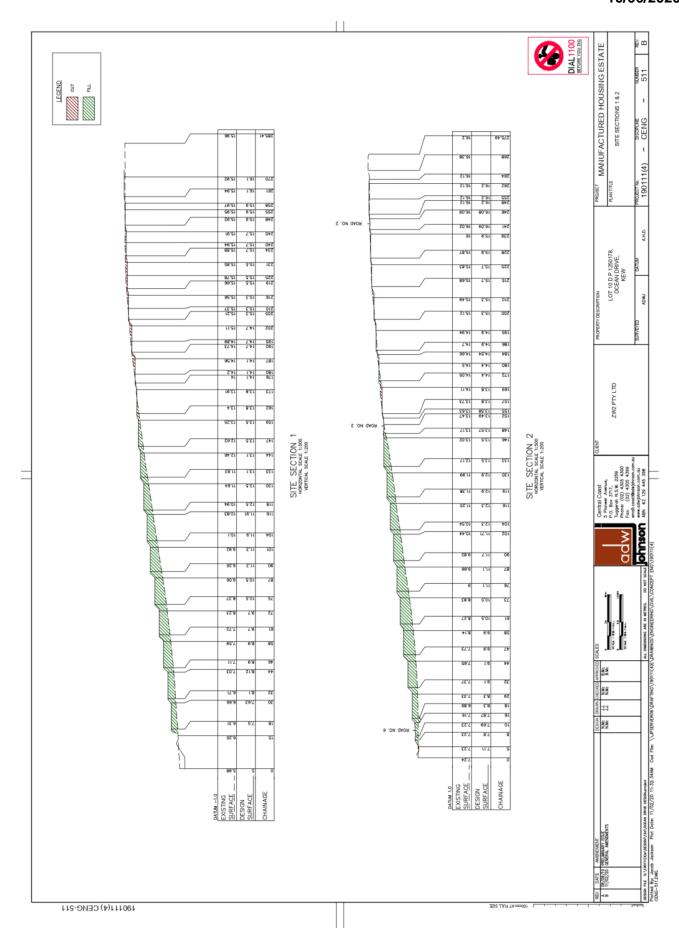
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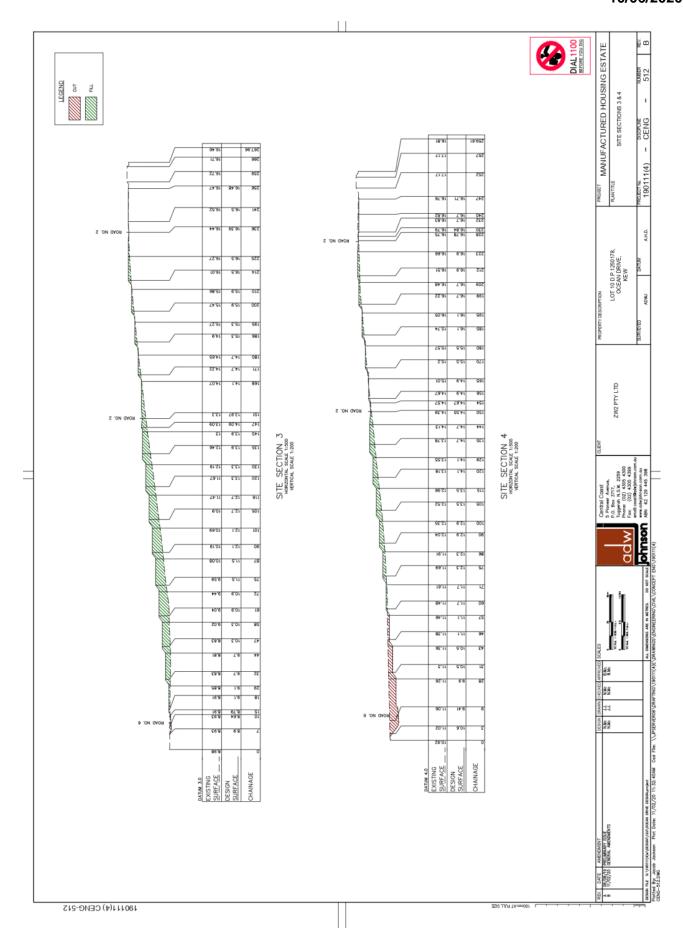
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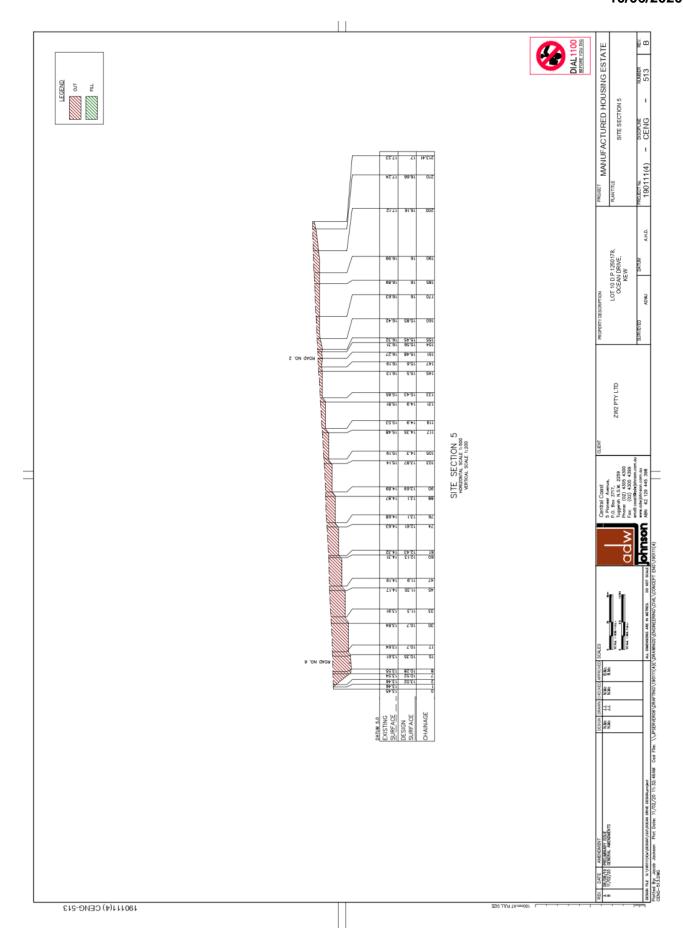
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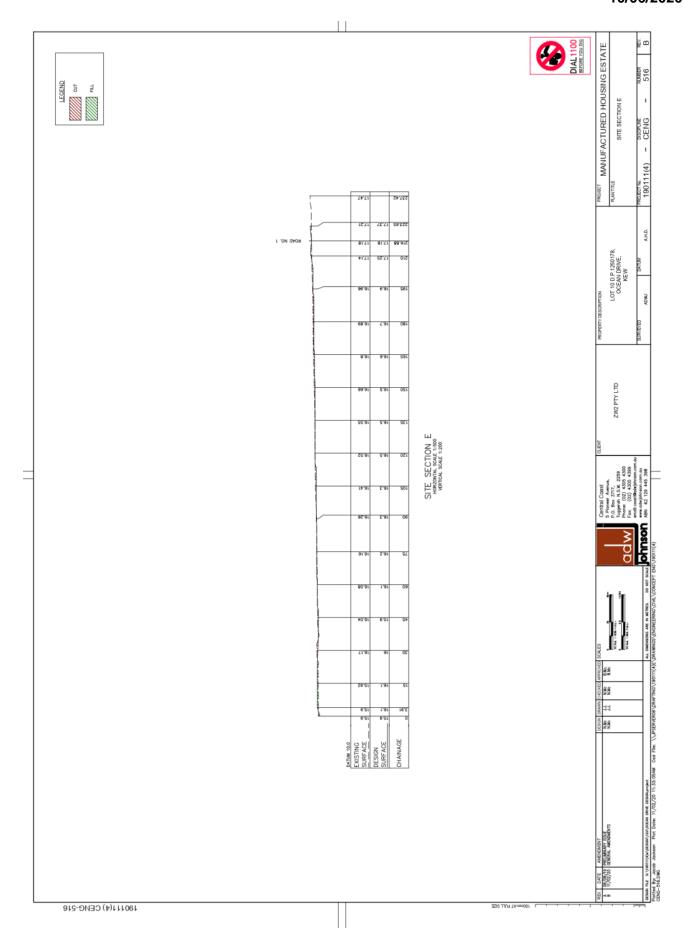


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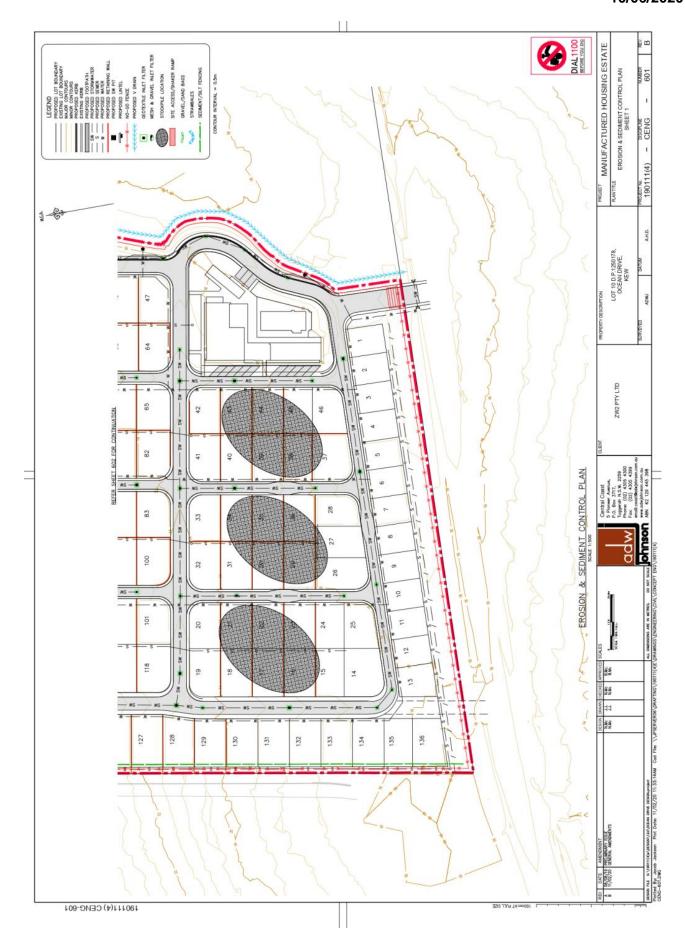


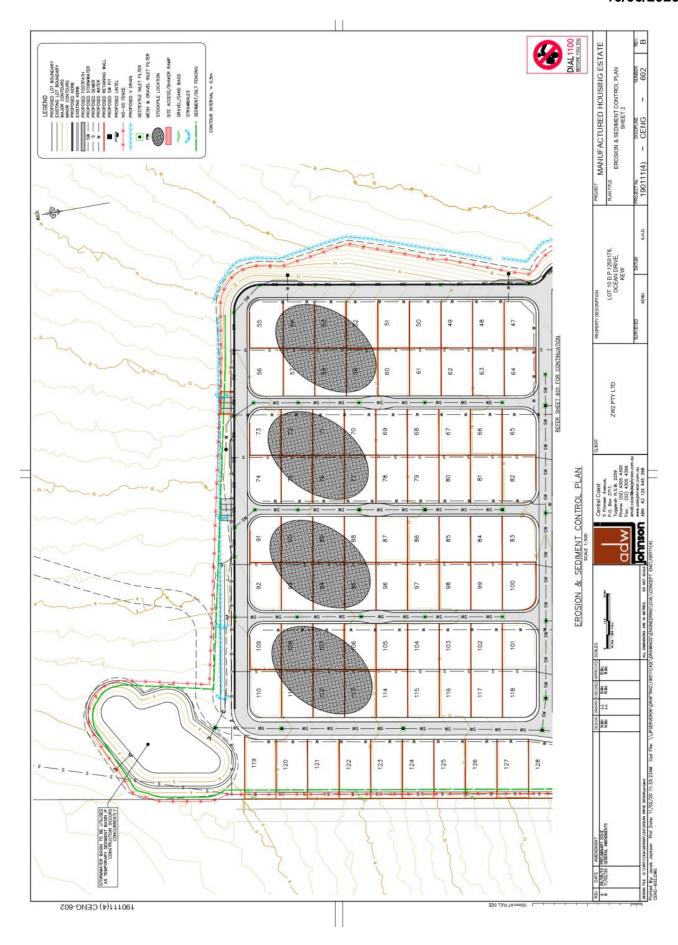
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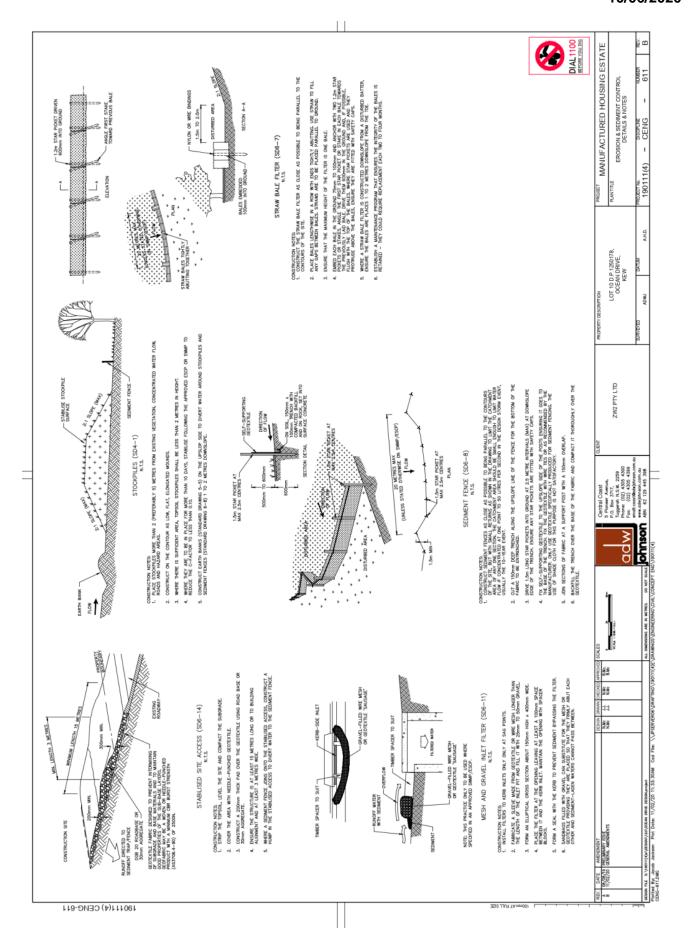




Item 08 Attachment 2







Developer Charges - Estimate

Applicants Name: ZW2 Pty Ltd
Property Address: 11 Resort Road, Kew
Lot & Dp: Lot(s):10,DP(s):1250178
Development: Manufactured Home Estate



Note: This quote has been prepared on the basis that all sites will contain a 2 bedroom home. However, specific contributions for each home will be

calculated at the time of installation.

Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000.

Other contributions are levied under Section 7.11 of the Environmental Planning and Assessment Act and Council's Contribution Plans.

	Other contributions are levied under Section 7.11 of the Environmental Planning and Assessment Act and Council's Contribution Plans.				
	Levy Area	Units	Cost		Estimate
1	Water Supply	82.435	\$10,322.00	Per ET	\$850,894.00
2	Sewerage Scheme Camden Haven	102.84	\$3,916.00	Per ET	\$402,701.80
3	Since 13.6.14 - Local Roads - Camden Haven - Area 15	91.12	\$16,175.00	Per ET	\$1,473,866.00
4	Since 31.7.18 - Open Space - Camden Haven - Per ET	91.12	\$6,081.00	Per ET	\$554,100.70
5	Commenced 3 April 2006 - Com, Cul and Em Services CP - Camden Haven	91.12	\$4,507.00	Per ET	\$410,677.80
6	Com 1.3.07 - Administration Building - All areas	91.12	\$921.00	Per ET	\$83,921.50
7	Commenced 3 April 2006 - Com, Cul and Em Services CP - Bushfire	91.12	\$511.00	Per ET	\$46,562.30
8	N/A				
9	N/A				
10	N/A				
11	N/A				
12	N/A Not for Payme		4 PL	ırp	oses
13	Not for Payme				
14	N/A				
15	Admin General Levy - Applicable to Consents approved after 11/2/03	- 2	2.2% S94 Contribu	tion	\$56,520.80
16					
17					
18					
	Total Amount of Estimate (Not for Payment Purposes)				\$3,879,244.90

NOTES: These contribution rates apply to new development and should be used as a guide only.

Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).

Das will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement.

Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

2-Jun-2020

Estimate Prepared By Clinton Tink

This is an ESTIMATE ONLY - NOT for Payment Purposes

otes\ZW2 Pty Ltd, 11 Resort Road, Kew, 2-Jun-2020.xls

PORT MACQUARIE-HASTINGS COUNCIL



190111(4)E/BSA/AB

18th February 2020

The General Manager
Port Macquarie Hastings Council
council@pmhc.nsw.gov.au

Attention: Fiona Tierney

Dear Fiona,

RE: RESPONSE TO REQUEST FOR ADDITIONAL INFORMATION DA 2019-552 MANUFACTURED HOME ESTATE LOT 10 DP 1250178, 11 RESORT ROAD KEW

We refer to Council's RFI emails of 28th and 29th October, and 26th November 2019, and hereby provide the following point by point response:

28th October 2019

Our stormwater Engineer has reviewed the plans and has requested the following:

• The MUSIC water quality summary indicates that all development runoff will be treated via a grassed swale and then into a water quality basin. The provided stormwater plans however are not consistent with the model, as a vast majority of the development's stormwater infrastructure bypasses the swale and directly discharges into the basin. The applicant shall update the MUSIC model to replicate the stormwater design, or the stormwater layout shall be amended to replicate the model.

Response: The MUSIC model has been updated to replicate the stormwater design, with an amended SWMP provided as **Attachment 1**.

ADW JOHNSON PTY LIMITED

ABN 62 129 445 398

Sydney
Level 35 One International Towers
100 Barangaroo Avenue
Sydney NSW 2000
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Hunter 7/335 Hillsborough Road, Warners Bay NSW 2282 02 4978 5100

hunter@adwjohnson.com.au

Item 08 Attachment 4



• The stormwater management report by ADW Johnson dated August 2019 states that the basin has not been designed to provide detention benefits. The proposed location for the water quality basin is located on the western boundary of the Lot, and the topography of the land indicates that stormwater discharge from the basin will flow into the adjoining property to the west. The applicant shall demonstrate how the proposed increase of impervious area and the resulting increase to stormwater discharge will be mitigated without increasing discharge quantities to the adjoining land, as an increase to concentrated flow into the neighbouring property would be contravening common law principles.

Response: An amended SWMP is provided as Attachment 1.

The proposed stormwater system has been designed to safely convey the minor and major flows from within the development to the receiving waters without adversely impacting downstream properties and infrastructure.

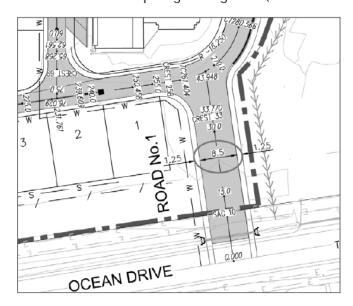
Detention storage has been modelled using the XPRAFTS software and designed to limit the peak runoff from the post developed catchment to less than or equal to the peak runoff of the pre developed catchments. Accordingly, the proposal does not represent the potential for any increased rates of runoff to adjoining sites.

29th October 2019

Please check the following for compliance:

The entry/exit road connecting to Ocean Drive must be a minimum of 8m wide.

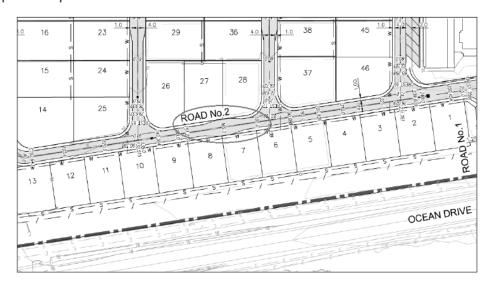
Response: The entry/exit road connecting to Ocean Drive is of a compliant width being 8.5m, as illustrated on the Concept Engineering Plans (refer to Sheet 101).





 The road fronting Lots 1-13 requires a 6m wide passing bay as it exceeds 80m in length.

Response: The Development Plans and Concept Engineering Plans have been amended to include the required 6m wide passing bay. A copy of these amended plans are provided within **Attachment 2**.



Carparking layout to be finalised/made consistent across the submitted plans.

Response: Carparking illustrated within the Landscape Plans and Architectural Plans for the community building, have been amended to be consistent with those illustrated with the Development Plans Concept Engineering Plans. A copy of these amended plans is provided as **Attachment 2**.

26th November 2019

Can you please confirm that you will have 10% community facilities. If you could break down what is being calculated. Is there any sharing of facilities with the original Laurieton Resort?

Response: No sharing of facilities is proposed with the original Laurieton Resort. The proposed plans have now been amended to include a passive recreation community area (which will contain picnic tables), in addition to the area containing the club house, pool and bocce court.

The community facilities onsite therefore come to a total of 9,340m², representing 12.6% of the site area – as illustrated within "Community Land Identification Plan" which now forms Sheet 003 of the CENG set (refer to **Appendix 1**).



We trust this information is satisfactory and allows Council to grant consent to the application. Should you wish to discuss the above matter further, please do not hesitate to contact me on 43054300 or email adamc@adwjohnson.com.au.

Yours faithfully,

Adam Crampton Senior Town Planner ADW JOHNSON



Exhibits

ADW JOHNSON PTY LIMITED

ABN 62 129 445 398

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Central Coast 5 Pioneer Avenue Tuggerah NSW 2259 02 4305 4300

Hunter Region 7/335 Hillsborough Road Warners Bay NSW 2282 02 4978 5100

coast@adwjohnson.com.au

hunter@adwjohnson.com.au

Statement of Environmental Effects

Manufactured Home Estate

Property:

Lot 10 DP 1250178 Ocean Drive, Kew

Applicant:

ZW2 Pty Ltd

Date:

August 2019





Project Management • Town Planning • Engineering • Surveying Visualisation • Economic Analysis • Social Impact • Urban Planning

www.adwjohnson.com.au



Document Control Sheet

Issue No.	Amendment	Date	Prepared By	Checked By
Α	Draft V1	23/7/2019	BSA	BSA
В	Draft V2	26/7/2019	BSA	AC
С	Final for Lodgement	08/08/2018	BSA	AC

Limitations Statement

This report has been prepared in accordance with and for the purposes outlined in the scope of services agreed between ADW Johnson Pty Ltd and the Client. It has been prepared based on the information supplied by the Client, as well as investigation undertaken by ADW Johnson and the sub-consultants engaged by the Client for the project.

Unless otherwise specified in this report, information and advice received from external parties during the course of this project was not independently verified. However, any such information was, in our opinion, deemed to be current and relevant prior to its use. Whilst all reasonable skill, diligence and care have been taken to provide accurate information and appropriate recommendations, it is not warranted or guaranteed and no responsibility or liability for any information, opinion or commentary contained herein or for any consequences of its use will be accepted by ADW Johnson or by any person involved in the preparation of this assessment and report.

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The Client should be aware that this report does not guarantee the approval of any application by any Council, Government agency or any other regulatory authority.



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Statement of Environmental Effects - Manufactured Home Estate Lot 10 DP 1250178, Ocean Drive, Kew (Ref: 190111(4))

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		johnsor
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Appendix 13	Noise Impact Assessment
Appendix 14	Traffic Impact Assessment
Appendix 15	Stormwater Management Plan
Appendix 16	Bushfire Threat Assessment
Appendix 17	Social Impact Assessment
Appendix 18	CPTED Assessment
Appendix 19	Waste Management Plan

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1.0 Introduction

1.1 EXECUTIVE SUMMARY

ADW Johnson has been engaged by ZW2 Pty Ltd ('the proponent') to prepare and lodge a development application (DA) with Port Macquarie Hastings Council ('Council') for a Manufactured Home Estate within Lot 10 DP 1250178, Ocean Drive Kew ('the site').

This Statement of Environmental Effects has been prepared pursuant to the *Environmental Planning and Assessment Act 1979 (EP&A Act)* and accompanying regulations, and addresses the necessary issues that require assessment to assist Council in making a determination on the subject application.

The majority of the site is zoned R1 General Residential, with the exception of the northern portion of the site which is zoned RU1 Primary Production, and small areas of E3 Environmental Management and E2 Environmental Conservation zoned land which are provided throughout. The development area however, in which the proposed MHE is to be located, is zoned R1 General Residential. A strip of E3 Environmental Management zoned land is located across the Ocean Drive frontage which is to provide a landscaped buffer for the development.

The proposal seeks to create a manufactured home estate comprising 136 home sites, community centre, swimming pool, bocce green, multi-purpose room and site office. Road, water, sewer, power, telecommunications, stormwater controls and landscaping will also be provided under the proposal.

The site adjoins 'Camden Haven Urban Release Area 15' to the west - an area identified for maximising opportunities for urban development in a socially, economically and environmentally sustainable manner. Additionally, a large section of the residential zoned land within the centre of the subject site, has been developed as a manufactured home estate known as 'Laurieton Residential Resort', with the final stages currently under construction.

The MHE is proposed exclusively for Over 55's living (at least one homeowner must be 55 years or older, with a maximum of two permanent residents per home). This modern day approach to retirement living allows residents to retire in a luxury resort style environment that still makes solid financial sense. By owning their home, residents are able to retain a tangible investment that has the ability to grow in value, just like traditional real estate, but with NO exit fees and NO deferred management fees. By renting the land, residents can lower their initial purchase price and, in many cases, qualify for government rent assistance. Residents can also access a wide array of superb amenities that are maintained by management. This model strikes a great balance between luxury, quality and financial sense.

ZW2 Pty Ltd has more than a decade of experience in creating and managing residential land lease communities in NSW. The most recent project, Laurieton Residential Resort is the proud winner of:

- The 2015 MHIA Awards of Excellence, Best Estate in NSW
- The Most Outstanding Over 50s Estate in Australasia 2015, and
- The 2017 Best Land Lease Community awarded by the NSW Land Lease Living Association.

Statement of Environmental Effects – Manufactured Home Estate Lot 10 DP 1250178, Ocean Drive, Kew (Ref: 190111(4))



Given the above, the proposed development site is considered an obvious and ideal location for the development of a manufactured home estate, within the remaining cleared R1 zoned land in the south-western portion of the subject site. Manufactured Home Estates have become a fundamental component of the efforts to address housing affordability within NSW, and a means by which people are able to live in a community where they can enjoy the benefits of proximity to neighbours and to the range of facilities available to the residents.

Overall the proposed development complies with all relevant provisions of the Port Macquarie Hastings Local Environmental Plan 2011 ("LEP") as well as the relevant aims and objectives of the Port Macquarie Hastings Development Control Plan 2013 ("DCP)". Where the development does not comply with numerical requirements under the DCP, adequate justification has been supplied illustrating that the development continues to achieve the objectives of that control.

No unmanageable issues have been identified in relation to transport, visual and acoustic privacy, heritage, acid sulfate soils, flooding, bushfire, flora and fauna or provision of utilities.

On this basis, Council is requested to grant consent to the application.

1.2 DEVELOPMENT APPLICATION DETAILS

STATEMENT OF ENVIRONMENTAL EFFECTS PREPARED BY:		
Name:	ADW Johnson Pty Ltd 5 Pioneer Ave, Tuggerah NSW 2259	
Contact:	Adam Crampton -Town Planner Ph: (02) 4305 4300 Fax: (02) 4305 4399 Email: adamc@adwjohnson.com.au	
PROJECT DETAILS:		
Applicant Name	ZW2 Pty Ltd	
Applicant Name:	c/- ADW Johnson Pty Ltd	
Owners' Details:	ZW2 PTY Limited	
Property Description:	Lot 10 DP 1250178 Ocean Drive Kew	
Project Description:	Manufactured House Estate	
PROJECT TEAM:		
Town Planner	ADW Johnson	
Civil Engineer ADW Johnson		

Statement of Environmental Effects – Manufactured Home Estate Lot 10 DP 1250178, Ocean Drive, Kew (Ref: 190111(4))



Landscape Design	Moir Landscape Architects
Architect	Sorensen Design and Planning
Bushfire David Pensini	
Aboriginal Heritage	McCardle Cultural Heritage
Geotech	Coffey
Traffic	Intersect Traffic
Acoustic	Spectrum Acoustics
Social	AIGIS Group
CPTED	James Marshall & Co
Stormwater	ADW Johnson
Waste	ADW Johnson



2.0 Site Description

2.1 LOCATION

The subject site is located on the northern side of Ocean Drive, Kew; bordering onto Lakewood (see Figure 1). The development area is located within the south-western corner of the subject site (see Figure 2).



Figure 1: Wider Locality Map (Source: Google Maps)



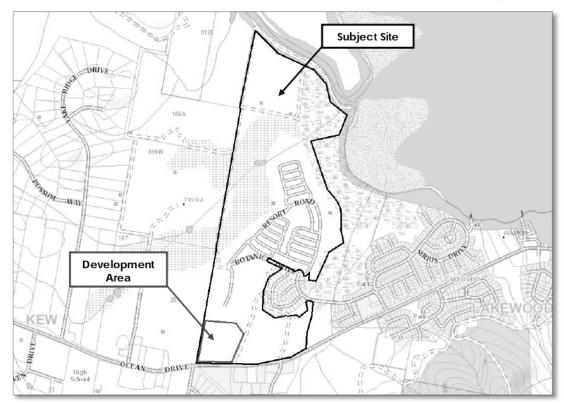


Figure 2: Locality Map (Source: Six Maps)

2.2 LAND TITLE

The subject site is identified as Lot 10 in Deposited Plan 1250178, which has a total area of 115.1ha. The subject site contains a number of restrictions and easements, however none will impact on the proposed development area.

The 'right of carriageway 20 wide' within the development area is proposed to be relocated within the proposed western major access road for the MHE, and reduced to 8m wide (discussed further 5.1.9).

A copy of the Deposited Plan is provided as Appendix 4.

2.3 OWNERSHIP

Lot 10 in Deposited Plan 1250178 is owned by 'ZW2 Pty Limited', whose consent to lodgement is provided within the accompanying documentation.

A copy of the Certificate of Title is provided as **Appendix 5**.



2.4 PHYSICAL DESCRIPTION

2.4.1 Site

The development area is located within the south western corner of the subject site, with frontage to Ocean Drive. The development area has previously been cleared under the Laurieton Residential Resort development consent and Vegetation & Habitat Management Plan.



Figure 3: Aerial Image (Source: Near Maps - June 2019)





Photo 1: Subject site looking east across the site and along Ocean Drive (Source: ADW Drone)

2.4.2 Access

Access to the site is currently provided via the existing construction access from Ocean Drive.

2.4.3 Topography

The subject site has a long low ridge running north south, with the foot of the spur ending approximately in the centre of the site. The development area occurs on a gentle and low north west facing slope.

2.4.4 Vegetation

There is evidence of a long history of disturbance on the subject site. The development area has previously been cleared and managed as Management Unit 7 under the Vegetation and Habitat Management Plan prepared for Laurieton Residential Resort. A copy of this Vegetation and Habitat Management Plan is provided as **Appendix 11**.

2.4.5 Context

The site adjoins 'Camden Haven Urban Release Area 15' to the west - an area identified for maximising opportunities for urban development in a socially, economically and environmentally sustainable manner. A large section of the residential zoned land within the centre of the site, has been developed as a 301 site manufactured home estate known as 'Laurieton Residential Resort', with the final stages currently under construction.



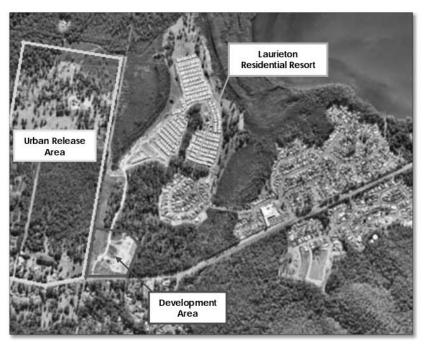


Figure 4: Wider context



3.0 Proposed Development

3.1 PROPOSED DEVELOPMENT

Overall Development

The proposed development involves the construction of a Manufactured Home Estate including:

- 136 manufacture home sites:
 - o Stage 1 Lots 1 to 118
 - o Stage 2 Lots 119 to 136;
- Site office;
- Multi-purpose room;
- · Community centre;
- Swimming pool;
- Bocce green;
- Open greenspace (private land);
- Signage:
 - o One (1) feature sign 3m x 0.8m
 - o One (1) two directional billboard 6m x 3m
 - o Four (4) flag pole banners 0.8m x 2.4m
- Major and minor internal access roads;
- Service connections, including sewer lead in works from the north;
- Landscaping;
- Relocation of the existing right of carriageway through the proposed western major access road for the MHE.

Plans detailing the above are provided as Appendix 1, Appendix 2 and Appendix 3.

Community Facility Design

 The clubhouse and associated amenities are designed to be the heart of the social community, by offering a relaxed entertainment space for residents to engage. The design of the clubhouse is contemporary yet unpretentious, and most importantly focuses on functional space that will be best utilised in supporting companionship and social activities. The pool serves as a resort style amenity with the benefit of providing an appropriate age-related exercise outlet.

Plans detailing the community buildings are provided within Appendix 3.

Manufacture Home Design

- A range of homes will cater to different buyer requirements and also provide variety to the streetscape.
- The assembly of the manufactured homes will have an aesthetic similar to a traditional home, and utilise high quality materials selected for durability, low maintenance and on trend with coastal design. This will result in a community that complements the surrounding neighbourhoods.

An indicative manufactured home design is provided within Appendix 3.



The proposed manufactured home estate has been designed to complement the surrounding area, and has been modeled on an understated yet contemporary design that respects the rural coastal setting.



Photo 2: Indicative Images - example from other ZW2 Pty Ltd MHE's



Photo 3: Indicative Images – example from other ZW2 Pty Ltd MHE's

3.2 PRE-LODGEMENT MEETING

A pre-lodgment meeting was held with Council on Tuesday 17th April 2018. A response to each of the items raised within Council's meeting minutes is provided within **Appendix 6.**



4.0 Planning Controls

4.1 PORT MACQUARIE HASTINGS LOCAL ENVIRONMENTAL PLAN 2011

4.1.1 Zoning

The majority of the subject site is zoned R1 General Residential, with the exception of the northern portion of the site which is zoned RU1 Primary Production, and small areas of E3 Environmental Management and E2 Environmental Conservation zoned land which are provided throughout.

The development area however, in which the proposed MHE is to be located, is zoned R1 General Residential (see Figure 5). A strip of E3 Environmental Management zoned land is located across the Ocean Drive frontage which is to provide a landscaped buffer for the development.

Whilst no definition is provided for a 'Manufactured Home Estate' under the *Port Macquarie Hastings LEP 2011*; SEPP 36 - Manufactured Home Estates provides the following:

Manufactured home estate means land on which manufactured homes are, or are to be erected.

Manufactured home means a self-contained dwelling (that is a dwelling that includes at least 1 kitchen, bathroom, bedroom and living area and that also includes toilet and laundry facilities), being a dwelling:

- a) That comprises 1 or more major sections that are each constructed, and assembled, away from the manufactured home estate and transported to the estate for installation on the estate, and
- b) That is not capable of being registered under the Traffic Act 1909 and includes any associated structures that form part of the dwelling.



Figure 5: Zoning Map

Statement of Environmental Effects – Manufactured Home Estate Lot 10 DP1250178, Ocean Drive, Kew (Ref: 190111(4))



As a MHE is not listed under items 2 or 4 within the R1 General Residential zone, the proposed MHE is permitted with consent under the Port Macquarie Hastings LEP 2011.

2 Permitted without consent

Home occupations

3 Permitted with consent

Attached dwellings; Boarding houses; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Group homes; Home industries; Hostels; Multi dwelling housing; Neighbourhood shops; Places of public worship; Residential flat buildings; Respite day care centres; Roads; Semi-detached dwellings; Seniors housing; Shop top housing; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Airstrips; Amusement centres; Animal boarding or training establishments; Backpackers' accommodation; Boat building and repair facilities; Charter and tourism boating facilities; Commercial premises; Correctional centres; Crematoria; Depots; Electricity generating works; Entertainment facilities; Extractive industries; Farm buildings; Farm stay accommodation; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Helipads; Highway service centres; Home occupations (sex services); Industrial retail outlets; Industrial training facilities; Industries; Marinas; Mooring pens; Mortuaries; Open cut mining; Passenger transport facilities; Port facilities; Public administration buildings; Recreation facilities (indoor); Recreation facilities (outdoor); Registered clubs; Research stations; Restricted premises; Rural industries; Rural workers' dwellings; Service stations; Sewerage systems; Sex services premises; Signage; Storage premises; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Warehouse or distribution centres; Waste or resource management facilities; Water storage facilities; Water treatment facilities; Wharf or boating facilities; Wholesale supplies

Figure 6: R1 Zone extract from PMH LEP 2011

4.1.2 Land Use Table

Clause 2.3 of the LEP stipulates that the consent authority must have regard to the objectives for a development in a zone when determining a development application in respect of land within the zone. All proposed residential lots, associated roads and paths are to be located within the R1 zone. The relevant objectives for the R1 zone have been addressed as follows:

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

The proposed development will create 136 manufactured homes on land zoned for low density residential development, and with limited environmental constraints. This will assist to meet the housing needs of the community, with a desire for this style of living evident given the fact that the adjoining Laurieton Residential Resort has built and occupied 275 homes in under 5 years.

The proposed manufactured homes are of a comparable size and design to that of Laurieton Residential Resort. Sites will range from 221m² for smaller homes adjoining Ocean Drive, with the remainder/majority of sites being 300-348m². This is well in excess of the 130m² minimum specified by the Local Government (manufactured home estates, caravan parks, camping grounds and moveable dwellings) Regulation 2005. Other MHEs locally built in the past provide far smaller sites than that which are proposed. These larger than standard sites provide opportunity for privacy and outdoor space, that is much requested by retirees seeking this lifestyle.

The proposed development will add to the variety of housing types provided whilst maintaining the low density residential character of the area, and as such meets the objectives of the R1 Zone.



4.1.3 Clause 5.10 - Heritage Conservation

European

The subject site and development area are not identified as containing any items of heritage significance or as being located within a heritage conservation area, on Council's Heritage Map.

Aboriginal

An Aboriginal Heritage Due Diligence Assessment has been prepared and is provided as **Appendix 12.**

In relation to modern alterations to the landscape, previous large-scale clearing, excavation works (topsoil removal) and access road/tracks have had high impacts upon the landscape and any associated archaeological materials that may have been present. Natural factors such as erosion would also have impacted on the archaeological record, all of which would have displaced cultural materials and the likelihood of in situ cultural materials is very low.

As no sites or PADs were identified, there are no impacts on the archaeological record, further investigations are not justified, and an AHIP is not required.

The cumulative impact to Aboriginal heritage in the area is limited given that:

- The net development footprint (i.e. the area of direct impact) is small and does not affect a high proportion of any particular landform present within the region;
- A comparable suite of landforms that are expected to, and do contain a similar archaeological resource, occur in multiple contexts both within the local and regional areas;
- The placement of the development within this area, in particular on over 1.2 kilometres from reliable water, 5 kilometres from reliable water and within the disturbed context, ensures the cumulative impacts are focused in the areas of low potential and therefore are kept to a minimum.

Whilst noting the above; the recommendations provided within the Aboriginal Heritage Due Diligence Assessment will be adopted.

4.1.4 Clause 7.1 - Acid Sulfate Soils

The northern portion of the subject site is identified as containing Class 2 and Class 3 Acid Sulfate Soils. The development area however, in which the proposed MHE is to be located, is not identified as containing Acid Sulfate Soils (see Figure 7).





Figure 7: Acid Sulfate Soils Map

4.1.5 Clause 7.2 - Earthworks

The proposed development includes earthworks with a maximum cut of 4m and maximum fill of 2m proposed. Retaining walls will also be constructed with a maximum height of 0.8m, with the exception of the retaining wall proposed along the western boundary which has a maximum height of 1.2m and tapers down to natural ground level heading south towards Ocean Drive.

The proposed earthworks will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land. Various erosion and sedimentation control devices will be implemented prior to and during the construction phase. Further details in this regard are included in the plan set within **Appendix 1** and Stormwater Management Plan within **Appendix 15**.

4.1.6 Clause 7.3 - Flood Planning

The northern portion of the subject site is identified as flood prone land. The development area however, in which the proposed MHE is to be located, is identified as being flood free (see Figure 8).

All flood liable land is located outside the developable area in which the MHE is to be situated. The works required for the proposed sewer lead in works however are located within flood prone land. Despite this fact, the earthworks required to install this sewer infrastructure will not affect the flood behaviour of the land as once constructed, the land will be returned to its pre-developed state (ie. there will be no change to the surface level or topography in general).

Given the above; the proposed development is unlikely to affect the flood behaviour of the site.



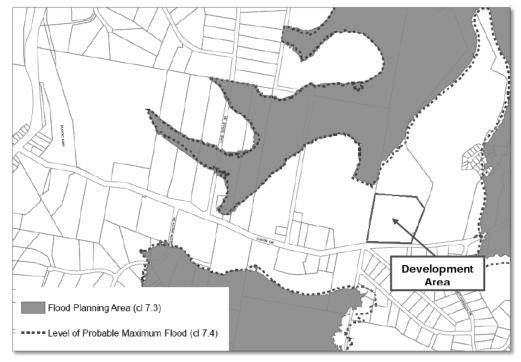


Figure 8: Flood Prone Land Map

4.1.7 Clause 7.9 - Development subject to Acoustic Controls

The subject site and development area are not identified as being subject to acoustic controls (see Figure 9). However; to ensure a thorough assessment; a Noise Impact Assessment has been prepared and is provided as **Appendix 13**.

The site is impacted by traffic noise from Ocean Drive. The assessment has found that some living and bedroom windows will require an upgrade to laminated glazing and ventilation must be reviewed to ensure compliance with AS 1668 and the BCA.

There are no significant noise sources associated with the proposal and consequently no potential for adverse noise impacts on residential receivers.

Based on the results of this assessment, the adoption of the recommendations within the assessment report will result in compliance with noise conditions as may be imposed by Council in the development consent.



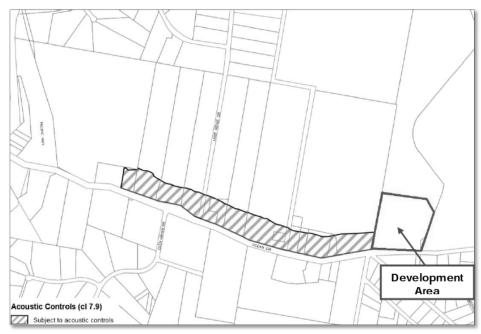


Figure 9: Acoustic Controls Map

4.1.8 Clause 7.13 – Essential Services

Concept engineering plans are located within **Appendix 1**, which illustrate how each MHE site will be connected to water, sewer and stormwater services.

All proposed lots are to be serviced by connection to power, telecommunications, and access roads.

4.1.9 Remaining LEP Mapping

The following is noted with respect to the remaining mapping layers under the LEP:

- The land is not identified as coastal erosion area;
- The land is not identified as visually sensitive land;
- The land is not identified as having additional permitted uses;
- The land is identified as being subject to a maximum floor space ratio of 0.65:1;
- The land is identified as being subject to maximum height limit of 8.5m;
- The land is not identified as koala habitat;
- The land is not identified being reserved for acquisition;
- The land is not identified as an urban release area;
- The land is not identified as being subject to reclassification.

Taking the above into consideration, the proposed development is consistent with the LEP.



STATE ENVIRONMENTAL PLANNING POLICY ("SEPPS")

SEPP 36 - Manufactured Home Estates

As the proposed MHE is permitted with consent under the Port Macquarie Hastings LEP 2011, the proposed development does not need to rely on the provisions of SEPP 36. However, whilst noting this fact; to provide a thorough assessment of the proposed MHE the provisions of SEPP 36 have been considered.

Clause 6 - Where development for the purpose of a manufactured home estate may be carried out

Clause 6 states:

Development for the purpose of a manufactured home estate may be carried out pursuant to this Policy on any land on which development for the purpose of a caravan park may be carried out, except:

- a) Land within one or more of the categories described in Schedule 2, or
- b) Land dedicated or reserved under the National Parks and Wildlife Act 1974, or
- c) Land within a Crown Reserve

The proposed MHE is permitted with consent under the Port Macquarie Hastings LEP 2011. However, in accordance with Clause 6 - as caravan parks are also permitted within the R1 zone under PMH LEP 2011, the proposed MHE may also be carried out under the provisions of SEPP 36.

Additionally, the proposed development is not subject to any of the excluded areas contained in Schedule 2 of SEPP 36 as follows:

SEPP 36 - Schedule 2 - Categories of Excluded Land			
Excluded Land	Applies to site?		
1. Land which the Council, after taking into account the principles set out in the Coastline Management Manual published by the New South Wales Government in September 1990, considers is unsuitable for residential development because of coastal erosion, tidal inundation, slip, dunal movement or any other risk of a similar nature.	No		
2. Land which the council, after taking into account the principles set out in the Floodplain Development Manual published by the New South Wales Government in December 1986, considers is unsuitable for residential development because of flooding.	No		
3. Land which is within a water catchment area identified by a water supply authority.	No		
4. Land which, in the opinion of the Council, is affected to an unacceptable level by an offensive or hazardous industry or any form of pollution	No		
 5. Land which is identified in an environmental planning instrument, or in any planning strategy of the Department or the council approved for the time being by the Director, by words which are cognate with or a description consistent with any one or more of the following: extractive resources, services corridors, airport/industry buffer area, 	No		

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(Ref: 190111(4))



	 habitat corridor, 		
	 containing significant re 	mnant vegetation,	
	 littoral rainforest, 		
	water catchment,		
_	• wetlands.	vironmental planning instrument is within an area	
ο.		vironmental planning instrument is within an area strument by the description:	
		open space (private recreation)	
	 environmental protection 		No
	 scenic protection 		
		ot adjacent to or adjoining land zoned for urban	
	use).		
7.	Land that is within the follow	wing coastal local government areas, being land	
		ed under an environmental planning instrument	
		entified as suitable for urban development under	
		ng Strategies or Residential Strategies approved	
	for the time being by the D		
	Ballina Barra Wallan	Lake Macquarie	
	Bega Valley	Maclean	
	Bellingen	Nambucca	No
	Byron	Newcastle	
	Coffs Harbour	Port Stephens	
	Eurobodalla	Richmond River	
	Great Lakes	Shellharbour	
	Greater Taree	Shoalhaven	
	Hastings	Tweed	
	Kempsey	Ulmarra	
	Kiama	Wollongong	
8.	that is not zoned or reserve	he following local government areas, being land ed under an environmental planning instrument	
		entified as suitable for urban development under	
		trategy for the ACT and sub-region approved for	No
	the time being by the Direction Cooma-Monaro	Yarrowlumla	NO
		Yass	
	Gunning	1033	
_	Queanbeyan	dia Managa Daniana I Francisco antal Dia Maria	NI-
9.		ed in Murray Regional Environmental Plan No 2—	No
10	Riverine Land.	ams River catchment upstream of the Seaham	
10	Land compising the willa Weir.	ans aver catchinent upsteam of the sealiam	
	marked "Williams River Cat in the Newcastle office of	catchment means the land shown on the map ichment Regional Environmental Plan 1997" (kept the Department of Urban Affairs and Planning, kept in the offices of Dungog Shire Council and	No



Clause 7 - Development consent required for manufactured home estates

Clause 7 states:

- Development for the purpose of a manufactured home estate permitted to be carried out by this Policy may be carried out only with the development consent of the Council.
- 2) A Council must not consent to any such development unless it imposes, as a condition of the consent, a requirement that an approval to operate a manufactured home estate on the land on which the development is to be carried out must be obtained under Part 1 of Chapter 7 of the Local Government Act 1993.
- Nothing in this Policy requires the separate development consent to authorise the placing of each manufactured home within a manufactured home estate.

In accordance with Clause 7, the proposal seeks development consent from Council, and it is understood that Council will apply a condition of consent in relation to obtaining an approval to operate a MHE under the Local Government Act 1993.

It is also noted that separate development consent is not required for the placing of manufactured homes within the estate.

Clause 8 - Subdivision of manufactured home estates

N/A - the proposed development does not include the subdivision of land, with each of the proposed MHE sites to be provided under a lease agreement.

Clause 9 - Matters to be considered by Councils

Clause 9 states:

- 1) A Council may grant a development consent pursuant to this Policy allowing development for the purpose of a manufactured home estate only if it is satisfied:
 - a) That each of the sites on which a manufacture home is or will be installed within the manufactured home estate is or will be adequately provided with reticulated water, a reticulated sewerage system, drainage and electricity, and

As illustrated by the Plans within **Appendix 1**, each MHE site will be provided with essential services including water, sewer, electricity and telecommunication services.

b) The manufactured home estate is or will be provided with adequate transport services, and

Public transport (bus) services are available to the site. Route 334K (Port Macquarie – Laurieton and Kendall) runs along Ocean Drive past the site. The nearest bus stops are located opposite the site at the Mountain View Road intersection for westbound buses and 100 metres west of the site for eastbound buses. These are considered within easy walking distance from the development location. This service provides access to and from the site to and from Laurieton, Port Macquarie, Kew and the railway station at Kendall thereby providing access to all areas and facilities in the Camden Haven and Port Macquarie area through bus connections and all locations on the north coast rail line via Kendall railway station. The existing transport services are considered adequate for the proposed MHE.

Statement of Environmental Effects – Manufactured Home Estate Lot 10 DP1250178, Ocean Drive, Kew (Ref: 190111(4))



c) That sufficient community facilities and services, whether situated within or outside the estate, are or will be available and reasonably accessible to the residents of the manufactured home estate, and

The proposed MHE provides sufficient community facilities within the site, including a community centre, multi-purpose room, swimming pool and bocce court. Offsite services will also be available to residents, with access available via the public transport services discussed above.

- d) That the development will not have an adverse effect on any:
 - Conservation area,
 - Heritage item,
 - Waterway or land having special landscape, scenic or ecological qualities,

Which is identified in an environmental planning instrument applicable to the land concerned.

As identified within the sections above; the proposed MHE will not adversely affect any conservation area, heritage item, water or land with any special qualities, identified under an EPI.

- 2) A Council may grant a development consent pursuant to this Policy allowing development for the purpose of a manufactured home estate only after it has considered the following:
 - a) The cumulative impact of the proposed development and other manufactured home estates in the locality,
 - b) Any relevant guidelines issued by the Director,
 - c) The provisions of the Local Government (Manufactured Home Estates) Transitional Regulations 1993.

A cumulative impact assessment is included within the Social Impact Assessment provided as **Appendix 17**. The addition of 136 households will inevitably have cumulative impacts on the level of activity and use of infrastructure and services in the area. However, are unlikely to have long-term negative effects.

The proposal has been developed in consideration with the provisions of the current Local Government (Manufactured Home Estates, Caravan Parks, Camping Ground and Moveable Dwellings) Regulation 2005 which is discussed in detail within Section 4.3 below, **Appendix 8** and **Appendix 9**.

4.2.2 SEPP (Coastal Management) 2018

The subject site is identified as containing coastal wetlands, coastal wetlands proximity area, coastal environment area, and coastal use area. The development area however, in which the proposed MHE is to be located, is only identified as containing a small portion of coastal wetlands proximity area (see Figure 10).



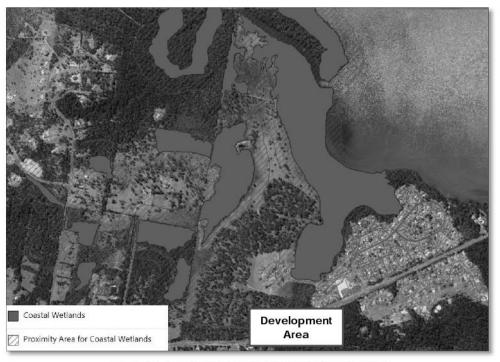


Figure 10: Coastal Wetlands and Proximity Area Map

Part 2 of the SEPP (Coastal Management) 2018 provides development controls for each of the coastal management areas which have been addressed below:

SEPP – COASTAL MANAGEMENT 2018		
Division 1 Coastal Wetlands and Littoral Rainforest Area		
Matters for Consideration	Complies?	
Clause 11 (1) Development consent must not be granted to development on land identified as "proximity area for coastal wetlands" or "proximity area for littoral rainforest" on the Coastal Wetlands and	The proposed development will not significantly impact the integrity of the adjacent wetland, or water flows to and from the wetland.	
Littoral Rainforests Area Map unless the consent authority is satisfied that the proposed development will not significantly impact on: (a) the biophysical, hydrological or ecological integrity of the adjacent coastal wetland or littoral rainforest, or (b) the quantity and quality of surface and ground water flows to and from the adjacent coastal wetland or littoral rainforest.	Post development flows will be appropriately treated and dispersed as proposed within the SWMP, so as to avoid impacts to the adjacent wetlands.	
(2) This clause does not apply to land that is identified as "coastal wetlands" or "littoral rainforest" on the Coastal Wetlands and Littoral Rainforests Area Map.	N/A The development area does not contain land identified as coastal wetland or littoral rainforest.	

Taking the above into consideration, the subject development is consistent with SEPP (Coastal Management) 2018.

Statement of Environmental Effects – Manufactured Home Estate Lot 10 DP1250178, Ocean Drive, Kew (Ref: 190111(4))



4.2.3 SEPP (Infrastructure) 2007

Clause 104 of SEPP infrastructure provides that any development listed within schedule 3 is classified as "traffic generating development" and requires a referral to the RMS.

Schedule 3 provides the following:

Column 1 - Purpose of development		Column 3 - Size or capacity - site with access to classified road or to road that connects to classified road (if access within 90m of
		connection, measured along alignment of connecting road).
Residential accommodation	300 or more dwellings	75 or more dwellings

As the proposed development will create 136 manufacture homes with direct access to a classified road, the development is classified as traffic generating development, and therefore concurrence is required from RMS. To assist Council and RMS in their assessment of the proposed development, a Traffic Impact Assessment has been prepared and is provided as **Appendix 14**.

4.2.4 SEPP 55 - Remediation of Land

SEPP 55 states that Council shall not consent to the carrying out of any development on land unless they have considered whether the land is contaminated, and if so whether it is satisfied that the land is or will be suitable in its contaminated state for the purpose for which the development is proposed.

In this regard, the proponent is not aware of the subject land having ever been developed or used for any purpose whereby contamination issues would be likely. The development area has remained as vegetated land up until the area was cleared. With this in mind, an initial evaluation of the site has identified that the subject land has a low likelihood of a history of potentially contaminating uses and as such contamination is not considered to be an issue for the proposed MHE.

4.2.5 SEPP 64 - Advertising and Signage

The provisions of SEPP 64 - Advertising and Signage apply to the proposed development.

Part 1 - Preliminary

The proposal is subject to the statutory provisions of SEPP 64 with the proposed signage being classified as "business identification signs" under Clause 4(1).



business identification sign means a sign:

- a) That indicates:
 - i. The name of the person, and
 - ii. The business carried on by the personAt the premises or place at which the sign if displayed, and
- b) That may include the address of the premises or place and a logo or other symbol that identifies the business,

But does not include any advertising relating to a person who does not carry on a business at the premises or place.

Part 2 - Signage Generally

Clause 8 of the SEPP requires the consent authority to be satisfied that the proposal is consistent with the aims and objectives of the policy as specified in Clause 3(1)(a) therein, which states:

- (1) This Policy aims:
 - (a) to ensure that signage (including advertising):
 - (i) is compatible with the desired amenity and visual character of an area, and (ii) provides effective communication in suitable locations, and (iii) is of high quality design and finish, and

Clause 8 also requires a consent authority to consider the assessment criteria within Schedule 1. A compliance table addressing the provision of Schedule 1 is provided within **Appendix 10.**

The proposed signage is considered to be compatible with the existing and future visual character of the area. The proposed signage is not positioned within an environmentally sensitive area and does not dominate or visually clutter the streetscape. There are no adjoining residential activities within the immediate proximity of the proposed signs.

The type of signage proposed is considered reasonable given the size of the site, the proposed use of the site, and the practical need for clear signage for general identification.

Part 3 - Particular Advertisements

Part 3 of the SEPP (including Clause 17 and Clause 18) does not apply to the development as the proposed signage includes 'business identification signs'. In this regard Clause 9 states:

This Part applies to all signage to which this Policy applies, other than the following:

- a) Business identification signs
- b) Building identifications signs
- c) Signage that, or the display of which, is exempt development under an environmental planning instrument that applies to it,
- d) Signage on vehicles.



4.3 LOCAL GOVERNMENT (MANUFACTURED HOME ESTATES, CARAVAN PARKS, CAMPING GROUNDS AND MOVEABLE DWELLINGS) REGULATION 2005

The proposal involves the development of a MHE, and as such, the provisions of Local Government (Manufactured Home Estates, Caravan Parks, Camping Ground and Moveable Dwellings) Regulation 2005 apply.

The objectives of this Regulation is to provide opportunities for affordable alternatives in short-term and long-term accommodation:

- (a) By continuing to force (in amended form) the standards for the design of manufacture homes estates, caravan parks and camping grounds established by the former Regulations, and
- (b) By continuing to force (in amended form) the standards for the design and construction of manufactured homes and other moveable dwellings and for their siting established by the former Regulations, and
- (c) By continuing to force (in amended form) that standards to promote health, safety and amenity of the occupiers of manufactured homes and other moveable dwellings established by the former Regulations.

The proposed MHE will provide an affordable alternative in long-term accommodation, housing over 55's, design in accordance with the requirements for manufactured home estates and moveable dwellings. This model of housing promotes health, safety and amenity of the residents by:

- Offering resort style living via a small, yet modern home with all modern conveniences.
- Providing a range of amenities without the need to look after them.
- Providing a safe environment with companionship as the forefront of the model of living.

A complete compliance table addressing the provisions of *Part 2 Manufactured home* estates and manufactured homes, has been prepared and is provided as **Appendix 8**.

It should be noted that only Part 2 Divisions 1-3 apply to the proposed development application, as Division 4 and 5 pertain to the installation of manufactured homes, which do not require development consent in accordance with Clause 7(3) of SEPP 36 – Manufactured Home Estates.

In addition to the above; an objection under Section 82(1)(a) of the Local Government Act 1993 has been prepared and is provided as **Appendix 9**. This objection seeks to set aside/modify certain provisions of the Local Government (Manufactured Homes Estates, Caravan Parks, Camping Ground and Moveable Dwellings) Regulation 2005.

The regulation sets out the standards which are applicable to the construction and operation of MHE's and in determining a Section 68 application for Approval to Operate a MHE, Councils must ensure compliance with the relevant standards unless variations to the compliance standards are supported by regulatory authorities through concurrence with an objection lodged pursuant to Section 82 of the Local Government Act, 1993.

Therefore Port Macquarie-Hastings Council's concurrence is sought to the objection application.

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4.4 PORT MACQUARIE HASTINGS DEVELOPMENT CONTROL PLAN 2013

The primary DCP is *Port Macquarie-Hastings Development Control Plan 2013*, which covers general issues and will be progressively updated to incorporate area-based provisions currently within the other DCP. DCP Part 2 provides controls in relation to the general provisions for development. A complete compliance table addressing Part 2 has been prepared and is provided as **Appendix 7**.

4.5 PORT MACQUARIE HASTINGS DEVELOPMENT CONTROL PLAN 2011 - AREA BASED PROVISIONS

The subject site does not fall within a specific DCP location; in that it only adjoins 'Area 15 Camden Haven' (see Figure 11). As such; the provisions of *DCP 2011 Part 5 - Area 15 Camden Haven* do not apply to the proposed development. Further discussion on this point is provided within **Appendix 6**, addressing the Pre DA comments provided by Council, particularly in relation to the road layout shown within the Structure Plan.

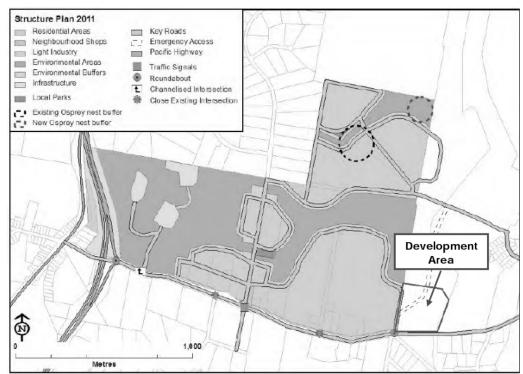


Figure 11: Area 15 Structure Plan

4.6 MID NORTH COAST REGIONAL STRATEGY

The Mid North Coast Regional Strategy 2006-2031 was released by the NSW Department of Planning in March 2009. The primary purpose of the regional strategy is to ensure that adequate land is available and appropriately located to accommodate projected housing and employment needs of the region's population over the next 25 years. The following aims/goals are considered relevant to the proposed development:



Protect high value environments and habitat corridors, cultural and Aboriginal heritage and scenic landscapes.

The proposal provides for the development of a portion of the subject site which has been specifically zoned and cleared for future residential development; whilst protecting the remainder of the sites high value environmental zoned land. Furthermore, the proposed development will not result in any adverse impacts to cultural and Aboriginal heritage or scenic landscapes.

Provide up to 58,400 new homes by 2031 to cater for a forecast population increase of 91,000. With smaller households and an ageing population, a more suitable mix of housing will be encouraged.

With an aging population, it will become a necessity to develop housing which provides for over 55's. Both the Camden haven and Port Macquarie regions have very high number of retirees needing solutions. Providing a variety of housing types, including more affordable options in both existing and new areas across the region will allow people to age-in-place and maintain their connections with social networks and families.

The proposed development will not only assist to house this forecast population increase, but will also add to the provision of a more suitable mix of housing within the area. In terms of over 55's, the proposed MHE provides an alternative form of accommodation, which offers less maintenance and allows them to age in place.

Given the above; the proposed MHE is considered to be consistent with the North Coast Regional Strategy 2006-2031.

4.7 INTEGRATED DEVELOPMENT

Waterfront Land - Office of Water

The subject site is identified as containing waterfront land as a portion of the site is located within a coastal wetlands' proximity area. Therefore, the proposed development is classified as "Integrated Development" under Section 4.46 of the *Environmental Planning and Assessment Act 1979*, as it requires the separate approval of the Office of Water (under the *Water Management Act 2000*).

It is understood that general terms of approval can be attached to the consent.

Bushfire - RFS

The subject site is identified as bushfire prone land. However; as the proposed development does not involve the subdivision of land nor does it include a special bushfire protection purpose, the proposed development is not classified as "Integrated Development" and therefore does not require the separate approval of the Rural Fire Service (under the Rural Fires Act 1997).



5.0 Environmental Assessment

5.1 THE LIKELY IMPACTS OF DEVELOPMENT (\$4.15(1)(B)):

5.1.1 Context and Setting

The proposed MHE is consistent with other residential development within the immediate vicinity and surrounding locality. The proposed layout provides the most efficient use of land to maximise the provision of allotments within an area that has been strategically planned for residential growth, whilst conserving the ecological values of the environmentally zoned land onsite.

The sites are consistent with retiree's desire to downsize maintenance in their immediate home, but still have access to wider amenities that are maintained by management.

The site's location affords excellent accessibility to shopping centres and all essential services (including banks, pharmacies, service stations, GP's, local clubs etc), and facilities required by residents, in addition to those which are to be provided onsite. As such, the context and setting of the site and its surrounds are considered ideal for the proposed development.

5.1.2 Access, Transport and Traffic

A Traffic Impact Assessment has been prepared and is provided as Appendix 14.

Access

The proposed development will provide access from Ocean Drive at a location 170m east of the existing construction access.

Intersect Traffic have determined that sight distances either side of the access are in excess of 300m, and therefore compliant with the sight distance requirements of *Austroads Guide to Road Design – Part 4A – Unsignalised and signalised intersections (2010)*, which requires 155m for a 70km speed zone. Furthermore; it was concluded that a CHR/AUL access intersection would be recommended for providing access to the development from Ocean Drive. Concept designs for this intersection treatment have been submitted with this application.

Roads

The Local Government (Manufactured Home Estates, Caravan parks, Camping Grounds and Moveable Dwellings) Regulation 2005, requires the following:

- Major access roads 8.5m wide road reserve with 6m wide sealed portion;
- Minor access road 6m wide road reserve with 4m wide sealed portion;
- Passing bays for minor access roads exceeding 80m in length

The major internal access roads proposed are 8.5m wide with a 6m pavement while the minor access roads provide a 4m wide pavement, with passing bays incorporated where the length of these minor access roads exceeds 80m.



Transport and Traffic

The existing road network is currently operating below its technical mid-block two-way road capacity and has capacity to cater for additional traffic from the proposed development.

The proposed development is expected to generate 286 trips per day and 55 peak hour trips. SIDRA intersection modelling of the proposed temporary access to Ocean Drive has shown the access would operate satisfactorily with little delay to motorists and with average delays and back of queue lengths well within the acceptable operation thresholds recommended by NSW RMS.

Overall, the proposed development will not have an adverse impact on the local road network and will comply with all the requirements of Port Macquarie - Hastings Council, Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005, Austroads and Australian Standards.

Public Transport and Pedestrian Facilities

The site is already suitably serviced by public transport services with bus stops located within convenient walking distance of the site. As such, the provision of additional transport infrastructure or services within or adjacent to the proposed development will not be required.

An existing pedestrian/bicycle path is located across the development frontage along Ocean Drive. Residents will also have pedestrian and bicycle access to Botanic Drive, joining to the publicly accessed footpath to the Woolworths, and to access bicycle paths. As the proposed development is not anticipated to generate significant pedestrian or bicycle traffic, the provision of additional external pedestrian or cycle paths is not required. Furthermore; as traffic volumes on the internal roads are low, it will be suitable for pedestrians and cyclists to share these roads with other users.

5.1.3 Public Domain

The proposed development will have a beneficial effect on the public domain through developing currently underutilised vacant land, thereby creating a more vibrant and active street presentation and community.

The proposed landscaping, fencing, home style, and entry will be consistent throughout the estate resulting in a positive visual outcome not only for residents, but also to the public domain. The design complements the coastal rural setting.

5.1.4 Utilities

Water and Sewer

Water and sewer services are available to the subject site, with connections to be provided to each MHE site. Full details on all services and requirements for connection will be provided within the engineering design as part of the Construction Certificate.



Electricity/ Telecommunications

Electricity is available to surrounding development and capable of augmentation. Telecommunications infrastructure is available locally and capable of ready supply.

Electricity and telecommunication facilities to service the proposed allotments will be provided underground. Full details on all services and requirements for connection will be provided within the engineering design as part of the Construction Certificate.

5.1.5 Stormwater, Drainage and Water Quality

A Stormwater Management Plan has been prepared for the proposed development and is provided within **Appendix 15**.

Stormwater from the proposed development will be captured by a pit and pipe network and conveyed to a water quality basin via grassed swale drain at the northern boundary where post treatment, the flows will be discharged under the proposed formalised configuration of Botanic Drive and evenly disperse over the existing flood plain to the north west of the subject site.

5.1.6 Erosions and Sediment Control

Various erosion and sedimentation control devices will be implemented prior to and during the construction phase. Details in this regard are included in the Erosion and Sediment Control Plan provided within the Stormwater Management Plan as **Appendix 15**.

5.1.7 Aboriginal Heritage

As discussed above, an Aboriginal Due Diligence Assessment has been prepared and is provided as **Appendix 12**.

In relation to modern alterations to the landscape, previous large-scale clearing, excavation works (topsoil removal) and access road/tracks have had high impacts upon the landscape and any associated archaeological materials that may have been present. Natural factors such as erosion would also have impacted on the archaeological record, all of which would have displaced cultural materials and the likelihood of in situ cultural materials is very low.

As no sites or PADs were identified, there are no impacts on the archaeological record, further investigations are not justified, and an AHIP is not required.

The cumulative impact to Aboriginal heritage in the area is limited given that:

- The net development footprint (i.e. the area of direct impact) is small and does not affect a high proportion of any particular landform present within the region;
- A comparable suite of landforms that are expected to, and do contain a similar archaeological resource occur in multiple contexts both within the local and regional areas;
- The placement of the development within this area, in particular on over 1.2 kilometres from reliable water, 5 kilometres from reliable water and within the disturbed context, ensures the cumulative impacts are focused in the areas of low potential and therefore are kept to a minimum.



Whilst noting the above; the recommendations provided within the Aboriginal Heritage Due Diligence Assessment will be adopted.

5.1.8 Flora and Fauna

As discussed above; the development area has previously been cleared under the Laurieton Residential Resort development consent and Vegetation & Habitat Management Plan (V&HMP) (refer to **Appendix 11**).

The development area is referred to as Management Unit 7- South Western Corner within the V&HMP. The objectives and performance criteria of this Management Unit (MU) have been achieved, in particular, the clearing of land following 2 years of regeneration in other MU's, and the management of weeds until such time as residential development of the land occurs.

5.1.9 Natural Hazards

Bushfire

As noted previously, the subject site is classified as "bushfire prone" land. Whilst the development is not classified as "Integrated Development", to identify the extent of bushfire threat and to assist the Council in their assessment of the proposal, a Bushfire Threat Assessment has been prepared and is provided as **Appendix 16**.



Figure 12: Bushfire Prone Land Map (Source: NSW ePlanning Portal)



The minimum APZ requirement for each aspect of the subject site is as follows:

VEGETATION TYPE	SLOPE	IPA	OPA	TOTAL REQUIRED APZ	MINIMUM APZ ACHIEVABLE (to dwellings within Sites)	(with Minimum APZ Requirements)
Woodland	1°- 2° Down slope	17m	-	17m	Minimum 17m	0
Forest	1°- 2° (0°) Up slope	11m	10m	21m	Minimum 21m	•
Similar in specification to Rainforest	2°-3° Down slope	11m	-	11m	>25m	0
Grassland	2° - 3° Down slope	10m	1-	10m	Minimum 10m**	0
Wet Sclerophyll Forest	2° - 3° Down slope	17m	10m	27m	Minimum 27m	•
Wet Sclerophyll Forest	1° - 2° Down slope	17m	10m	27m	Minimum 27m	•
	TYPE Woodland Forest Similar in specification to Rainforest Grassland Wet Sclerophyll Forest Wet Sclerophyll	TYPE	TYPE	TYPE	TYPE	TYPE

Figure 13: Extract from Bushfire Hazard Assessment - APZ requirements



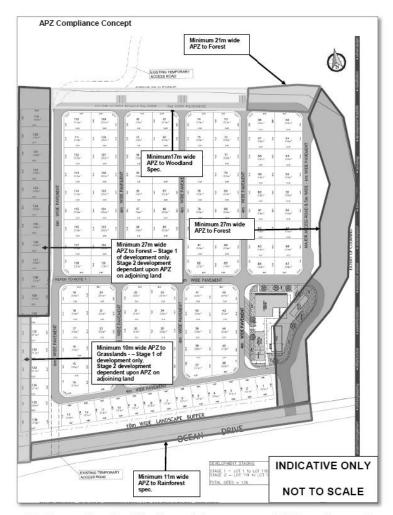


Figure 14: Extract from Bushfire Hazard Assessment - APZ Compliance Concept

The following Bushfire Attack Levels (BAL's) would be applicable to the development of the subject site:

BUSHFIRE ATTACK LEVEL (BAL)	PROPOSED SITES				
BAL Low Risk	33, 34, 80, 81, 83 - 85				
BAL 12.5 (Refer to Appendix 6)	3 – 18, 20 – 32, 35 – 46, 58 – 71, 76 – 79, 82, 86 – 89, 94 -				
BAL 19 (Refer to Appendix 7)	2, 19, 47 – 54, 57, 72, 75, 90, 93, 108, 111 - 118				
BAL 29 (Refer to Appendix 8)	1, 55, 56, 73, 74, 91, 92, 109, 110				

Figure 15: Extract from Bushfire Hazard Assessment - BAL requirements



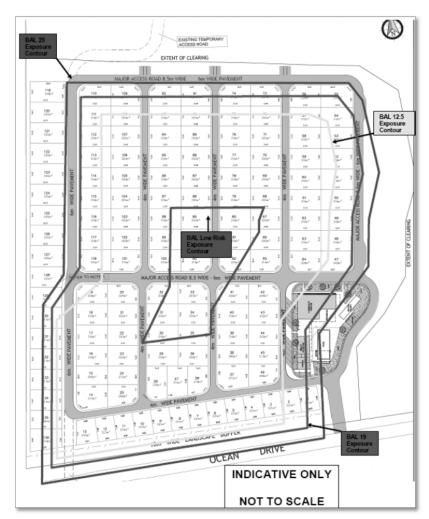


Figure 16: Extract from Bushfire Hazard Assessment - BAL Compliance Concept

As part of the development, it is also proposed to relocate the existing Right of Carriageway (ROC) through the site. This component of the development is discussed further within **Appendix 6**, which notes that the location of the current ROC registered on the site has been done in accordance with the approval for the Laurieton Residential Resort; there is no longer any need for that ROC to be 20.0m in width as this requirement is in excess of the RFS required 8.0m; and the 20.0m width is no longer relevant, as this requirement was added to the ROC at the time when the Area 15 Collector Road was anticipated to be generally along that alignment, however that is no longer the case.

Mine Subsidence

The subject site is not identified as being located within a Mine Subsidence District.



Flooding

As discussed above; the northern portion of the subject site is identified as flood prone land. The development area however, in which the proposed MHE is to be located, is identified as being flood free (see Figure 8).

All flood liable land is located outside the developable area in which the MHE is to be situated. The works required for the proposed sewer lead in works however are located within flood prone land. Despite this fact, the earthworks required to install this sewer infrastructure will not affect the flood behaviour of the land as once constructed, the land will be returned to its pre-developed state (ie. there will be no change to the surface level or topography in general).

Given the above; the proposed development is unlikely to affect the flood behaviour of the site.

5.1.10 Noise

As discussed above; the subject site and development area are not identified as being subject to acoustic controls (see Figure 9). However; to ensure a thorough assessment; a Nosie impact Assessment has been prepared and is provided as **Appendix 13.**

The site is impacted by traffic noise from Ocean Drive. The assessment has found that some living and bedroom windows will require an upgrade to laminated glazing and ventilation must be reviewed by an appropriately qualified mechanical engineer to ensure compliance with AS 1668 and the BCA.

There are no significant noise sources associated with the proposal and consequently no potential for adverse noise impacts on residential receivers.

Based on the results of this assessment, the adoption of the recommendations within the assessment report will result in compliance with noise conditions as may be imposed by Council in the development consent.

5.1.11 Social and Economic Impact

A Social Impact Assessment has been prepared for the proposed development and is provided as **Appendix 17**.

The LGA has experienced demographic change and will continue to do so. The two (2) key features of this continuing change are expected to be population growth and ageing of the population. The potential extent of population growth in the area is recognised in the PMHC UGMS, with capacity for approximately 800 dwellings identified in the vicinity of Kew.

The proposed development has the potential to contribute to managing both of these demographic trends, by providing 136 housing units, of a size and nature that is likely to be attractive to older potential residents. These outcomes are consistent with state and local government planning strategies for the region and the LGA.



The social impacts of the MHE are, on balance, likely to be positive for the immediate area and the LGA more broadly. The range of services currently available suggest that the local economy has the capacity to absorb the activity generated by new residents.

Although there will be some impacts as identified, these are likely to be marginal, as there is likely to be alternative development on the site at some stage if it is not used for the MHE. Therefore, the ultimate extent of impacts is likely to be a matter of degree, rather than overall preservation of the site and avoidance of any impacts. The greatest likelihood of impacts being experienced relates to nearby property owners/occupants, particularly those directly opposite the site on Ocean Drive. However, the information presented in the SIS, and the options for treatment of impacts available to the proponent are such that any impacts can be at the very least reduced to some appreciable degree by implementation of appropriate measures.

Section 8.2 of the Social Impact Assessment also addresses the economic impacts of the proposed development.

The economic effects of the proposed project may be broadly divided into two (2) components; those associated with the development and construction stages of the project; and ongoing economic effects relating to operation of the MHE and the activities of residents of the estate in the local and regional economies.

With respect to impacts on the regional labour market, the MHE will be restricted to residents over 55 years of age and their partners and consequently will accommodate a largely older population. On this basis, it is presumed that some reasonable proportion of likely residents will be retired or approaching retirement. Consequently, it is likely that the project will have a neutral practical effect on employment in the immediate area.

From a general public benefit perspective, as expressed in state and local government housing strategies, the risk of any minor negative effect is likely to be countered by the MHE addressing the relative scarcity and identified need for alternative, smaller and affordable housing across the planning region.

On balance, considering the potential for the identified positive and negative effects discussed in the SIS to eventuate, and assuming the adoption of strategies to manage these effects, it is concluded the effects on the communities in the local and surrounding areas and in the LGA more broadly are likely to be largely neutral. From the regional perspective, over the longer term, the socioeconomic impacts of the project are likely to be positive.

Further to the above; ZW2 Pty Ltd also provides the following from their experience as an award winning developer/operator of manufacture housing estates:

- Residents of the proposed MHE (many of whom will already be local) will benefit from
 an affordable housing solution with a true sense of community spirit. The resident
 community also integrates with the wider community, enhancing the local clubs and
 sense of community spirit.
- The proposed amenities server to engage residents in an active social lifestyle, which
 is a key factor to thriving in a social, happy environment in this model of living. The
 modern amenities are designed to offer a resort lifestyle to retirees and to grow a
 strong community of active empty nesters.

Statement of Environmental Effects – Manufactured Home Estate Lot 10 DP1250178, Ocean Drive, Kew (Ref: 190111(4))



- The land lease model offers the following solutions and advantages for retirees, many
 of whom will be locals who do not wish to live in a retirement village:
 - It offers a strong financial incentive to free up equity from the family home by downsizing to a small, yet modern home with all modern conveniences.
 - Retirees still have the independence of their own home without the need to maintain a large home and extensive gardens.
 - Access to a range of amenities without the need to look after them.
 - Provides a safe environment with companionship as the forefront of the model of living. Many residents move to avoid the isolation of living in neighbourhoods where people aren't around during the day.
 - Residents own their own their own homes and rent their land site from the resort owner. The many advantages of this structure include lower initial purchase price, no stamp duty, and no exit fees.
 - Many residents will qualify for government rent assistance to reduce the weekly fees for land rental. This is a modern-day approach to retirement living and frees up time and money for some of life's other great adventures.
- The project will significantly boost the local community with estimated local trades and suppliers benefiting upwards of \$26 million generated by house construction alone as well as the associated job creation. Millions of dollars in Council contributions will be generated. The vast majority of over 55's would be retirees, those residents attracted to the area from out of town are not competing for jobs and will be circulating their retirement dollars in the local economy. This has a large economic impact for a small community such as the Camden Haven and the wider region.

In summary; based on the findings of the Social Impact Assessment and experience provided by award winning developer/operator ZW2 Pty Limited; the proposed development is considered to result in a positive social and economic impact.

5.1.12 Waste

As with most best-practice building projects and as per the objectives of the Chapter, the amount of waste to be generated during the construction phase will generally be minimal due to the use of pre-ordered and pre-fabricated building materials to ensure wastage – and hence cost – is minimised.

Waste generated during the construction phase will be sorted and either re-used onsite or will be taken to a material recycling facility where possible. All non-recyclable waste will be removed to Council's Waste Depot.

With regards to the ongoing operational management of waste; an Operational Management Plan will be prepared with the appointed private waste contractor, ensuring each moveable dwelling will have access to an appropriate garbage collection service onsite

Each moveable dwelling will have access to suitable garbage and recycling bin facilities, allowing for waste to be sorted prior to collection.

A Waste Management Plan has been prepared and is located within Appendix 19.



5.1.13 Safety, Security and Crime Prevention

A CPTED Report has been prepared for the proposed development and is provided as **Appendix 18**.

The crime trend data and hot spot maps show that the proposed development site and surrounding area is not an area where there is a high incidence of crime. Overall design elements of the proposed development are consistent with CPTED principles. Furthermore, a community manager will be available during business hours and contactable outside these hours. This, together with the adoption of the strategies outlined within the CPTED report, mean crime risk is considered to be low.

5.2 THE SUITABILITY OF THE SITE FOR THE DEVELOPMENT (\$4.15(1)(C)):

The proposed MHE is located on a site which has had land appropriately zoned and cleared for residential development, and adjoins similar residential development to the north. The site's location affords excellent accessibility to shopping centres and all essential services and facilities required by residents, in addition to those which are to be provided onsite.

For these reasons, the subject site is considered to be entirely suitable for the proposed residential subdivision.

5.3 ANY SUBMISSIONS MADE IN ACCORDANCE WITH THE ACT (\$4.15(1)(D)):

The proposed MHE will require public notification in accordance with Chapter 1.3 of the DCP.

5.4 THE PUBLIC INTEREST (S4.15(1)(E)):

The proposed MHE will develop an existing vacant portion within the site, for the purposes for which it has been zoned and as such, is considered to be in the public interest through the long term benefits of development and growth within a strategically appropriate location.

The proposed development is in the public's interest and their future benefit through:

- · Protecting the environmental zoned lands onsite;
- Better environmental management of bushfire sources;
- Providing new, affordable housing supply of an appropriate type and scale envisaged for the future ageing population of the Mid North Coast, and to meet market demands;
- The creation of jobs during construction and future business for locals.



6.0 Conclusion

The proposed development site is considered an obvious and ideal location for the development of a manufactured home estate, within the remaining cleared R1 zoned land in the south-western portion of the subject site. Manufactured Home Estates have become a fundamental component of the efforts to address housing affordability within NSW, and a means by which people are able to live in a community where they can enjoy the benefits of proximity to neighbours and to the range of facilities available to the residents.

Overall, the proposed development complies with all relevant provisions of the Port Macquarie Hastings Local Environmental Plan 2011 ("LEP") as well as the relevant aims and objectives of the Port Macquarie Hastings Development Control Plan 2013 ("DCP)". Where the development does not comply with numerical requirements under the DCP, adequate justification has been supplied illustrating that the development continues to achieve the objectives of that control.

The proposal addresses all matters under Section 4.15 of the EP&A Act and on this basis, Council is requested to grant development consent to the application.



PROPOSED PLANS



LANDSCAPE PLAN



ARCHITECTURAL PLANS



DEPOSITED PLAN



CERTIFICATE OF TITLE



PRE-DA MEETING RESPONSE TABLE



DCP PART 2 COMPLIANCE TABLE



LOCAL GOVERNMENT REGS COMPLIANCE TABLE



SECTION 82 OBJECTION



SEPP 64 COMPLIANCE TABLE



VEGETATION AND HABITAT MANAGEMENT PLAN



ABORIGINAL HERITAGE DUE DILIGENCE ASSESSMENT



NOISE IMPACT ASSESSMENT



TRAFFIC IMPACT ASSESSMENT



STORMWATER MANAGEMENT REPORT



BUSHFIRE THREAT ASSESSMENT



SOCIAL IMPACT ASSESSMENT



CPTED ASSESSMENT



WASTE MANAGEMENT PLAN



Attachment 1

AMENDED SWMP

Engineering

ADW JOHNSON PTY LIMITED

ABN 62 129 445 398

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Stormwater Management Report

Laurieton Stage 4 Residential Resort

Property:

Lot 4 DP 1205335 Ocean Drive, Kew

Applicant:

ZW2 Pty Ltd

Date:

December 2019





Project Management • Town Planning • Engineering • Surveying Visualisation • Social Impact • Urban Planning

www.adwjohnson.com.au



Document Control Sheet

Issue No.	Amendment	Date	Prepared By	Checked By
Α	Preliminary Issue	01/08/2019	NM	ML
В	Address Council Comments	19/12/2019	NM	ML



Executive Summary

ADW Johnson has been commissioned by ZW2 Pty Ltd to prepare a Stormwater Management Report (SWMR) for Stage 4 of the Manufactured Housing Estate (MHE) of Lot 4 in DP1205335, known as Ocean Drive, Kew (the site).

The preparation of this report has been undertaken to accompany a Development Application required for the proposed subdivision in accordance with Port Macquarie Hastings Council (PMHC) requirements.

Detention storage has been modelled using the XPRAFTS software and designed to limit the peak runoff from the post developed catchment to less than or equal to the peak runoff of the pre developed catchments.

A treatment train process of a grass lined swale drain, gross pollutant trap, and a water quality basin have been designed to effectively reduce the nutrients and gross pollutants from stormwater runoff from the proposed development.

MUSIC modelling has demonstrated that the treatment train for runoff from the proposed development complies with the performance target objectives of PMHC prior to discharge into the downstream waterways.

An erosion and sedimentation control plan will be implemented to minimise the risk of erosion to disturbed areas and limit the transport of sediments from the development site to the receiving waters during construction. For the purpose of the DA, a concept plan has been prepared and included within this submission.

The SWMR for the proposed development meets all of the objectives and requirements outlined in PMHC's Development Design Specifications for Stormwater Management & Stormwater Drainage Design.



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1.0 Introduction

ADW Johnson has been commissioned by ZW2 Pty Ltd to prepare a Stormwater Management Report (SWMR) for Stage 4 of the Manufactured Housing Estate (MHE) of Lot 4 in DP1205335, known as Ocean Drive, Kew (the site).

The preparation of this report has been undertaken to accompany a Development Application required for the proposed subdivision in accordance with Port Macquarie Hastings Council (PMHC) requirements.

This report documents the proposed stormwater system required to efficiently and effectively capture and convey the stormwater from the proposed development and upstream catchments, and ensure that there are no adverse effects from the proposed development on water quality to the receiving waters or flooding of downstream properties or infrastructure.



2.0 Site Description

The subject site is identified as Lot 4 DP1205335, Ocean Drive, Kew.

The site, as shown in **Figure 1**, is approximately 6.4ha in size and is zoned R1 General Residential.

The site is situated off Ocean Drive, Kew, roughly 2.4 km North East of the Laurieton/Kew exit on the Pacific Highway. The site is bounded by Stage 3 of the Laurieton Residential Resort to the north, bushland to the east, Ocean Drive and rural properties the south and to the west.

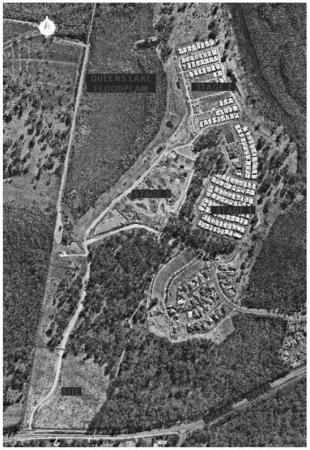


Figure 1 – Proposed Development Site (Source: Six Maps)



2.1 TOPOGRAPGHY AND EXISTING INFRASTRUCTURE

The site, as shown in **Figure 1**, is vegetated with a mix of maintained grass, low scrub and some trees on the fringes of the site. There is an existing gravel road traversing through the site which will be redirected and formalised concurrently with the development, creating permanent connectivity to the proposed and existing residential resort from Ocean Drive.

The site generally slopes towards the west and north at approximately 2.5% from the east and 3% from the south. There is a ridgeline that runs roughly down the middle of the site from east to west with levels on the site ranging from RL 17.8m to RL 5.7m.

Existing topography and contours can be viewed in Exhibit 1.0.

2.2 PROPOSED DEVELOPMENT

The proposed development consists of 136 manufactured housing lots and associated infrastructure such as roads, drainage, services and landscaping as can be seen in **Exhibit 2.0.** The development is the fourth stage of the continuation of Laurieton Residential Resort expansion project.

The development has been designed to match into the existing and proposed road network located adjacent to site.

The stormwater from the proposed development will be captured by a pit and pipe network and conveyed to a water quality basin via a grassed swale drain and GPT at the northern boundary where post treatment the flows will be discharged under the proposed formalised configuration of Botanic Drive and evenly dispersed over the existing flood plain to the north west of the subject site.



3.0 Council Requirements

Stormwater management within the proposed rezoning is to comply with Port Macquarie Hastings Council documents including but not limited to:

- Port Macquarie-Hastings Development Control Plan;
- NSW Development Design Specification-D5 Stormwater Drainage Design;
- NSW Development Design Specification-D7 Stormwater management.

The aforementioned documents outline the various requirements for the design of the stormwater for the proposed development.



4.0 Objectives

4.1 CONCEPT STORMWATER DESIGN

A concept stormwater design is required to demonstrate that stormwater runoff can be effectively and efficiently conveyed from the proposed subdivision and upstream catchments to the existing receiving waters. The stormwater design is required to consider adjacent properties and ensure no nuisance runoff occurs onto the existing properties.

Conveyance of overland flows has been considered to ensure that the upstream catchment has been accommodated for the ultimate urbanised scenario and how the development will treat the upstream flows traversing through the subject site.

4.2 HYDROLOGICAL ANALYSIS

As per advice from PMHC, dated 28th October 2019, controlling stormwater flows caused by this development is a requirement for Development Approval.

The stormwater detention system is to be designed to ensure that the peak post developed stormwater runoff from the catchment is not greater than the pre developed runoff from the catchment for the 1 year, 10 year and 100 year ARI design storm events.

A recognised runoff routing method (XPRAFTS) was used for the computation of the detention requirements.

Worley Parsons' "Camden Haven and Lakes System Flood Study" issue No. 4, dated 29th July 2013, states the 100 year flood level of the site is 2.93 AHD. The future Botanic Drive formation and outlet from the proposed basin will designed to create no conflicts with the 100 year flood level.

4.3 STORMWATER QUALITY

The stormwater drainage system must effectively remove the nutrients and gross pollutants from the site prior to the runoff entering the existing downstream waterways.

The stormwater design for the proposed subdivision is to adopt Water Sensitive Urban Design (WSUD) principles throughout the development to promote sustainable and integrated land and water resource management.

The guidelines for stormwater quality treatment objectives are expressed as mean annual reductions of pollutant loads. The target objectives were obtained from NSW Development Design Specification-D7 Stormwater management.

Table 4.1 - Stormwater Treatment Objectives

Pollutant	Stormwater Treatment Objectives
Suspended Solids	80% retention of the average annual load
Total Phosphorus	45% retention of the average annual load
Total Nitrogen	45% retention of the average annual load
Gross Pollutants	100% reduction of litter and vegetation larger than 5mm

DEVELOPMENT ASSESSMENT PANEL 10/06/2020



The objective of this report is to demonstrate that the water quality objectives for the proposed development comply with the requirements of PMHC as outlined on the previous page in **Table 4.1**.

4.4 EROSION AND SEDIMENTATION CONTROL

Erosion and sedimentation control measures need to be implemented during any construction activities on the proposed subdivision to minimise the risk of erosion to disturbed areas and limit the transport of sediments from the construction site to downstream waterways.



5.0 Concept Stormwater Design

A stormwater drainage concept plan has been prepared to demonstrate how the stormwater runoff for the proposed development and the upstream catchments is captured and transported to the receiving waters. Refer to **Exhibit 3.0** for the stormwater management plan.

As discussed in **Section 2.2**, it is proposed to capture stormwater from the proposed development by a pit and pipe network and conveyed to a proposed stormwater quality basin via a grassed swale drain at the northern boundary where post treatment, the flows will be discharged under the proposed formalised configuration of Botanic Drive and evenly dispersed over the existing flood plain.

The site is considered to be one (1) catchment area based on the site topography and discharge location, although it has been modelled as two (2) separate catchments in MUSIC and XPRAFTS. This is to accurately assess the quality reductions where roughly 45% of the site's overland flows will pass through a grass lined swale prior to entering the GPT and basin. The catchment area can be seen in **Exhibit 3.0**.

The proposed stormwater system contains a combination of conventional pit and pipe networks and WSUD elements to effectively convey stormwater runoff.

There are two (2) stormwater control facility proposed for the development to treat runoff before discharging from the site. The facilities consist of a GPT and water quality basin.

The pit and pipe network will generally be designed to cater for the 5 year ARI minor storm without any surcharging within the system and minimising flow widths and ponding. The road network will be designed to cater for the 100 year ARI major storm.



6.0 Hydrological Analysis

Following the residential development of land within the catchment, the additional impervious area is likely to result in the increase of stormwater runoff if it is not attenuated. In order to meet Council's requirements of attenuation to pre development runoff levels as described in Section 3.2, the increased stormwater runoff is to be detained in basin structures.

The modelling analysis was undertaken with a recognised runoff routing method (XPRAFTS) to compute peak design runoff from the catchment as well as sizing the detention requirements.

6.1 MODELLING PARAMETERS

6.1.1 Rainfall Intensity

The Rainfall Intensity Frequency Duration (IFD) data adopted was sourced from the Bureau of Meteorology website. This was then checked against the IFD data contained in Appendix A of PMHC AUSPEC-1 D05-Stormwater Drainage Design.

6.1.2 XPRAFTS Parameters

The key parameters utilised within the XPRAFTS model are summarised in Table 6.1 below.

Table 6.1 - XPRAFTS Modelling Parameters

Parameter Pervious Area		Impervious Area
Manningle Inl	0.035 – Natural	0.013
Manning's 'n'	0.035 - Developed	
Initial Loss (IL)	5.0mm	1.0mm
Continuing Loss (CL)	2.5mm/hr	0mm/hr

The parameters outlined in **Table 6.1** were based off geotechnical investigation and industry standard approaches.

6.2 SUB CATCHMENTS

Sub catchments were delineated by analysis of (Lidar) topographical survey information and then confirmed by ground truth inspection.

6.2.1 Predeveloped Catchment

The area included in the predeveloped runoff calculations is shown in the catchment plan provided in **Exhibit 1.0**, and the areas of the sub catchment are outlined in **Table 6.2** overleaf.

The existing site is almost entirely pervious. For the purposes of stormwater modelling A summary of the sub catchment parameters used are shown in **Table 6.2** and **Exhibit 1.0**.



Table 6.2 – Pre-Developed Catchment Parameters

Sub catchment	Total Area (ha)	% Impervious	Impervious Area (m²)	Pervious Area (m²)
Pre	8.05	15	1.21	6.84

6.2.2 Post Developed Catchment

The post developed sub catchment areas were determined by CAD measurement of the proposed development layouts and land use and based upon concept engineering design works.

Figure 2 below outlines the contributing catchment and the basin location.



Figure 2 – Basin and Contributing Catchment



Table 6.3 - Post Developed Catchment Parameters

Sub catchment	Total Area (ha)	% Impervious	Area (ha) Impervious	Area (ha) Pervious
Catchment to swale	3.89	62	2.4	1.47
Catchment directly to basin	4.16	74	3.1	1.06

6.3 DISCHARGE ESTIMATION

Pre developed peak discharges were estimated in each catchment for storms of 1 year, 10 year, and 100 year ARI storm durations were used ranging from 10 minutes to three (3) hours to determine the critical storm duration the catchment.

Predeveloped discharges are recorded in **Table 6.4** below.

Table 6.4 - Model Runoff Comparison (m3/s)

rable of Model Rollon Companion (110/5)							
Catchment	1 year (m³/s)	10 year (m³/s)	100 year (m³/s)				
Pre 1	0.972	2.567	4.007				

6.4 PROPOSED DETENTION BASIN

To mitigate the increase in peak developed discharge, a detention basin is proposed. Proprietary software, "XPRAFTS", was used to model and estimate the developed peak discharge after the inclusion of a detention basin.

The basin design involved a two (2) stage iterative process. The low flow outlet has been designed to mitigate the flows associated with the smaller 63% AEP storm event, and to maximise the detention time for water quality purposes. The mid-level outlet and emergency spillway has been designed to cater for the larger storm events (1% AEP).

Table 6.5 represents the outlet configuration for the proposed basins. A basin plan can be found in **Exhibit 2.0**.

Basin 1 is wholly located within the proposed development site and acts as permanent basins for the development.

6.4.1 Basin Details

The basin design details are summarised in **Table 6.5** on the following page.



Table 6.5 – Basin Details

Basin Parameter	Detail
Basin 1	
Levels	5.6m AHD – Permanent Water Level
Leveis	6.9m AHD – Top of basin
Basin Area	Permanent Water Area 1600m²
Batters	1:4
	0.9m x 1.2m RCBC (RL5.6)
Outlet Controls	0.375Ø Pipe (RL6.0)
	5m width overflow weir (RL6.8)
Total Storage at 100 year ARI	
Stage (above the permanent	3616 m³
water level)	
Freeboard at 100 year ARI	0.3m

6.5 STORMWATER DETENTION RESULTS

Table 6.6 summarises the peak runoff at the point of discharge from the site.

Table 6.6 – Catchment of Basin 1 Modelling Results

	Peak Runoff (m³/s)				
Storm Event year (ARI)	Pre-Developed	Post Developed (w/o detention)	Post Developed (with detention)		
Basin 1					
1	0.972	1.750	0.529		
2	1.457	2.297	0.689		
5	2.127	3.089	1.098		
10	2.567	2.572	1.366		
20	3.080	4.212	1.760		
50	3.524	4.706	2.141		
100	4.007	5.319	2.522		

As can be seen from **Table 6.6**, post development peak flows from each catchment are equal or less to the predeveloped peak flow rate for all modelled storm events. This satisfies Council's requirements in **Section 3** of this report.



7.0 Water Quality

The proposed stormwater system, as detailed in **Section 5** and detailed in plans prepared by ADW Johnson, ref. 190111(4)-CENG, uses a combination of pit and pipe networks and water sensitive urban design elements to convey stormwater runoff from the site. It is intended to use a combination of treatment devices within the drainage system to remove nutrients and sediments from the stormwater prior to the runoff leaving the site.

7.1 TREATMENT DEVICES

The stormwater design for the proposed subdivision will consist of a combination of at source, conveyance, and end of line controls to treat the stormwater runoff from the site. The treatment train of at source, conveyance, and end of line controls will be modelled for demonstration of compliance with PMHC's key performance objectives.

Conveyance

Flows for the catchment will be conveyed through a grassed swale drain prior to entering the end of line treatment, slowing down flows from the pit and pipe network

End of Line

Flows for the catchment will be conveyed through a GPT to a water quality basin before discharging from the site. The basin will promote sedimentation of particles larger than 125 µm and promote filtration of the stormwater through a filter media.

7.2 MODELLING

The software used for the water quality modelling is MUSIC. This program is well regarded as industry best practice for analysis of the effectiveness of treatment mechanisms on the quality of stormwater runoff from a development site of this size.

The modelling approach is based on continuous simulation, operating at time steps to match the scale of the catchment.

7.2.1 Source Nodes

The source nodes were set up to represent each sub catchment within the catchment. Each of the sub catchment source nodes are given different pollution generation parameters based on the type of sub catchment. The parameters for source nodes have all been adopted from MUSIC and PMHC standard values.

7.2.2 Rainfall and Evapotranspiration Data

The rainfall data has all been adopted from Port Macquarie Hastings MUSIC model base for the Coastal Rainfall zone as sourced from the Port Macquarie Hasting Council website.



7.2.3 Catchment Data

The post development catchment and sub catchment boundaries were determined from the concept stormwater design and can be seen in **Exhibit 3.0**.

Table 7.2 shows the catchment and sub catchment areas.

Table 7.2 – Post Development Catchment and Sub catchment Areas

	OSI DEVELOP				
Catchment	Sub Catchment	Total Area (ha)	% Impervious	Impervious Area (ha)	Pervious Area (ha)
	Roads	0.49	95	0.47	0.02
To basin	Roofs	1.76	100	1.76	-
via Swale	Lot balance	0.2	25	0.05	0.15
	External Catchment	1.46	10	0.15	1.31
	Total	3.91	-	2.43	1.49
	Roads	0.75	95	0.72	0.04
Directly to basin	Roofs	2.21	100	2.21	-
	Lot balance	0.25	25	0.06	0.18
	Open Space	0.93	10	0.09	0.83
	Total	4.14	-	3.08	1.06

All percentage impervious adopted for each sub catchment comply with PMHC's requirements.

The inclusion of the external catchment has been considered in this report for the purpose of providing conservative estimates of anticipated flows of volume. At construction certificate stage options will be explored such as diversion drains at the extents of the site to divert unpolluted water from entering site.

7.2.4 Water Quality Basin

The proposed water quality basin is designed to have a permanent water level of 400mm, and will allow for peak flows above the 1% AEP to discharge over a rock lined spillway. The basin will be accessible from the adjoining roads for maintenance purposes. Dimensions of the proposed basin are available in **Table 7.3**.

The basin level has been set to accommodate inlet and outlet controls.

The stormwater pipes discharging to the basin will be conveyed through a grassed swale prior to entering the basin. Details of the basin can be seen in **Exhibit 3.0** on the following page.



Table 7.3 – Water Quality Basin Dimensions

Basin	Required Surface Area (m²)	Permanent Water Depth (m)	Basin total Capacity (m³)	Low flow outlet pipe diameter (m)	Outlet weir Width (m)
1	1925	0.6	3680	0.375	5

7.3 RESULTS

In accordance with Council requirements, modelling has been undertaken to demonstrate compliance with water quality objectives for stormwater runoff from the proposed development prior to discharge of stormwater into the downstream waterways.

The results of the modelling are shown in **Table 7.4**.

Table 7.4 – Total Site Pollutant Loads and Reductions

Pollutant	Source Load	Residual Load	Modelled Reduction (%)	Target Reduction (%)
Total Suspended Solids (kg/yr)	20000	2720	86	80
Total Phosphorus (kg/yr)	35	9.81	72	45
Total Nitrogen (kg/yr)	260	140	46	45
Gross Pollutants (kg/yr)	2010	0	100	100

From **Table 7.4**, MUSIC modelling indicates compliance with Council target reduction objectives, and the key performance criteria for water quality targets have been met and/or exceeded. The reduction has been measured at the downstream end of the proposed quality treatment ponds, before discharge out of site.



8.0 Erosion and Sedimentation Control

Erosion and sedimentation control measures need to be implemented during any construction on the proposed subdivision to minimise the risk of erosion to disturbed areas and limit the transport of sediments from the construction site to downstream waterways. An Erosion and Sedimentation Control Plan can be seen in **Exhibit 4.0** The attached Erosion and Sedimentation Control Plan is only an indicative plan as another Erosion and Sedimentation Control Plan will be provided as part of the Construction Certificate drawings and a further plan will be provided by the contractor before construction takes place.

During the construction period, it is recommended that the basin is constructed early and used as a temporary sediment basin. It is recommended that initially all water runoff from the site is diverted to the basins prior to the filtration media being installed. The temporary sediment basins required during construction will be sized at the detailed design stage to ensure they comply with the proposed sediment basin and wetland.

It is also recommended that an appropriate Erosion and Sedimentation Control Plan is implemented throughout the entire construction period to minimise the quantity of sediments being conveyed to the temporary sediment basin.



9.0 Conclusion

The proposed stormwater system has been designed to safely convey the minor and major flows from within the development to the receiving waters without adversely impacting downstream properties and infrastructure.

Detention storage has been modelled using the XPRAFTS software and designed to limit the peak runoff from the post developed catchment to less than or equal to the peak runoff of the pre developed catchments.

A treatment train process of a grassed swale, GPT and water quality basin have been designed to effectively reduce the nutrients and gross pollutants from stormwater runoff from the proposed development. It is anticipated that, although water quality modelling shows this treatment train sufficiently treats the anticipated pollutants caused by the development, trash racks or similar devices may be utilised as an extra end of line treatment at the construction certificate stage.

MUSIC modelling has demonstrated that, with the inclusion of an external catchment, the treatment train for runoff from the proposed development complies with the performance target objectives of PMHC prior to discharge into the downstream waterways.

An erosion and sedimentation control plan will be implemented to minimise the risk of erosion to disturbed areas and limit the transport of sediments from the development site to the receiving waters during construction.

The SWMP for the proposed development meets all of the objectives and requirements outlined in PMHC's Development Design Specifications for Stormwater Management & Stormwater Drainage Design.



MANUFACTURED HOME ESTATE OVER 55'S RESORT LIVING

> LOT 10 DP 1250178 OCEAN DRIVE, KEW

PREPARED FOR: ZW2 PTY LTD

AUGUST 2019

DEVELOPMENT ASSESSMENT PANEL 10/06/2020



Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

REF: - 18/029

TRAFFIC IMPACT ASSESSMENT MANUFACTURED HOME ESTATE – OVER 55'S RESORT LIVING ZW2 PTY LTD

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QUALITY ASSURANCE

This document has been prepared, checked and released in accordance with the Quality Control Standards established by Intersect Traffic Pty Ltd.

Issue	Date	Description	Ву
Α	17/10/18	Draft	JG
В	23/10/18	Edit	JG
С	7/11/18	Final Proof	JG
D	7/11/18	Approved	JG
E	16/12/18	Access changes / Approved	JG
F	01/07/19	Amended Layout / Approved	JG
G	07/08/19	Over 55's living / Approved	JG

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This document has been authorised by

Date 7th August 2019

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APPENDIX 3

Traffic Impact Assessment – Manufactured Home Estate – Ocean Drive, Kew

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SIDRA SUMMARY TABLES





1. INTRODUCTION

Intersect Traffic Pty Ltd (Intersect Traffic) was engaged by ADW Johnson on behalf of ZW2 Pty Ltd to prepare a traffic impact assessment for a Manufactured Home Estate on Lot 10 DP 1250178, Ocean Drive, Kew. This development is an over 55's resort living development similar to the adjoining Laurieton Residential Resort. Access to the development is proposed via a direct access to Ocean Drive. The proposed development plans are provided within *Appendix 1*.

The aim of this assessment is to determine the likely impact of the proposal on the adjacent local road network due to the traffic generated by the development and assess the development against the traffic, parking and access requirements of Port Macquarie- Hastings Council contained within its DCP (2013) and the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005.* This will allow Council officers to assess the traffic related merits of the proposal.

This report is required to support a development application to Port Macquarie – Hastings Council and presents the findings of the traffic impact assessment and includes the following:

- 1. An outline of the existing road network in the vicinity of the proposed development;
- 2. An assessment of the likely peak traffic generation from the development;
- An assessment of the likely traffic impacts of the proposal on the adjacent road network in particular in terms of the capacity of the existing road network linking to the sub-arterial road network;
- 4. An assessment of the proposed development's access and on-site parking;
- 5. Reviews available alternate transport mode opportunities and constraints; and
- 6. Presentation of conclusions and any recommendations.

This assessment has been carried out with reference to the RMS' Guide to Traffic Generating Developments, Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005, Austroads Guide to Road Design Guidelines (2009), Australian Standards AS2890.1-2004 – Parking facilities – Part 1 – Off street car parking, Maitland City Council's Manual of Engineering Standards and Maitland City Council's DCP (2011) as well as utilising information provided by ADW Johnson.

1



2. SITE LOCATION

The subject site is located on the northern side of Ocean Drive, Kew approximately 1.8 km's east of the Pacific Highway. The site contains an existing manufactured home estate in the northern section of the site which fronts Queens Lake. The site is approximately 6.5 km (by road) northwest of the Laurieton Shopping Centre. *Figure 1* below shows the location of the site.

The site is titled Lot 10 DP 1250178 and addressed as Ocean Drive, Kew. The site development has an area of approximately 6.0 ha and is zoned R1 – General Residential, E3 – Environmental Management and E2 – Environmental Conservation under the provisions of the Port Macquarie-Hastings LEP (2011) though the area being developed is only zoned R1 General Residential. The site is currently vacant though an existing manufactured home estate is located in the northern sections of the site approximately 500 metres north of the site.

Access to the site is currently via a sealed rural access crossing designed to cater for heavy vehicles to Ocean Drive approximately 50 metres east of Mountain View Road. **Photographs 1 and 2** below show the existing site and vehicular access to Ocean Drive.



Figure 1 - Site Location Plan



Photograph 1 - Existing site access from Ocean Drive



Photograph 2 - Development Site from Ocean Drive



3. EXISTING ROAD NETWORK

Ocean Drive under a functional road hierarchy is considered a sub-arterial road and is a classified main road (MR600). It is a regional road therefore is under the care and control of Port Macquarie-Hastings Council though funding assistance is provided by NSW Roads and Maritime Services (NSW RMS). It connects Port Macquarie and the seaside villages of Lake Cathie, Bonny Hills, Northaven and Laurieton to Kew.

Ocean Drive is essentially a two-lane two-way rural sealed road with a speed limit of 70 km/h applying near the site. Travel lanes are in the order of 3.5 metres wide with sealed shoulders varying in width from 1 metre to in excess of 2 metres wide existing near the site. At the time of inspection Ocean Drive was observed to be in good condition. **Photograph 3** shows Ocean Drive near the site.



Photograph 3 - Ocean Drive near the site

4. ROAD NETWORK IMPROVEMENTS

There are no known road network improvements currently programmed that will increase the capacity of the local road network. Maintenance and reconstruction work in the area would be carried out in line with Port Macquarie-Hastings Council's Annual Works Programmes.

It is understood that a S94 Developer contributions plan exists for the Camden Haven Area 15 adjacent to the site (west) and includes provision of a roundabout intersection at the Ocean Drive / Mountain View Road intersection with a fourth public road leg providing access to the eastern areas of Area 15 Camden Haven. This road upgrade will occur as the Camden Haven Area 15 site develops in line with the works schedule in the S94 plan as developer contributions are pooled.



5. TRAFFIC VOLUMES

Northern Transport Planning and Engineering on behalf of Intersect Traffic installed traffic classifiers on Ocean Drive near the site (150 metres east of Mountain View Road) for the weeklong period commencing 15th September 2018. The classifier outputs are provided within *Appendix 2*.

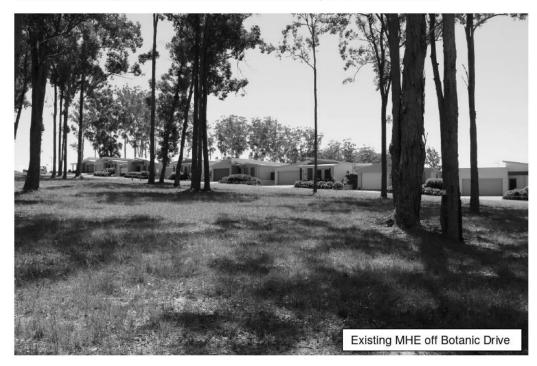
These classifier counts determined that the peak hour traffic periods on Ocean Drive, Kew occurred between 8.00 am and 9.00 am and 3.00 pm to 4.00 pm. The recorded peak traffic flows within the weeklong count were as follows while the heavy vehicle percentage was recorded as 2% average for both the weekday and 7-day average noting that the peak is as determined for a particular day and not simply adding the eastbound and westbound peaks from the traffic data summary (*Appendix 2*) which occur on different days;

- 2018 AM peak 831 vtph; and
- 2018 PM peak 873 vtph.

By applying a 2 % per annum background traffic growth which is a normal background traffic growth rate for a sub-arterial road the following predicted 2029 peak hour traffic volumes can be determined for Ocean Drive;

- 2029 AM peak 1,033 vtph; and
- ♦ 2029 PM peak 1,085 vtph.

These road network peak hour traffic volumes have been adopted in this assessment.





ROAD NETWORK CAPACITY

The capacity of roads is generally determined by the capacity of intersections on the road network. However, Table 4.5 of the *RTA's Guide to Traffic Generating Developments* provide some guidance on mid-block capacities for rural roads. As the speed limit on the local road network is 70 km/h a capacity reduction of 15 % has been applied to the thresholds in the table which are for a 100 km/h speed zoning. This table is reproduced below.

Table 4.5
peak hour flow on two-lane rural roads (veh/hr)
(Design speed of 100km/hr)

Terrain	Level of Service	Percent of Heavy Vehicles				
Terrain	Level of Service	0	5	10	15	
	В	630	590	560	530	
Level	С	1030	970	920	870	
Level	D	1630	1550	1480	1410	
· ·	E	2630	2500	2390	2290	
	В	500	420	360	310	
Rolling	С	920	760	650	570	
Rolling	D	1370	1140	970	700	
	E	2420	2000	1720	1510	
	В	340	230	180	150	
Mountainous	С	600	410	320	260	
Mountamous	D	1050	680	500	400	
	E	2160	1400	1040	820	

The data for Table 4.5 assumes the following criteria:

- terrain level with 20% no overtaking.
- rolling with 40% no overtaking.
- mountainous with 60% no overtaking.
- 3.7 m traffic lane width with side clearances of at least 2m.
- 60/40 directional split of traffic.

Source: - RTA's Guide to Traffic Generating Developments (2002).

Based on these tables and adopting a LoS C as being satisfactory for the local road network it is considered that the road network (Ocean Drive) near the site as two lane two-way rural road, with level terrain and 5 % heavies has a technical mid-block capacity of up to 1,320 vtph before a LoS D applies.

As the current and future (2029) forecast peak traffic volumes on the local road network, as identified in **Section 5** above, are less than the technical mid-block capacity determined above it is concluded the local road network (Ocean Drive) has spare capacity to cater for additional traffic generated by the proposal.



7. ALTERNATE TRANSPORT MODES

Busways Port Macquarie runs public transport (bus) services in proximity to the site. Route 334K (Port Macquarie – Laurieton & Kendall) runs along Ocean Drive past the site. The nearest bus stops are located opposite the site at the Mountain View Road intersection for westbound buses and 100 metres west of the site for eastbound buses. These are considered within easy walking distance from the development location. This service provides access to and from the site to and from Laurieton, Port Macquarie, Kew and the railway station at Kendall thereby providing access to all areas and facilities in the Camden Haven and Port Macquarie area through bus connections and all locations on the north coast rail line via Kendall railway station. **Photographs 4 & 5** below show the bus stops within close proximity to the site.



Figure 2 - Bus Route Map



Photograph 4 - Westbound bus stop near Mountain View Road



Photograph 5 - Eastbound bus stop west of site.

An off-road shared cycleway pedestrian path runs along the southern side of Ocean Drive between Kew and Brotherglen Drive also past Camden Haven High School. There are no other pedestrian pathways or cycleways near the site. **Photograph 6** shows the concrete shared pathway along the southern side of Ocean Drive past the site.





Photograph 6 - Shared pedestrian and cycle path - Ocean Drive.

8. PROPOSED DEVELOPMENT

The proposal involves the construction of a Manufactured Home Estate on the site to be used as an over 55's residential resort similar to the adjoining Laurieton Residential Resort with a total of 136 home sites within the estate. Specifically, the proposal involves:

- 1. Site clearing;
- 2. Construction of interior roads;
- 3. Construction of a Clubhouse and recreation facilities and sales office;
- 4. Construction of a vehicular entrance to the site off Ocean Drive;
- 5. Stormwater drainage infrastructure; and
- 6. Landscaping as required.

The proposed development plan is provided within Appendix 1.



9. TRAFFIC GENERATION

The NSW RMS Technical Direction 13/04 provides information on traffic generation rates for seniors housing. This document identifies the following rates being applicable for seniors living.

daily trips per dwellingpeak hour trips per dwelling0.4 trips

In terms of traffic impact, the critical assessment period for this proposal is both the AM and PM peak hour traffic volumes generated by the proposed development of 136 additional sites which is calculated as follows:

Daily trips = 136 x 2.1 = **286 vtpd Peak hour trips** = 136 x 0.4 = **55 vtph**

The critical impact for this development on the local road network will be at the Ocean Drive / Site Access intersection. Before carrying out any traffic assessment the additional external peak hour traffic generated by the development needs to be distributed through the adjoining road network. This involves making a number of assumptions as to distribution patterns to and from the development. In distributing the peak hour traffic from the development site onto the adjacent road network the following assumptions have been made for this site:

- In the AM peak 80% of traffic will exit the site and 20% will enter the site while in the PM peak 30 % of traffic will exit the site and 70 % of traffic will enter the site;
- At the site access the directional split will be 50 % east for local destinations / origins i.e. Laurieton, Dunbogan, Northaven, Bonny Hills & Lake Cathie and 50 % west for regional destinations / origins via the Pacific Highway i.e. Taree & Port Macquarie.

The resulting development AM & PM peak hour traffic trip distribution for the development traffic is shown in *Figure 3* below.

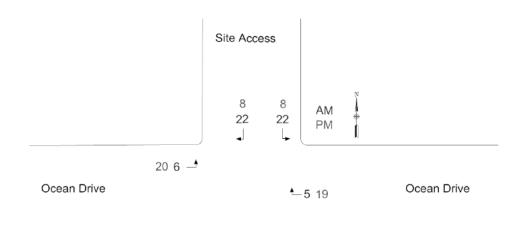


Figure 3 - Development Traffic Peak Hour Trip Distribution



10. TRAFFIC IMPACT ASSESSMENT

10.1 Road Network Capacity

Section 5.2 of this assessment has determined that the existing road network is currently operating below its technical mid-block two-way capacity of 1,320 vtph and has spare capacity to cater for additional traffic from the proposed development.

Section 9 of this report determined that the development is likely to generate up to 68 additional vehicle trips per peak hour distributed onto the road network as per **Figure 3. Table 1** below demonstrates that even the addition of this development traffic will not result in the technical two-way mid-block capacity of the local road network to be exceeded even through to 2029.

Table 1 - Road network capacity check.

Road	Section	Capacity	2018 vtph	2018 vtph	2029 vtph	2029 vtph	Dev'mnt
		vtph	AM Peak	PM Peak	AM Peak	PM Peak	AM & PM vtph
Ocean Drive	east & west of site access	1320	859	901	1061	1113	28

Therefore, it is reasonable to conclude that there is sufficient spare two-way mid-block road capacity within the local road network to cater for the proposed development.

10.2 Ocean Drive / Site access intersection capacity

To demonstrate the new site access will operate satisfactorily it has been modelled using the SIDRA INTERSECTION modelling software. This software package predicts likely delays, queue lengths and thus levels of service that will occur at intersections. Assessment is then based on the level of service requirements of the RMS shown below in Table 4.2 below. Assumptions made in this modelling were:

- ♦ The intersection layout will be a CHR(s) / AUL(s) rural intersection.
- Traffic volumes used in the modelling were as collected by NTPE in 2018.
- Traffic generated by the development is distributed as per Figure 3.
- Future traffic growth predicted using a 2.0% per annum background traffic growth rate on Ocean Drive.
- The intersection was modelled for both the 2018 and 2029 post development scenarios.

The summarised 'all vehicles' results of the modelling are provided in *Table 2* below. The Sidra Movement Summary Tables are provided in *Attachment C*.

Level of service criteria for intersections

Level of Service	Average Delay per Vehicle (secs/veh)	Traffic Signals, Roundabout	Give Way & Stop Signs	
Α	< 14	Good operation	Good operation	
В	15 to 28	Good with acceptable delays & spare capacity	Acceptable delays & spare capacity	
С	29 to 42	Satisfactory	Satisfactory, but accident study required	
D	43 to 56	Operating near capacity	Near capacity & accident study required	
E	57 to 70	At capacity; at signals, incidents will cause excessive delays	At capacity, requires other control mode	
		Roundabouts require other control mode		

Source: - RTA's Guide to Traffic Generating Developments (2002).



Table 2 - Sidra Results - Ocean Drive / Site Access - Give way T-intersection.

Modelled Peak	Degree of Saturation (v/c)	Average Delay (s)	Worst Level of Service	95% back of queue length (cars)
2018 AM with development	0.264	0.8	В	0.5
2018 PM with development	0.277	0.7	В	0.2
2029 AM with development	0.328	0.9	В	0.6
2029 PM with development	0.345	0.7	В	0.3

This modelling indicates that the Site Access intersection off Ocean Drive would operate satisfactorily both post development 2018 and through to 2029 with average delays, LoS and Back of Queue lengths within the acceptable criteria set by the NSW RMS (Table 4.2 above).

The existing site access off Ocean Drive will only be used for construction vehicle access during construction of the development and then as an alternate access / egress to and from Botanic Drive during emergencies such as bushfire and flooding for existing development at the end of Botanical Drive. This access is not proposed to be used by the development when it becomes operational.

Overall the impact of the development is considered negligible and it is considered reasonable to conclude that the proposed development will not adversely impact on the performance of the wider local road network intersections as development traffic is further distributed onto the road network.

10.3 On-Site Car Parking

The proposed development will generate an on-site parking demand therefore on-site parking in accordance with the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005* will need to be provided. The relevant requirements within the Regulation are:

Resident Parking

1 resident parking space per dwelling site

Visitor Parking

20 visitor parking spaces for a manufactured home estate containing more than 105 sites, plus one additional space for each additional 7 sites (or part of a site) over 140.

Accessible Parking (included in visitor parking requirements)

1 visitor accessible parking space per 100 sites or fraction of 100 sites.

The accessible visitor car parks are to comply with Australian Standard AS2890.6-2009 Parking facilities Part 6: Off-street parking for people with disabilities.

Parking Dimensions

Each parking space is to have, at minimum, dimensions of:

- (a) 5.4 metres by 2.5 metres, in the case of angle parking, and
- (b) 6.1 metres by 2.5 metres, in any other case.

Visitor parking must be clearly indicated as such.

Noting that on completion of the proposed development a total of 136 long term sites would exist within the park then the following on-site parking is required to be provided:

Resident Parking – 136 car spaces.

DEVELOPMENT ASSESSMENT PANEL 10/06/2020



Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

- Visitor Car Parking 20 car spaces.
- ♦ Accessible Visitor Car Parking = 2 car parks

A review of the plans shows the provision of only 9 visitor car parks on the site and no accessible spaces. There is however sufficient room on the site to provide the additional; 11 visitor car parks including 2 accessible spaces therefore this deficiency can be adjusted at Construction Certificate stage through a suitable condition of consent Therefore the proposed development can be compliant with the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005 in regard to the supply of on-site car parking.

10.4 Main Development Access

The main access to the site and to individual sites within the development boundaries will need to meet the requirements of the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005.* In regard to the regulation the important requirements and an assessment of compliance is:

- A dwelling site must have access to an access road;
- A road that forms an entrance to or exit from a manufactured home estate must be at least 8 metres wide;
- In the case of a divided road, the width of the sealed portion of the road on either side of the median strip must be at least 5 metres;
- The arrangement for the width of an entrance or exit road to taper into or meet the width of the sealed portion of the access roads leading to the entrance or exit may be specified in the approval for the manufactured home estate.

The width of the road reserve must be:

- at least 8.5 metres for a major access road; and
- at least 6 metres for a minor access road.

The width of the sealed portion of an access road must be:

- at least 6 metres for a major access road; and
- at least 4 metres for a minor access road.

If a minor access road exceeds 80 metres in length, a passing bay or bays must be provided within the road reserve. Passing bays must be provided at intervals of not more than 100 metres.

The width of the sealed portion of an access road at any point at which there is a passing or parking bay must be:

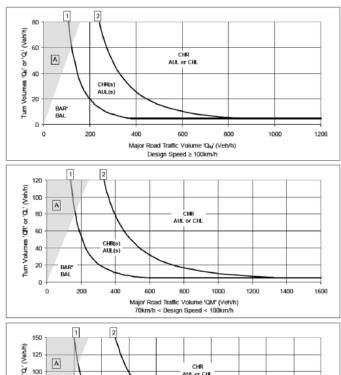
- at least 8.5 metres for a major access road; and
- at least 6 metres for a minor access road.

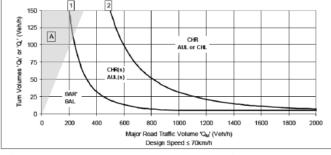
A review of the plans show that major internal access roads are 8.5 metres wide with a 6-metre pavement while the minor access roads have a 4-metre-wide pavement and would comply with the length requirement of less than 80 metres in length ensuring compliance with the regulations without the need for passing bays. It is intended these roads be sealed as required by the regulations.

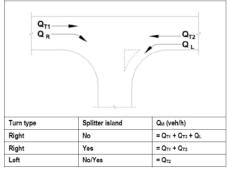
In terms of the proposed access it is noted that sight distance either side of the access is in excess of 300 metres therefore is compliant with the sight distance requirements of *Austroads Guide to Road Design – Part 4A – Unsignalised and signalised intersections (2010)* which is 155 metres for a 70 km speed zoning.

Reference is also made to the graphs shown in Figure 4.9 in the 'Austroads *Guide to Road Design* – *Part 4A* – *Unsignalised and Signalised Intersections*' reproduced below for turn lane warrant assessment. Noting the use of graph (c) for a design speed of less than or equal to 70 km/h and

the fact that for this site Q_R and Q_L would be a maximum of 19 vtph and 20 vtph in the PM peak period (see *Figure 3*) while the major road traffic volume in 2029 (Ocean Drive) Q_M is in the order of 1,104 vtph for right turning (1,085 (*Section 5*) + 19) and 507 vtph for left turning (from data in *Appendix 2*), places the intersection within the CHR(s) /AUL(s) section of the graph. It is therefore concluded that a CHR(s)/AUL(s) access intersection for development on Ocean Drive would be required and will need to be conditioned on the consent.







Source: Arndt and Troutbeck (2008)

Figure 4.10: Calculation of the major road traffic volume parameter Q_{II}
Source: - Austroad Guide to Road Design – Part 4 – Signalised and unsignalized intersections (2017).



Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

Overall it is considered that subject to the vehicular access off Ocean Drive being constructed to a CHR(s)/AUL(s) standard the site access and internal road network would comply with the requirements of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005 and Austroads.

10.5 Alternate Transport Modes

The development site is already suitably serviced by public transport services with bus stops located within convenient walking distance of the site. The provision of additional public transport infrastructure or services within or adjacent to the proposed development will not be required.

The development is not anticipated to generate significant pedestrian or bicycle traffic and there is an existing pedestrian/ bicycle path over the development frontage along Ocean Drive. Therefore, no additional external pedestrian or cycle paths will be required as part of this development. Internally traffic volumes on the internal roads are low and it will be suitable for pedestrian and cyclists to share these roads with other users though internal pedestrian and cycle facilities will also need to be to the satisfaction of the consent authority who would generally condition their requirements on any consent issued for the development.





Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

11. CONCLUSIONS

This traffic and parking assessment for a Manufactured Home Estate for over 55's seniors living on Lot 10 DP 1250178, Ocean Drive, Kew has determined the following:

- ♦ The development is expected to generate 286 trips per day and 55 peak hour trips;
- There is sufficient spare two-way mid-block road capacity within the local road network to cater for the proposed development.
- SIDRA INTERSECTION modelling of the proposed vehicular access to Ocean Drive has shown the access would operate satisfactorily with little delay to motorists and with average delays and back of queue lengths well within the acceptable operation thresholds recommended by the NSW RMS;
- The proposed development will therefore not adversely impact on the performance of the local road network.
- With the provision of at least 20 visitor car parks on the site, two of which would be accessible spaces the proposed development would be compliant with the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005 in regard to the supply of on-site car parking. Currently only 9 visitor car parks are shown however sufficient room exists on the site to provide the required visitor car parking and it can be conditioned on the consent and confirmed at Construction Certificate stage.
- Subject to the vehicular access off Ocean Drive being constructed to a CHR(s)/AUL(s) standard the site access and internal road network would comply with the requirements of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005 and Austroads.
- The provision of additional public transport infrastructure or services within or adjacent to the proposed development will not be required as the existing services and infrastructure are considered adequate for the development.
- ♦ The development is not anticipated to generate significant pedestrian or bicycle traffic and there is an existing pedestrian/ bicycle path over the development frontage along Ocean Drive. Therefore, no additional external pedestrian or cycle paths will be required as part of this development. Internal pedestrian and cycle facilities would need to be provided to the consent authority requirements though it is considered sharing of the internal road ways by pedestrian and cyclists would be satisfactory for the type and scale of the development.

12. RECOMMENDATION

Having undertaken this traffic and parking assessment for a Manufactured Home Estate for 0ver 55's seniors living on Lot 10 DP 1250178, Ocean Drive, Kew it is recommended that the proposal can be supported from a traffic impact perspective as the development will not have an adverse impact on the local road network and will comply with all the requirements of Port Macquarie - Hastings Council, Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) regulation 2005, Austroads and Australian Standards.

JR Garry BE (Civil), Masters of Traffic

Director

Intersect Traffic Ptv Ltd

Coarses

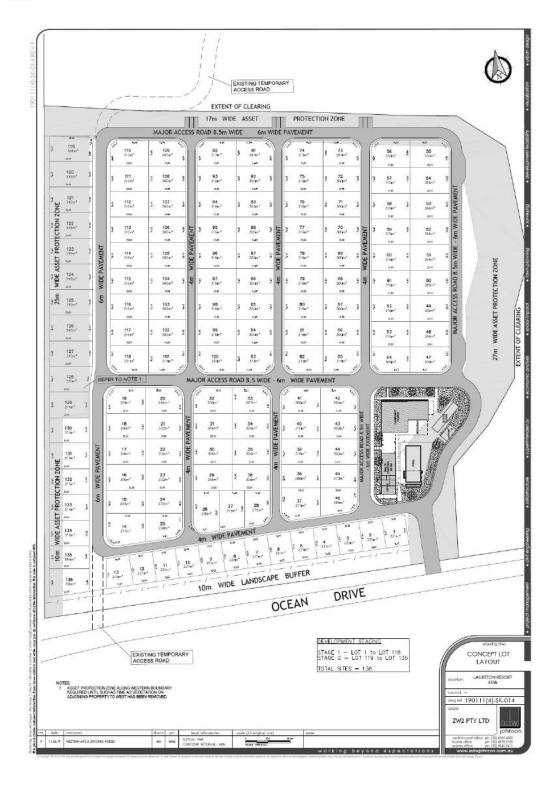


Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

APPENDIX 1 DEVELOPMENT PLANS



Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew





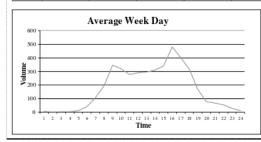
Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

APPENDIX 2 TRAFFIC COUNT DATA



Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

ite 1	Ocean DR	150m E of M	lountain Vie	w RD [70]		Eastbound						
Day	Sat	Sun	Mon	Tue	Wed	Thu	Fri	W/Day	W/End	7 Day		
ime	15/09/18	16/09/2018	17/09/2018	18/09/2018	19/09/2018	20/09/2018	21/09/2018	Ave.	Ave.	Ave		
0:00	8	16	4	7	4	4	8	5	12	7		
1:00	11	6	3	1	0	1	6	2	9	4		
2:00	7	6	3	4	4	5	5	4	7	5		
3:00	5	10	5	2	6	3	2	4	8	5		
4:00	7	8	16	9	16	14	10	13	8	11		
5:00	22	40	39	42	38	47	34	40	31	37		
6:00	57	105	109	116	112	103	86	105	81	98		
7:00	109	113	188	197	202	190	192	194	111	170		
8:00	209	226	326	356	342	362	347	347	218	310		
9:00	274	341	306	327	349	299	323	321	308	317		
10:00	258	347	263	244	255	301	317	276	303	284		
11:00	348	323	252	280	287	298	341	292	336	304		
12:00	314	283	264	290	300	330	304	298	299	298		
13:00	284	246	300	286	295	303	368	310	265	297		
14:00	257	269	312	311	345	360	375	341	263	318		
15:00	214	274	475	483	444	507	498	481	244	414		
16:00	224	280	368	396	389	461	386	400	252	358		
17:00	224	203	319	300	314	300	344	315	214	286		
18:00	137	128	152	154	158	156	227	169	133	159		
19:00	74	60	78	70	75	70	102	79	67	76		
20:00	58	40	45	62	80	60	83	66	49	61		
21:00	45	19	37	56	58	56	65	54	32	48		
22:00	51	18	27	21	35	20	45	30	35	31		
23:00	21	7	5	8	10	11	24	12	14	12		
Total	3218	3368	3896	4022	4118	4261	4492	4158	3293	3911		

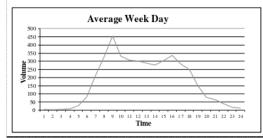


Su	mmary		
	from	to	
AM Peak	8:00 AM	900 AM	362
PM Peak	3:00 PM	400 PM	507
	Week Da	y Average	4158
	Weekend Da	y A verage	3293
	7 Da	y A verage	3911



Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

ite 1	Ocean DR	150m E of M	lountain Vie	w RD [70]				Westbound	d	
Day	Sat	Sun	Mon	Tue	Wed	Thu	Fri	W/Day	W/End	7 Day
Time	15/09/18	16/09/2018	17/09/2018	18/09/2018	19/09/2018	20/09/2018	21/09/2018	Ave.	Ave.	Ave
0:00	12	9	11	6	4	2	4	5	11	7
1:00	3	13	2	2	5	1	3	3	8	4
2:00	2	8	8	4	2	6	5	5	5	5
3:00	5	6	14	7	4	5	4	7	6	6
4:00	7	2	35	26	28	29	22	28	5	21
5:00	28	23	74	80	93	89	75	82	26	66
6:00	79	52	186	211	201	242	208	210	66	168
7:00	134	86	342	352	314	342	285	327	110	265
8:00	274	197	429	445	453	469	483	456	236	393
9:00	291	326	334	353	271	316	385	332	309	325
10:00	307	400	291	288	323	301	328	306	354	320
11:00	276	369	288	283	277	308	357	303	323	308
12:00	302	409	252	278	318	282	307	287	356	307
13:00	275	343	255	284	293	251	307	278	309	287
14:00	227	307	260	298	303	313	347	304	267	294
15:00	249	225	331	312	321	346	375	337	237	308
16:00	218	209	284	285	293	276	282	284	214	264
17:00	177	156	252	257	224	232	283	250	167	226
18:00	134	128	123	165	177	122	172	152	131	146
19:00	77	69	60	52	76	122	83	79	73	77
20:00	71	43	68	50	49	95	60	64	57	62
21:00	52	27	23	41	56	31	50	40	40	40
22:00	23	20	18	16	20	19	24	19	22	20
23:00	18	7	9	7	14	9	19	12	13	12
Total	3241	3434	3949	4102	4119	4208	4468	4169	3338	3932



Su	mmary							
	from	to						
AM Peak	8:00 AM	900 AM	483					
PM Peak	3:00 PM	400 PM	375					
	Week Da	y A verage	4169					
	Weekend Da	y A verage	3338					
	7 Day Average							



Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

APPENDIX 3 SIDRA SUMMARY TABLES



Traffic Impact Assessment - Manufactured Home Estate - Ocean Drive, Kew

MOVEMENT SUMMARY

V Site: 101 [2018 AM]

Ocean Drive Site Access intersection Site Category: (None) Giveway / Yield (Two-Way)

Move	ment Po	erformance	e - Vehi	icles								
Mov ID	Turn	Demand i Total veh/h	Flows HV %	Deg. Satn v/c	Average Delay sec	Level of Service	95% Back Vehicles veh	of Queue Distance m	Prop. Queued	Effective Stop Rate	Aver. No. Cycles	Average Speed km/h
East:	Ocean Di	rive										
5	⊤1	508	2.0	0.264	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	69.9
6	R2	7	1.0	0.008	7.8	LOS A	0.0	0.2	0.43	0.62	0.43	50.9
Appro	ach	516	2.0	0.264	0.1	NA	0.0	0.2	0.01	0.01	0.01	69.5
North	MHE site	e access										
7	L2	28	1.0	0.134	6.4	LOS A	0.5	3.3	0.60	0.76	0.60	47.2
9	R2	28	1.0	0.134	16.9	LOS B	0.5	3.3	0.60	0.76	0.60	47.1
Appro	ach	57	1.0	0.134	11.6	LOS A	0.5	3.3	0.60	0.76	0.60	47.2
West:	Ocean D	rive										
10	L2	7	1.0	0.004	6.4	LOS A	0.0	0.0	0.00	0.61	0.00	59.4
11	T1	381	2.0	0.198	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	69.9
Appro	ach	388	2.0	0.198	0.1	NA	0.0	0.0	0.00	0.01	0.00	69.7
All Ve	hicles	961	1.9	0.264	0.8	NA	0.5	3.3	0.04	0.05	0.04	67.7

Site Level of Service (LOS) Method: Delay (RTA NSW). Site LOS Method is specified in the Parameter Settings dialog (Site tab). Vehicle movement LOS values are based on average delay per movement.

Minor Road Approach LOS values are based on average delay for all vehicle movements.

NA: Intersection LOS and Major Road Approach LOS values are Not Applicable for two-way sign control since the average delay is not a good LOS measure due to zero delays associated with major road movements.

SIDRA Standard Delay Model is used. Control Delay includes Geometric Delay.

Gap-Acceptance Capacity: SIDRA Standard (Akçelik M3D).

HV (%) values are calculated for All Movement Classes of All Heavy Vehicle Model Designation.

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Preliminary Traffic Assessment - Manufactured Home Estate - 37 - 39 Metford Road, Tenambit

MOVEMENT SUMMARY

V Site: 101 [2018 PM]

Ocean Drive Site Access intersection Site Category: (None) Giveway / Yield (Two-Way)

Mov	Turn	Demand	Flows	Deg.	Average	Level of	95% Back	of Queue	Prop.	Effective	Aver. No.	Average
ID		Total		Satn	Delay	Service	Vehicles	Distance	Queued	Stop Rate	Cycles	Speed
		veh/h	%	v/c	sec		veh	m				km/h
East:	Ocean Di	rive										
5	T1	395	2.0	0.206	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	69.9
6	R2	25	1.0	0.033	9.1	LOS A	0.1	0.9	0.52	0.72	0.52	50.0
Appro	oach	420	1.9	0.206	0.6	NA	0.1	0.9	0.03	0.04	0.03	68.3
North	: MHE site	e access										
7	L2	11	1.0	0.057	7.4	LOS A	0.2	1.3	0.67	0.80	0.67	46.6
9	R2	11	1.0	0.057	18.0	LOS B	0.2	1.3	0.67	0.80	0.67	46.4
Appro	ach	21	1.0	0.057	12.7	LOSA	0.2	1.3	0.67	0.80	0.67	46.5
West	Ocean D	rive										
10	L2	25	1.0	0.014	6.4	LOSA	0.0	0.0	0.00	0.61	0.00	59.4
11	T1	534	2.0	0.277	0.0	LOSA	0.0	0.0	0.00	0.00	0.00	69.9
Appro	ach	559	2.0	0.277	0.3	NA	0.0	0.0	0.00	0.03	0.00	69.4
All Ve	hicles	1000	1.9	0.277	0.7	NA	0.2	1.3	0.03	0.05	0.03	68.2

Site Level of Service (LOS) Method: Delay (RTA NSW). Site LOS Method is specified in the Parameter Settings dialog (Site tab).

Vehicle movement LOS values are based on average delay per movement.

Minor Road Approach LOS values are based on average delay for all vehicle movements.

NA: Intersection LOS and Major Road Approach LOS values are Not Applicable for two-way sign control since the average delay is not a good LOS measure due to zero delays associated with major road movements.

SIDRA Standard Delay Model is used. Control Delay includes Geometric Delay.

Gap-Acceptance Capacity: SIDRA Standard (Akçelik M3D).

HV (%) values are calculated for All Movement Classes of All Heavy Vehicle Model Designation.

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Preliminary Traffic Assessment - Manufactured Home Estate - 37 - 39 Metford Road, Tenambit

MOVEMENT SUMMARY

V Site: 101 [2029 AM]

Ocean Drive Site Access intersection Site Category: (None) Giveway / Yield (Two-Way)

Design Life Analysis (Final Year): Results for 11 years

Mov	ement P	erformanc	e - Vehi	icles								
Mov ID	Turn	Demand Total veh/h	Flows HV %	Deg. Satn v/c	Average Delay sec	Level of Service	95% Back Vehicles veh	of Queue Distance m	Prop. Queued	Effective Stop Rate	Aver. No. Cycles	
East:	Ocean D	rive										
5	T1	632	2.0	0.328	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	69.9
6	R2	7	1.0	0.009	8.4	LOS A	0.0	0.2	0.48	0.65	0.48	50.5
Appro	oach	640	2.0	0.328	0.1	NA	0.0	0.2	0.01	0.01	0.01	69.6
North	: MHE sit	e access										
7	L2	28	1.0	0.194	7.1	LOS A	0.6	4.5	0.73	0.85	0.73	44.6
9	R2	28	1.0	0.194	25.1	LOS B	0.6	4.5	0.73	0.85	0.73	44.5
Appro	oach	57	1.0	0.194	16.1	LOS B	0.6	4.5	0.73	0.85	0.73	44.6
West	: Ocean D	rive										
10	L2	7	1.0	0.004	6.4	LOS A	0.0	0.0	0.00	0.61	0.00	59.4
11	T1	474	2.0	0.246	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	69.9
Appro	ach	481	2.0	0.246	0.1	NA	0.0	0.0	0.00	0.01	0.00	69.7
All Ve	hicles	1178	1.9	0.328	0.9	NA	0.6	4.5	0.04	0.05	0.04	67.8

Site Level of Service (LOS) Method: Delay (RTA NSW). Site LOS Method is specified in the Parameter Settings dialog (Site tab).

Vehicle movement LOS values are based on average delay per movement.

Minor Road Approach LOS values are based on average delay for all vehicle movements.

NA: Intersection LOS and Major Road Approach LOS values are Not Applicable for two-way sign control since the average delay is not a good LOS measure due to zero delays associated with major road movements.

SIDRA Standard Delay Model is used. Control Delay includes Geometric Delay.

Gap-Acceptance Capacity: SIDRA Standard (Akçelik M3D).

HV (%) values are calculated for All Movement Classes of All Heavy Vehicle Model Designation.

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Preliminary Traffic Assessment - Manufactured Home Estate - 37 - 39 Metford Road, Tenambit

MOVEMENT SUMMARY

V Site: 101 [2029 PM]

Ocean Drive Site Access intersection Site Category: (None) Giveway / Yield (Two-Way)

Design Life Analysis (Final Year): Results for 11 years

Mov	ement Po	erformanc	e - Vehi	icles								
Mov ID	Turn	Demand Total veh/h	Flows HV %	Deg. Satn v/c	Average Delay sec	Level of Service	95% Back Vehicles veh	of Queue Distance m	Prop. Queued	Effective Stop Rate	Aver. No. Cycles	Average Speed km/h
East:	Ocean Di	rive										
5	T1	491	2.0	0.257	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	69.9
6	R2	25	1.0	0.041	10.3	LOS A	0.1	1.0	0.58	0.78	0.58	49.1
Appro	oach	516	2.0	0.257	0.5	NA	0.1	1.0	0.03	0.04	0.03	68.5
North	: MHE site	e access										
7	L2	11	1.0	0.086	8.7	LOS A	0.3	1.9	0.78	0.89	0.78	43.6
9	R2	11	1.0	0.086	27.5	LOS B	0.3	1.9	0.78	0.89	0.78	43.5
Appro	oach	21	1.0	0.086	18.1	LOS B	0.3	1.9	0.78	0.89	0.78	43.5
West	: Ocean D	rive										
10	L2	25	1.0	0.014	6.4	LOS A	0.0	0.0	0.00	0.61	0.00	59.4
11	T1	664	2.0	0.345	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	69.9
Appro	oach	689	2.0	0.345	0.3	NA	0.0	0.0	0.00	0.02	0.00	69.4
All Ve	hicles	1226	1.9	0.345	0.7	NA	0.3	1.9	0.03	0.04	0.03	68.3

Site Level of Service (LOS) Method: Delay (RTA NSW). Site LOS Method is specified in the Parameter Settings dialog (Site tab).

Vehicle movement LOS values are based on average delay per movement.

Minor Road Approach LOS values are based on average delay for all vehicle movements.

NA: Intersection LOS and Major Road Approach LOS values are Not Applicable for two-way sign control since the average delay is not a good LOS measure due to zero delays associated with major road movements.

SIDRA Standard Delay Model is used. Control Delay includes Geometric Delay.

Gap-Acceptance Capacity: SIDRA Standard (Akçelik M3D).

HV (%) values are calculated for All Movement Classes of All Heavy Vehicle Model Designation.

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Vegetation and Habitat Management Plan

Laurieton Residential Resort Port Macquarie Hastings LGA

For: Fourteenth Floor Agencies

REF: PMHC 12-543 3rd May 2016





Keystone Ecological Pty Ltd ABN 13 099 456 149 PO Box 5095 Empire Bay NSW 2257 www.keystone-ecological.com.au Vegetation and Habitat Management Plan

Laurieton Residential Resort Port Macquarie Hastings LGA

REF: PMHC 12-543 3rd May 2016

Author:

Elizabeth Ashby

This document may be cited as:

Ashby, E. (2016) Vegetation and Habitat Management Plan, Laurieton Residential Resort, Port Macquarie Hastings LGA. Unpublished report, Keystone Ecological

Keystone Ecological Flora and Fauna Specialists

Cover: Photos showing some of the range of habitats

in the subject site.

PO Box 5095 Empire Bay NSW 2257

1300 651 021 telephone:

office@keystone-ecological.com.au 13 099 456 149 email: abn:

Photos: E. Ashby, 25th July 2012

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PART A - BACKGROUND AND CONTEXT

A1 Introduction

Consent has been granted to develop a Manufactured Home Estate (MHE) on the Laurieton Residential Resort (previously known as Chevron Veld) at Lots 1 and 2 DP 106737 and Lot 24 DP 1070547 on Ocean Drive at Lakewood. One of the Conditions of Consent is the provision of this Vegetation and Habitat Management Plan (VHMP).

The Conditions of Consent require the following matters to be addressed:

The recommendations and ameliorative measures outlines on pages 36 and 37 of the Ecological Impact Assessment, prepared by Keystone Ecological Pty Ltd (June 2009), shall be implemented.

This includes, at Recommendation 6, "Prepare and implement a Vegetation And Habitat Management Plan that includes *inter alia* reference to regeneration / rehabilitation of the currently cleared areas, weed control, nest box erection and maintenance monitoring of populations of Wallum Froglet, Yellow-bellied Glider and Squirrel Glider and use of ecological fire."

Further, the consent requires that:

Prior to release of any construction certificate for earthworks a vegetation management plan shall be approved by Port Macquarie-Hastings Council for Vegetation Management Units 1, 2, 3, 5, 6 and 7 as defined on the Vegetation Management Unit Plan 5570-03-007-06B.

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A2 Existing Site Conditions

The site occupies approximately 120.75 hectares. The southern boundary of the site is Ocean Drive, with Queens Lake and Herons Creek along its northern boundary. The residential and commercial area of Lakewood lies to its east with a strip of reserved wetland and swamp forest vegetation of up to approximately 200 metres wide occurring between. Residential development is clustered on the footslopes of North Brother Mountain to the south. Undeveloped rural lands lie to the west, known as Area 15 Camden Haven Urban Growth Strategy. This has been rezoned to reflect Council's strategic planning directions.

The approximate centre of the site is at grid reference 476205 E 6500424 N MGA and straddles four 1:25,000 topographic map sheets on the Camden Haven 1:100,000 map sheet: the south eastern corner of Byabarra and the south western corner of Grants Head and the north eastern corner of Lorne and the north western corner of Laurieton.

The site and its immediate surrounds are shown in Figure 1 and Figure 2.



Figure 1: Location on topographic map.

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Figure 2: Location on aerial photograph.

The subject site has a long low ridge running north south, with the foot of the spur ending approximately in the centre of the site. The higher parts of the site support an open forest and there are substantial areas of cleared land on the lower northern parts with swamp forest and other wetland vegetation along the foreshore of Queens Lake. A small ephemeral drainage line enters the site from the south west and flows through remnant swamp forest, a dam, drain and ephemeral wetland before discharging to Queens Lake. There are a number of small dams scattered across the lower parts of the site.

There is evidence of a long history of disturbance on the subject site. As is common to the accessible coastal forests, the woody vegetation is dominated by relatively young trees (perhaps 50-60 years old) with few mature trees, some of which are dead or senescing. There is little fallen timber on the ground, and the understorey is further simplified by regular slashing and grazing by cattle. The cleared areas in the richer lower slopes have probably undergone pasture improvement and there is a network of internal unsealed vehicular tracks across the site.

There is also evidence of fire occurring in the past. One of the many ecological assessment reports prepared for this site (Berrigan 2006a) notes that:

"The site has a demonstrated fire history as indicated by scorch marks. The dry sclerophyll forest contains scorch marks suggesting fire has occurred within the last 10 years. Other parts of the site, such as the swamp forest and pastoral woodland, do not show signs of recent fire over extensive areas though fire is considered to have occurred there within the last 30 years....At the time of the survey, fuel loads across the site were relatively low given recent pasture improvement activities and slashing, though the areas of dense shrub growth in the swamp forest have relatively high shrub and leaf litter accumulations."

Supplementary survey for this VHMP was carried out on 24th and 25th July 2012, within a month of the cessation of cattle grazing. This survey confirmed the boundaries

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of the vegetation mapping as provided in Ashby (2009) and established other important features of the site, such as the distribution and abundance of weeds.

The vegetation communities on site are:

- 1. Swamp Sclerophyll Forest
- 2. Swamp Oak Floodplain Forest
- 3. River-flat Eucalypt Forest
- 4. Blackbutt Pink Bloodwood Open Forest
- 5. Cleared grassland

The distribution of these communities is shown in Figure 3 and complete descriptions and species lists are detailed in Ashby (2009).

1. Swamp Sclerophyll Forest is an Endangered Ecological Community (EEC) and occurs across most of the lower parts of the site where the soils are moist but not saline. This vegetation type has been greatly impacted by clearing and long term grazing. It is relatively intact in only a few places, such as in the central drainage line and the north eastern corner, where there is fully structured mature vegetation.

Now that the cattle have been removed and broad scale slashing has been interrupted, Swamp Sclerophyll Forest understorey, mid storey and canopy species are regenerating in the low-lying areas that had previously been cleared and grazed.

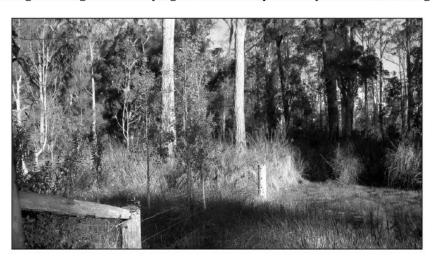


PHOTO 1 Swamp Sclerophyll Forest

2. Swamp Oak Floodplain Forest, another EEC, also occurs in the north eastern corner of the site, but is restricted to those parts where the soil is a little more saline. This area is fully structured vegetation in very good condition, as it has been fenced off from cattle grazing.

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PHOTO 2 Swamp Oak Floodplain Forest

3. River-flat Eucalypt Forest, an EEC, occurs in two narrow strips associated with riparian habitat. The most substantial patch occurs along the banks of Herons Creek and a smaller patch is associated with the central drainage line. Both of these areas have been impacted by past clearing and grazing. The removal of grazing pressure has resulted in a vigorous regeneration of all layers of vegetation, but particularly of the understorey.



PHOTO 3 River-flat Eucalypt Forest

4. Blackbutt - Pink Bloodwood Open Forest is the dominant vegetation type on the low ridge and slopes in the southern part of the site. The development footprint is within this vegetation type. This is not an endangered community. The understorey has been slashed and grazed for many years and so it primarily occurs as an open grassy woodland.

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PHOTO 4 Blackbutt - Pink Bloodwood Open Forest

5. Cleared grassland with no trees occurs in the centre of the site and around the adjacent residential development to the east. These are derived grasslands arising from clearing, grazing and slashing. Soil structure has been altered in places and regeneration is patchy.



PHOTO 5 Cleared grassland

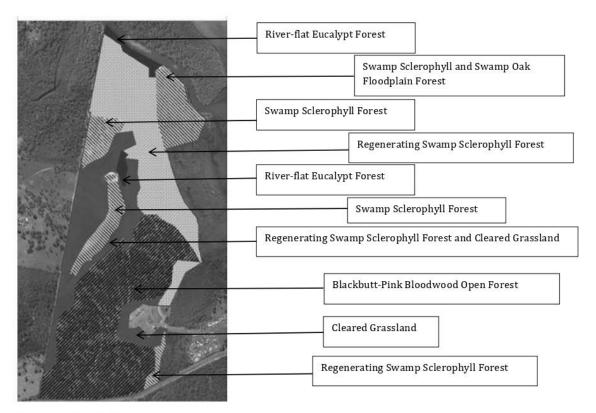


Figure 3: Vegetation types.

The condition of the vegetation was noted during recent survey and a weed density map is provided at Figure 4.

A list of priority exotic species observed is provided in Appendix 1. The most problematic of the exotic species observed is *Andropogon virginicus* Whisky Grass: it is the most extensive, the most prevalent, currently dominates many of the cleared parts and is spreading into the natural vegetation.

Notwithstanding the prevalence of this species, the site is in surprisingly good condition given its land use history. Most of the site is classified as having a low weed density, with high densities restricted to two patches of maximum disturbance.

The condition, resilience and weed control are explored in detail in Part B of this VHMP.

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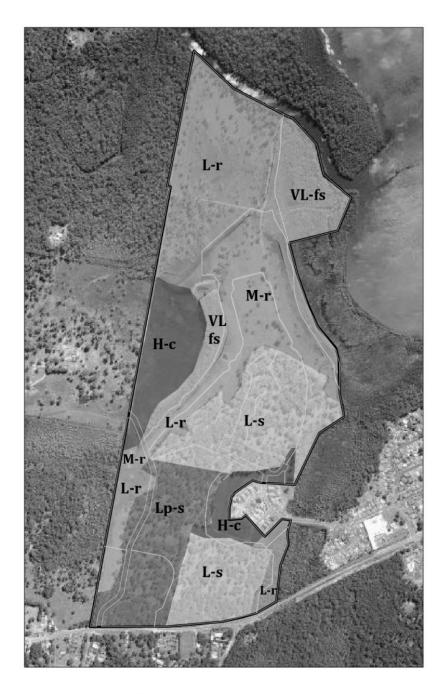


Figure 4: Weed density map. Management Unit boundaries shown in grey.

Very low weed incidence, fully structured vegetation
Low weed incidence, regenerating from past clearing and grazing
Low weed incidence, tree canopy with slashed understorey
Generally low weed incidence but with patches of high density weeds, tree canopy with slashed understorey
Moderate weed incidence, regenerating from past clearing and grazing
High weed incidence, cleared exotic grassland VL-fs (mauve): L-r (green): L-s (yellow): Lp-s (blue): M-r (orange):

H-c (red):

Keystone Ecological REF: PMHC 12-543 – 3rd May 2016

A3 Proposed Environmental Works

The proposed environmental works are intended to serve the competing objectives of biodiversity conservation and bushfire hazard management. The requirements for bushfire hazard reduction are detailed in the Bushfire Hazard Assessment Report (Midcoast Environmental Services January 2013) and the site's biodiversity values are detailed in the Flora and Fauna Impact Assessment report (Ashby 2009).

The MHE is to be constructed within the centre of the site and so the surrounding vegetation must be managed in order that it does not create a bushfire hazard for the residents. Therefore Asset Protection Zones are to be implemented around the development, a system of roads is to be constructed and the slashing of understorey vegetation is to continue in certain locations.

The site also supports important vegetation communities, habitats and threatened fauna species and so there are many conservation objectives that also must be met. Most important among the biodiversity objectives are the maintenance of a north – south link for the movement of wildlife, the protection of the hydrological processes of the swamp forests, the retention of hollow trees, the installation of nest boxes and the control of weeds.

In response to these management objectives, the site has been classified into 9 Management Units (MUs) and the management activities described in detail for each. The distribution of the MUs is shown in Figure 5 and the strategies detailed in Section B of this VHMP.

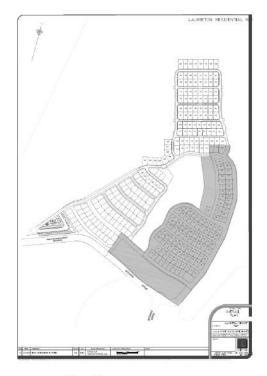
The 9 MUs are:

- MU1 Regenerating Lowland Forest
- MU2 Lakeside Swamp Forest
- MU3 Footprint Surrounds
- MU4 Open Grassland
- MU5 Open Woodland
- MU6 Wooded Central Ridge
- MU7 South Western Corner
- MU8 Footprint
- MU9 Botanic Drive Crossing

The retention and maintenance of lands outside of the footprint is part of the agreed offset for DA 2009/302. To that end, management activities according to this and subsequent plans as required are to be implemented while ever this consent is in effect.

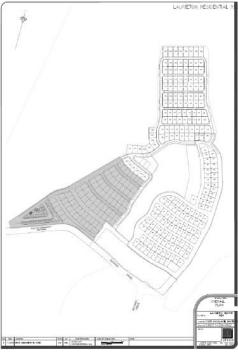
The MHE is to be constructed in 3 stages as illustrated below and it is proposed to undertake 2 years of continuous regeneration before the issue of an occupation certificate by Port Macquarie Hastings Council for Stage 2.

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Stage 1



Stage 2

Stage 3

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 $\label{lem:vegetation} \textit{Vegetation and Habitat Management Plan-Laurieton Residential Resort}$

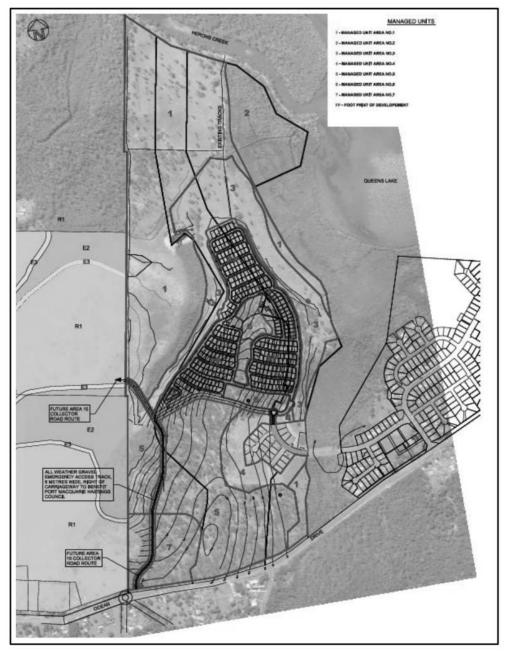


Figure 5: Management units. Source: Hopkins Consultants, Vegetation Management Unit Plan 5570-03-007-06B.

PART B - MANAGEMENT

B1 Management Unit 1 - Regenerating Lowland Forest



*Major management objective*Regeneration of natural vegetation

Weed density
Generally low to Moderate

Natural resilience High



Description

MU1 incorporates the low-lying areas that support Swamp Sclerophyll Forest and River-flat Eucalypt Forest, both of which are Endangered Ecological Communities. This Management Unit is within that part of the site that has been used for cattle grazing, therefore MU1 is in varying states ranging from intact fully structured forest in the central drainage line to grassland with scattered trees.

The major part of MU1 occurs to the north and west of the MHE, but a small patch also occurs in the site's south eastern corner.

Weed density is generally low, although there are some weeds present along the northern edge and existing tracks. *Andropogon virginicus* Whisky Grass is found along the edges of the existing tracks but particularly in the north east corner of MU1. A large adult *Pinus* Pine tree and its offspring occur alongside the eastern track.

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Weed density in the central drainage line is also relatively low (10% cover), although some weed species are edging in from adjacent MUs including *Andropogon virginicus* Whisky Grass and *Senecio madagascariensis* Fireweed.

Andropogon virginicus Whisky Grass and Senecio madagascariensis Fireweed are also found in the south east corner of the site in the disjunct patch of MU1. These weeds are generally restricted to the edges closest to the existing roads and properties at approximately 10% cover.

A large population of Crinia tinnula Wallum Froglet occurs in the central drainage line.

Objectives

- Fully structured natural forested wetland vegetation with a diverse range of tree species.
- Weeds controlled.
- Links maintained and enhanced to adjacent habitat to the north west.
- Crinia tinnula Wallum Froglet habitat maintained and protected from nutrients or other pollutants.
- Hollow-bearing trees maintained and protected.
- Maintain and improve access to the river flat for residents for low impact recreation a well as for access for management teams.

Performance Criteria

- Undertake management activities for the life of this VHMP.
- Achieve native vegetation cover of >85% within first 18 months.
- Reduced invasive weed cover to less than 5% within the first 18 months and restricted to edges only.
- Keep maintenance levels down low after the initial primary and follow-up work period for the first 18 months.

Management Challenges

Regeneration is already occurring throughout MU1, resilience is moderate to high and the native seed bank is evident. However, MU1 is at risk from disturbance and edge effects if managed incorrectly.

The shape and location of some sections of MU1 make these areas especially vulnerable. The drainage line, the thin eastern strip, and the south eastern corner of the site are of particular concern. These sections are bounded by management units which are not to be regenerated. Some of these have conflicting management actions associated with them which may be problematic to the regeneration of MU1, such as slashing. The drainage line and eastern strip are both geographically close to and downslope of the development footprint and MU3 which make them particularly at risk from weed propagules associated with these areas.

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MU1 has been selected as a regeneration area and should not be directly impacted by the footprint. However machinery, vehicles, soils and other matters associated with the development works must be addressed.

The most difficult challenge is the role of fire in the persistence of the vegetation in this MU. There is good evidence that the mixed eucalypt wet sclerophyll forests are being overtaken by rainforest species as large hot fires are suppressed across the landscape (Watson 2001). The wet sclerophyll vegetation in MU1 is likely to be favoured by a fire regime with a minimum fire-free interval of 20 years as this is considered adequate for dominant trees such as *Eucalyptus grandis* Flooded Gum to mature.

However, the implementation of ecological burns in and adjacent to residential is problematic. Notwithstanding this constraint, the option for mosaic burns should be explored further with a bushfire consultant, the Rural Fire Service and an ecologist.

One of the challenges facing the implementation of this VHMP for MU1 is the tenure complication arising from tenure: a narrow strip along Herons Creek is Crown Land and therefore will require permission and / or co-operation for management activities.

In spite f these challenges it should be noted that MU1 abuts and complements lands zoned for environmental conservation in the adjacent Area 15 and therefore provide a rare conservation outcome on private land.

Management Strategies

- 1. Exclude cattle. (Cattle removed in June 2012.)
- 2. Establish reference points (including photo points) prior to any works in the following priority areas where weeds are most likely to become an issue: the central drainage line, the thin eastern strip and the south eastern corner of the site.
- 3. Regular weed sweeps to occur across the whole of MU1.
- 4. Weed monitoring along the drainage line will be particularly important and will be a focus in the early construction/development phase. This will assist in gaining an early assessment of the species and degree of weed infestation that will be associated with the development works. It will also help determine an early management strategy for any problematic weeds not currently present on site
- 5. The monitoring of natural regeneration is also extremely important in MU1. Regular assessment of the number, size and species regenerating naturally will be recorded using the established reference points and quadrats. The Template provided should be used for recording monitoring works.
- 6. Maintain and improve internal tracks.
- 7. Restrict traffic to buggies or similar slow and low impact vehicles.
- 8. Impose low speed limit and traffic calming measures to minimise the potential for trauma to local wildlife.
- Regularly monitor tracks for erosion and mobilisation of sediment, particularly after rain.
- 10. Repair tracks with inert material only (such as sandstone) that will not alter the

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- acidic pH of Wallum Froglet habitat in downslope waters.
- 11. Install 5 nest boxes in the regenerating Swamp Sclerophyll Forest near the western boundary to enhance habitat for hollow-dependant fauna. Details are provided in Section B10.
- 12. Encourage and protect tree growth between the central drainage line and the remnant forest on the western boundary. This is to provide a link for the movement of Yellow-bellied Gliders, Squirrel Gliders, Phascogales and Koalas. Gaps between trees are to be no more than 20 metres.
- 13. If natural regeneration is judged to be inadequate for this purpose (<85% native vegetation cover within the first 18 months) or regenerating trees die from drought or other misadventure, then canopy species are to be planted at the required density to provide this link with 20 metre spacing as a maximum.</p>
- 14. Plants must be of local provenance and made up of the following tree species:
 - a. Eucalyptus robusta Swamp Mahogany
 - b. Eucalyptus microcorys Tallowwood
 - c. Eucalyptus grandis Flooded Gum
 - d. Corymbia intermedia Pink Bloodwood
 - e. Melaleuca quinquenervia Broad-leaved Paperbark
 - f. Callistemon salignus Willow Bottlebrush
 - g. Banksia integrifolia Coast Banksia
 - h. Guioa semiglauca Guioa
 - i. Glochidion ferdinandi Cheese Tree
- 15. Barbed wire is not to be used on any fencing. All boundary fencing is to be of a type that will not impede fauna movements and access to habitat across the site and beyond to adjacent habitat.
- 16. Firewood collection is prohibited.
- 17. Some of the felled timber from the footprint will be relocated into MU1 as terrestrial habitat. This should be done under the guidance of a bushfire consultant so that the bushfire risk is not increased to an unacceptable level.
- 18. Remove the adult Pine tree and its offspring by the cut and paint method prior to setting of cones to inhibit the further spread of this species.
- 19. Treat priority weeds and then carry out regular sweeps and follow up treatment as required. Particular attention to be paid to vulnerable areas near tracks and those parts of MU1 that are long and narrow.
- 20. Use of herbicides to be kept to a minimum in order to protect the Wallum Froglet and other amphibians. No spraying of herbicide is to take place within 5 metres of any watercourse, drainage line or dam.

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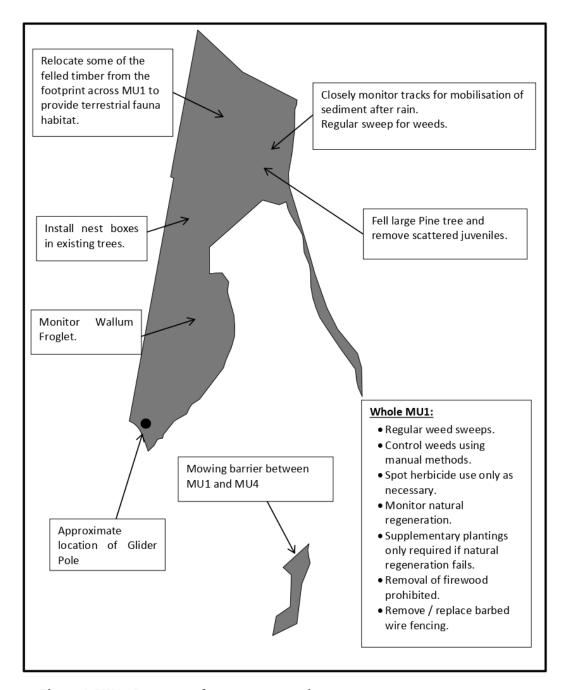


Figure 6: MU1 - Summary of management actions.

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B2 Management Unit 2 - Lakeside Swamp Forest



Major management objective
Maintenance of natural vegetation

Weed density Very low

Natural resilience High



Description

MU 2 is located at the north eastern corner of the site where Herons Creek flows into Queens Lake. A narrow band of Crown land occurs along the Herons Creek frontage, within which is a gated track.

This Management Unit contains low-lying swamp forest, made up of a mosaic of Swamp Sclerophyll Forest and Swamp Oak Floodplain Forest. Both of these vegetation types are Endangered Ecological Communities.

The vegetation is relatively intact and undisturbed as it has been fenced from grazing along its western boundary and is protected by natural barriers on its other sides. Although the northern access boundary track has a gate, it is unlocked and access may also be gained from Queens Lake by boat. A small clearing occurs near the lake access point.

Although weeds within MU2 are minimal, problematic weed species are found along the northern access trail and in the small clearing. These weeds include *Lantana camara* Lantana, *Ipomoea cairica* Coastal Morning Glory, *Solanum mauritianum* Tobacco Bush,

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Chloris gayana Rhodes Grass, Andropogon virginicus Whisky Grass and Senecio madagascariensis Fireweed.

A large population of *Crinia tinnula* Wallum Froglet occurs across the wetland areas of MU2.

Objectives

- Fully structured natural forested wetland vegetation with a diverse range of tree species.
- Invasive weeds controlled, especially along the northern access track.
- Crinia tinnula Wallum Froglet habitat maintained and protected from weeds, nutrients or other pollutants.
- Hollow-bearing trees maintained and protected.
- Maintain access to the lake for residents for low impact recreation a well as for access for management teams.

Performance Criteria

- Undertake management activities as needed for the life of this VHMP.
- Full regeneration and dominance of native species.
- · All noxious and priority weeds eradicated.
- Reduced weed cover to less than 5% within the first 18 months and restricted to edges only.

Management Challenges

MU2 requires minimal assisted regeneration as the core of this management unit is in good condition, resilience is high and it is likely to contain a significant native soil seed bank. Despite this, the trail and clearing to the north of MU3 make it subject to edge effects, particularly with the problematic weeds that have been identified in these areas.

The major management challenges for MU2 are therefore the control of edge effects and unfettered access from the lake. Control of these issues is complicated by tenure, as the access track along the site's northern edge and the lake shore are within a narrow strip of Crown land.

Although it is a conduit for the movement of weeds and provides edge habitat for weeds, the track also provides access for maintenance crews and therefore should be maintained. This is also in keeping with the planning principle of public access to foreshore land. However, people and vehicles are capable of spreading serious diseases (such as Myrtle rust or the root rot fungus *Phytophthora*). Thus, monitoring of the effects of public access is critical.

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The presence of weeds, water and threatened amphibians has the potential to be an unhappy combination as amphibians are particularly sensitive to herbicides and their surfactants.

Management Strategies

- Exclude cattle. Although cattle are excluded from MU2 by existing fencing, there
 is the potential for pollution from nutrients delivered in their manure in upslope
 environments. (Cattle removed in June 2012.)
- 2. Establish reference / monitoring points: one along the northern trail, one in the clearing near the lake access and two within the intact vegetation. It is important that the core area of MU2 is not overlooked, as birds and mammals can be effective dispersers of weed propagules to relatively intact natural areas.
- 3. Regular sweeps for invasive weed outbreaks are required across MU2 but should particularly focus on the northern edge as well as the trail and the small clearing. This will assist in reducing the risk of weeds infesting the core area of MU2.
- 4. Hand weeding to be used whenever possible although the cut and paint method should be used for woody weeds such as *Lantana camara* Lantana and *Solanum mauritianum* Tobacco Bush.
- Weeding of MU2 to be timed prior to the flowering and subsequent seeding of target weed species. If seed heads / fruiting bodies present, these are to be carefully bagged prior to any treatment and removed from site at the end of each day.
- 6. Spraying of weeds is to be restricted to spot spraying only on the trail and clearing for grasses and small herbaceous weeds only. No other herbicide spraying should be carried out within or surrounding MU2.
- 7. All bush regenerators and associated persons entering MU2 must observe basic hygiene procedures in order to reduce the risk of contaminating this management unit with a disease or invasive weed.
- 8. Barbed wire is not to be used on any fencing as it poses a serious hazard to fauna. The existing fencing between MU2 and MU1 is unnecessary for the objectives of this VHMP.
- 9. Firewood collection is prohibited.

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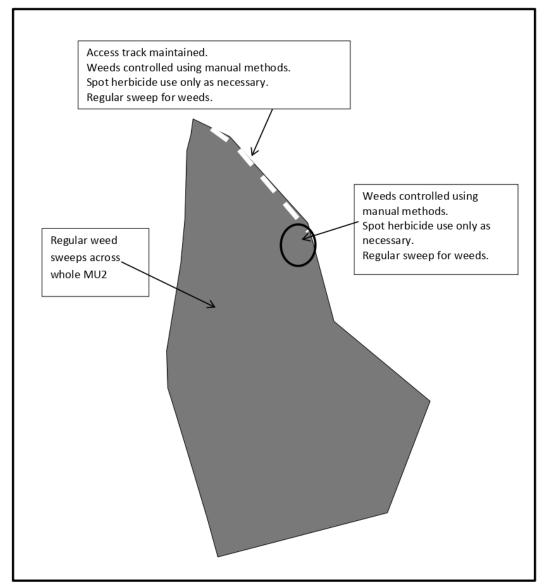


Figure 7: MU2 - Summary of management actions.

REF: PMHC 12-543 – $3^{\rm rd}$ May 2016

B3 Management Unit 3 - Footprint Surrounds



Major management objective

Regeneration of natural vegetation without significant increase in bushfire hazard

Weed density
Low to moderate

Natural resilience High



Description

MU3 occurs in an arc around the eastern, northern and western sides of the footprint. It generally occupies the upper slopes around the ridge that runs north south through the centre of the site.

Most of MU3 is currently open cleared grassland with some agricultural weeds although there is considerable natural regeneration following the removal of cattle grazing. It contains the remnants of the past agricultural land use, with remains of old buildings, a derelict cattle yard and dams.

There are some scattered trees, with the greatest number being in the south eastern corner of MU3 between the footprint and the swamp forest on the adjacent land to the east. The woody vegetation in the upper parts is regenerating Blackbutt – Pink Bloodwood Open Forest while that in the lower parts is typical of Swamp Sclerophyll Forest (EEC) and a small patch of regenerating River-flat Eucalypt Forest (also EEC).

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The trees in MU3 are generally scattered *Eucalyptus robusta* Swamp Mahogany, *Eucalyptus microcorys* Tallowwood, *Eucalyptus grandis* Flooded Gum, *Eucalyptus tereticornis* Forest Red Gum and *Melaleuca quinquenervia* Broad-leafed Paperbark.

There is no shrub layer and the ground cover consists of grasses and sedges including native *Cyperus* and *Baumea* species. Weed species are also present including *Andropogon virginicus* Whisky Grass, *Stenotaphrum secundatum* Buffalo Grass, *Gomphocarpus fruticosus* Narrow-leaved Cotton Bush and *Senecio madagascariensis* Fireweed (a Weed of National Significance). Despite the large coverage of open cleared land and its land use history, weeds are generally at low densities (approximately 15% cover).

MU3 contains the Asset Protection Zone (APZ) immediately surrounding the footprint and acts as a buffer between the footprint and the other MUs of the site.

Objectives

- MU3 is to serve the dual objectives of biodiversity conservation and bushfire hazard management.
- The APZs and setbacks must be adequate to meet fuel reduction requirements as
 detailed in the bushfire management report and as required by the Conditions of
 Consent. This will ensure compliance with the approved BAL ratings for
 construction.
- In essence, this will result in a 40 m APZ being managed around the MHE according to the required standards of a 20 metre wide Inner Protection Area (IPA) and a 20 metre wide Outer Protection Area (OPA). This VHMP also requires that the weeds are controlled in the APZ.
- Regenerated natural vegetation may occur in zones of increasing naturalness, radiating out from the APZ to the north and east.
- Fauna habitat links will be maintained and re-established across the site from east to west. Tree species identified as providing foraging habitat for the Yellowbellied Glider are to be particularly encouraged.
- Hollow-bearing trees will be maintained and protected.

Performance Criteria

- Undertake management activities as necessary for the life of this VHMP.
- Reduced invasive weed cover to less than 5% within the first 18 months and restricted to edges only.
- All noxious and priority weeds eradicated.
- Bushfire hazard controls met.
- IPA 20 metres wide, tree canopy cover <15%, located no closer than 2 metres
 to buildings, lower limbs of trees removed to a height of 2 metres, no stockpiling
 of flammable materials.
- OPA 20 metres wide, tree canopy cover <30%, understorey mown / slashed at least annually in prior to September.
- Areas outside of APZ and water quality swales regenerated to >85% cover in the first 18 months.

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Management Challenges

The greatest management challenge in MU3 is serving the competing priorities of regeneration of natural vegetation and management of bushfire hazard.

Another significant challenge is the control of the spread of pasture weeds into adjacent regenerating vegetation

Management Strategies

- 1. Exclude cattle. (Cattle removed in June 2012.)
- 2. Establish monitoring points prior to other works.
- 3. In consultation with the bushfire hazard reduction contractor or similar, identify the zones where woody vegetation and native understorey may be encouraged to regenerate to allow for replacement trees. These must be separated by an adequate distance to prevent the run of fire from adjacent MUs.
- 4. Regular fuel reduction activities to the standard of an IPA and OPA are to be confined to the identified APZ and as per the bushfire hazard assessment.
- 5. Reduction of fuel in the understorey to be via the slashing of the aerial parts of plants only.
- 6. Slashing to be undertaken at such times as it will not spread weed propagules (particularly Whisky Grass). If slashing does not occur prior to the flowering of such species, it is important that seedheads and fruiting bodies are carefully bagged and removed from site prior to any slashing commencing.
- 7. Slashing should begin in the least weedy area and finish most densely weedy area to reduce the risk of spreading seeds.
- 8. Hygiene protocols to be strictly observed. All slashing vehicles, machinery or associated equipment will be thoroughly cleaned and free of seed and soil prior to leaving any weed infested area or management unit in order to prevent the spread of weeds or disease across the site into other MUs or off site into bushland.
- In consultation with the bushfire hazard reduction contractor or similar, the bands of vegetation to experience decreasing levels of understorey management will be identified.
- 10. Regular weed sweeps to occur across the whole of MU3.
- 11. Primary weeding to be undertaken in retained areas and in areas where regular slashing may spread weeds without such treatment.
- 12. Invasive weeds to be continually controlled as required. Although weed density is currently low in MU3, key targeted weeds should include *Andropogon virginicus* Whisky Grass and *Gomphocarpus fruticosus* Narrow-leaved Cotton Bush. These species seed prolifically and should be treated prior to flowering where possible.
- 13. Supplementary spot spraying after slashing will also help reduce the density of species such as Andropogon virginicus Whisky Grass or Gomphocarpus fruticosus Narrow-leaved Cotton Bush.
- 14. No broad scale spraying of herbicides to occur as MU3 is adjacent to significant areas of Wallum Froglet habitat. Spot spraying of weeds is permitted.
- 15. No trees are to be planted in MU3 unless natural regeneration fails. Natural

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- regeneration is only to be allowed to occur where it is deemed not to pose an unacceptable bushfire hazard.
- 16. Install 5 nest boxes in the retained scattered trees in the south eastern corner of MU3 to enhance habitat for hollow-dependant fauna. Details are provided in Section B10
- 17. Monitoring of MU3 will focus on identifying new invasive weed issues as early as possible, as MU3 will be particularly vulnerable to weed infestations. This high weed risk is a result of the proximity of the continual disturbances arising from the development footprint, edge effects and the regular slashing activities within MU3 itself.
- 18. Reference / monitoring points are to be established in areas where invasive weeds have the greatest potential to spread to other management units. Photographic reference points need to be scattered around MU3 in order to capture the variability within the unit (such as APZ, regenerating woody vegetation and areas of retained woody vegetation).
- 19. In order to protect the habitat that supports a significant Wallum Froglet population in the drainage line of adjacent MU1, swales and sandstone boulders in "polishing" dams are to be installed along the boundary of MU3 and the footprint (MU8). These swales are to be planted with native species of local provenance only, ideally native rushes, sedges and grasses such as *Juncus, Cyperus* and *Baumea* species. The densities are determined by the engineering requirements, but at least 8 plants per square metre.
- 20. Firewood collection is prohibited.
- 21. Maintenance of all erosion and sediment control measures shall be conducted throughout any construction phase and checked regularly as well as after each rainfall event.
- 22. The small patch in the south western tip of MU3 is slated for infrastructure. This patch therefore cannot be regenerated and must be maintained as open grassland by regular slashing / mowing.
- 23. Two glider poles are to be constructed in the south western parts of MU3; details are provided in Section B10.

Keystone Ecological

REF: PMHC 12-543 – $3^{\rm rd}$ May 2016

2.4

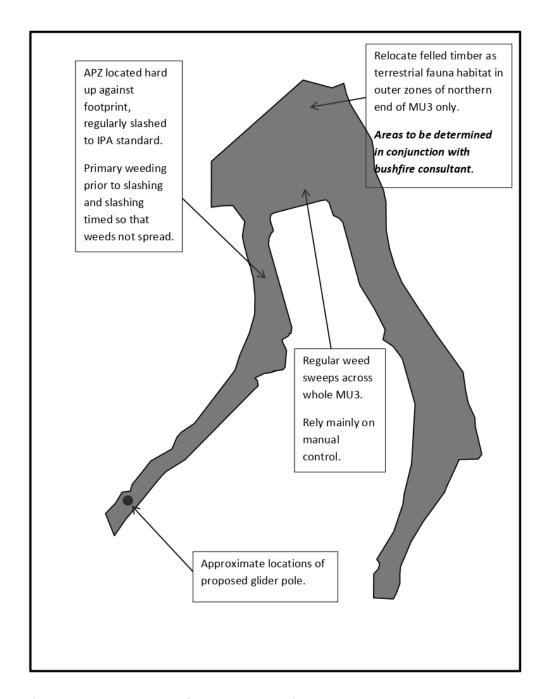


Figure 8: MU3 - Summary of management actions.

Keystone Ecological

B4 Management Unit 4 - Open Grassland



Major management objective
Maintenance as APZ

Weed density High

Natural resilience Low



Description

MU4 is made up of open cleared grassland adjacent to other existing development areas.

The original consent defined it as occurring two places, but is now confined to a band around the existing cluster of houses on the eastern boundary of the site

This patch is dominated by *Andropogon virginicus* Whisky Grass and has little native vegetation. In its unmanaged state at the time of survey, it presents a potential fire hazard itself.

This part of MU4 is currently in the process of being sold to another party. As this configuration of MU4 formed part of the original Conditions of Consent, it will remain active in this VHMP until and unless other development and management activities are approved by Council. Such subsequent approval will supplant the management activities within this VHMP for that part of the site.

Keystone Ecological

Objectives

- Maintenance as an APZ to the standard of an Inner Protection Area.
- · Reduced fuel zone alongside entry roads.

Management Challenges

Prevention of spread of weedy grasses.

Performance Criteria

- Undertake management activities for the land until such time as it changes ownership.
- Bushfire hazard controls met.
- IPA 20 metres wide, tree canopy cover <15%, located no closer than 2 metres
 to buildings, lower limbs of trees removed to a height of 2 metres, no stockpiling
 of flammable materials.
- · Whisky Grass not allowed to flower and set seed.

Management Strategies

- 1. Exclude cattle. (Cattle removed in June 2012.)
- 2. Establish monitoring points prior to other works. A photographic reference point and monitoring quadrat to be established in each of the patches.
- 3. Slash regularly but time the work to be done when the Whisky Grass does not carry its seed heads. This is a priority action.
- 4. The personnel undertaking the regular slashing works are to liaise closely with the bush regeneration contractor regarding the best timing, frequency and height of slashing to prevent weeds (particularly *Andropogon virginicus* Whisky Grass) from going to seed.
- Weed density is high; Andropogon virginicus Whisky Grass dominates. This is a
 high priority area in terms of weed management due to the density, potential
 spread and also the current fire hazard this species represents in this area of
 MIIA
- 6. Senecio madagascariensis Fireweed should be treated prior to flowering whenever possible. However, if flowers are present these must be carefully bagged along with any seed. This species can shed seed from flowers when the whole plant or flowers have already been manually removed. A persistent seedbank can be established if this species is not properly controlled prior to flowering.
- 7. All slashing machinery or associated equipment should be thoroughly cleaned and free of seed and soil before leaving any weed infested area or management unit. Slashing should commence in the least weedy area and end in the most densely weedy area to reduce the risk of spreading seeds.
- 8. Barbed wire is not to be used on any fencing.

Keystone Ecological

REF: PMHC 12-543 -3rd May 2016

2.7

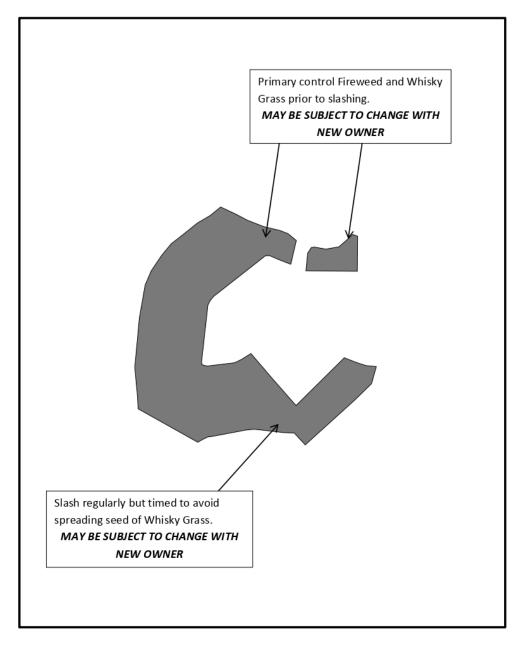


Figure 9: MU4 - Summary of management actions.

REF: PMHC 12-543 - 3rd May 2016

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B5 Management Unit 5 - Open Woodland



Major management objective
Regeneration of natural vegetation
without creating fire hazard

Weed density Low but patchy

Natural resilience High



Description

MU5 covers a large portion of the southern end of the site. It has experienced much disturbance with grazing and dumping of soil and rocks (probably from pool construction). There are also piles of rubbish such as piping, fencing and discarded container drums. The soil stockpiles provide weed habitat and are probably also a source of new weeds.

Despite these disturbances, MU5 is valuable habitat for many important fauna species and the diverse range of trees provides forage all year round for the Yellow-bellied Glider. It is also provides a vital link in the landscape for the genetic exchange between the Yellow-bellied Glider populations of North Brother Mountain and other groups to the north and north west. Without this link, these populations would be effectively isolated.

Objectives

 Maintenance of the vegetation alongside the access road to conform to emergency access provisions.

Keystone Ecological

- Allow the remaining vegetation within MU5 to regenerate naturally.
- Weeds controlled on weedy stockpiles of soil.

Performance Criteria

- Undertake management activities for the life of this VHMP.
- Weeds of soil stockpiles controlled eradicated noxious and priority weeds.
- Reduced invasive weed cover to 5% within 18 months and restricted to edges only.
- Keep maintenance levels down low after the initial primary and follow-up work period for the first 18 months.
- Bushfire hazard controls in place.
- OPA for a distance as required to provide a total of 100 metres of fuel reduced vegetation each side of the Right of Way easement along the southern exit track, tree canopy cover of <30%, annual slashing of understorey prior to September.

Management Challenges

The dual objectives of bushfire hazard reduction and the regeneration of native vegetation are difficult to accommodate in the same MU.

Management Strategies

- 1. Exclude cattle. (Cattle removed in June 2012.)
- 2. Establish monitoring points prior to other works.
- 3. Details of the Asset Protection Zones requirements across the whole site are contained within the bushfire hazard assessment and illustrated in Figure 11.
- 4. Warning signs to be erected regarding the likelihood of fauna crossing.
- 5. The maintenance of the 100m wide OPA area on either side of the Right of Way is critical to the bushfire evacuation plan and emergency egress.
- 6. Protect hollow-bearing trees, particularly the Yellow-bellied Glider den tree in the south eastern part of MU5.
- 7. Regular weed sweeps to occur across the whole of MU5.
- 8. Control weeds on soil stockpiles, using manual methods as well as spot spraying techniques as are judged to be appropriate.
- 9. Install 5 nest boxes in the regenerating Blackbutt Pink Bloodwood Forest to enhance habitat for hollow-dependant fauna. Details are provided in Section B10.
- 10. Two gliding poles with refuge nest boxes and cross bars are to be erected in the gap along the western boundary to facilitate the movement of gliders; details are provided in Section B10.
- 11. Timber from some of the felled trees can be relocated into MU5 to provide habitat for terrestrial fauna. This should be done under guidance of a bushfire consultant so that the bushfire risk is not increased to an unacceptable level.

Keystone Ecological

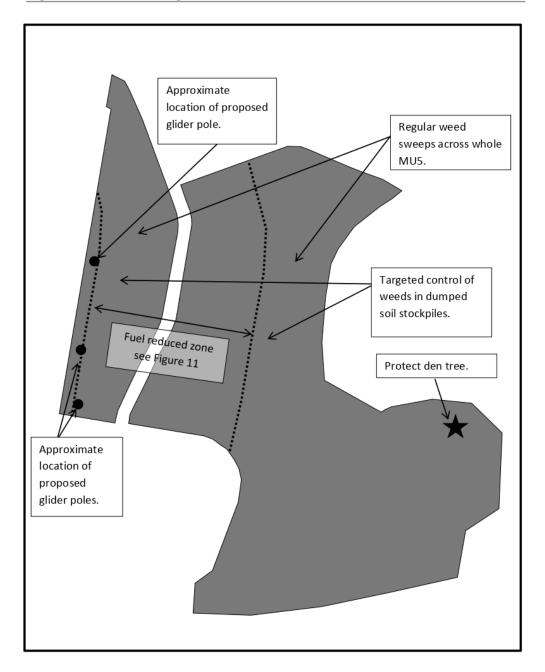


Figure 10: MU5 - Summary of management actions.

Keystone Ecological

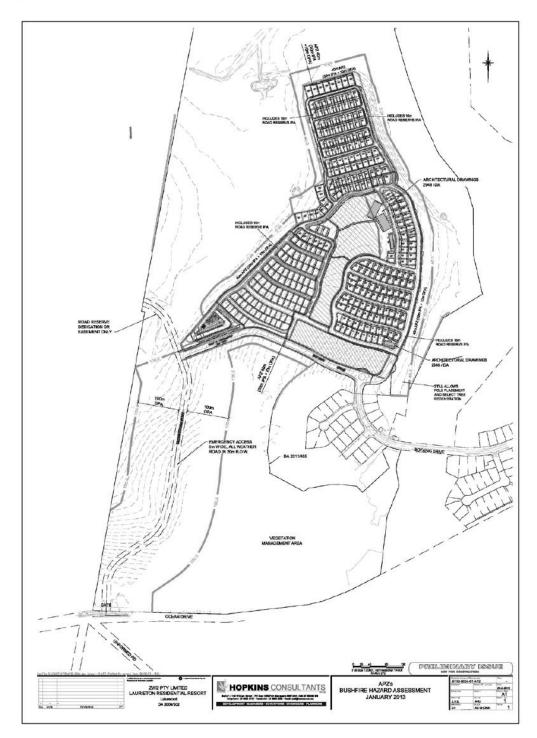


Figure 11: Bushfire APZ Summary.

Keystone Ecological REF: PMHC 12-543 – 3rd May 2016

B6 Management Unit 6 - Wooded Central Ridge



Major management objective Regeneration of natural vegetation without creating fire hazard

Weed density Low

Natural resilience High



Description

The central ridge is zoned for retention and forms an L-shaped spine of vegetation through the centre of the MHA and along its south eastern edge.

It is currently made up of a tall open forest over a regenerating grassy understorey. Importantly, a large dead hollow tree occurs within it that was identified as one of the den trees used by the resident Yellow-bellied Gliders.

MU6 contains a tree canopy to 25 metres at approximately 35% cover. Dominant species include Blackbutt, Pink Bloodwood, Turpentines, Tallowwood and Stringybark. Due to its grazing and slashing history, there is no established middle layer. A ground layer (to 0.5 metres high) consists of low shrubs, ferns, grasses and herbs.

There is a low density of weeds in MU6 (less than 10% cover) with *Andropogon virginicus* Whisky Grass being the dominant weed species.

Keystone Ecological

Objectives

- Retained bushland with minimal bushfire hazard within the MHE.
- Managed understorey to the appropriate standard for OPA achieved by regular slashing.
- Canopy separation achieved by judicious removal of individual trees and / or selective removal of limbs.
- Provision of passive recreation opportunities close to the MHE built form.
- Pathways and access roads through MU6 connecting the precincts of the MHE.

Performance Criteria

- Undertake management activities for the life of this VHMP.
- Reduced invasive weed cover to 5% within 18 months and restricted to edges only.
- Keep maintenance levels down low after the initial primary and follow-up work period for the first 18 months.
- Bushfire hazard controls in place.
- OPA 20 metres wide, tree canopy cover <30%, understorey mown / slashed at least annually in prior to September.
- IPA 20 metre wide strip along its northern and western boundaries, 20 metres wide, tree canopy cover <15%, located no closer than 2 metres to buildings, lower limbs of trees removed to a height of 2 metres, no stockpiling of flammable materials.

Management Challenges

This part of the site is intended to serve several potentially competing purposes: the pleasing visual effect of a wooded ridge, the aesthetic appeal of an extensive park-like area within an otherwise closely developed MHE, ecological services provided by the vegetation (such as shade and wind attenuation) and habitat for local fauna while not posing an unacceptable bushfire hazard.

The most challenging management objective is the provision of a wooded ridge in the long term, while regularly slashing the understorey for bushfire hazard control. As such understorey management will remove regenerating trees and has the potential to deplete the soil, there is the potential for deterioration of this vegetation.

MU6 currently has minimal weed issues. However, it is extremely vulnerable to weed infestations considering the small size, linear shape and location. Both during and following the construction of access roads and the development itself, MU6 will be most at risk from disturbance and associated weeds.

This central wooded ridge contains an identified den tree used by Yellow-bellied Gliders. This is a tall dead tree with a large potential impact zone should it fall.

Keystone Ecological

Management Strategies

- 1. Exclude cattle. (Cattle removed in June 2012.)
- 2. Establish monitoring points prior to other works.
- 3. Regular weed sweeps to occur across the whole of MU6.
- 4. Reduction of fuel in the understorey to be via the slashing of the aerial parts of plants only. This is intended as a soil conservation measure
- 5. Leave slashed material in situ to mulch and replenish the soil.
- 6. MU6 to be regularly slashed for fire hazard reduction. The slashing must be timed so that target weed species such as Andropogon virginicus Whisky Grass are not fruiting or seeding (ideally prior to flowering). It is very important to consider revising the management actions for MU6 if slashing becomes less regular or ceases for any reason. This management unit has the potential to become heavily infested with weeds if slashing commences for a period and is then halted or not performed regularly enough.
- 7. Slashing should begin in the least weedy area and finish in the most densely weedy area to reduce the risk of spreading seeds. All slashing vehicles, machinery or associated equipment should be thoroughly cleaned and free of seed and soil prior to leaving any weed infested area or the management unit.
- 8. Stockpiling of soils, rubbish or any other materials associated with the development will not occur in MU6.
- 9. In consultation with the bushfire hazard consultant, identify areas where trees are allowed to regenerate. These will ultimately replace existing trees that will eventually senesce and die.
- 10. Impose low speed limit and traffic calming measures to minimise the potential for trauma to local wildlife. Warning signs regarding the likelihood of fauna crossing are also to be used.
- 11. Regularly monitor tracks and roads for erosion and mobilisation of sediment, particularly after rain.
- Repair tracks with inert material only (such as sandstone) that will not alter the acidic pH of Wallum Froglet habitat in downslope waters.
- 13. Install 5 nest boxes in the retained vegetation to enhance habitat for hollow-dependant fauna. Details are provided in Section B10.
- 14. Install passive recreation facilities such as picnic tables / chairs, but none within the potential impact zone of the den tree.
- 15. Lighting within the development to be minimised and only provided where it is necessary for amenity or safety.
- 16. Lighting to be of a type that minimises spill and glare.
- 17. Firewood collection to be prohibited but significant logs to be re-used within other MUs where they will not pose a significant bushfire hazard.
- 18. Vegetation to be protected through the construction phase by temporary fencing or other adequate barriers.

Keystone Ecological

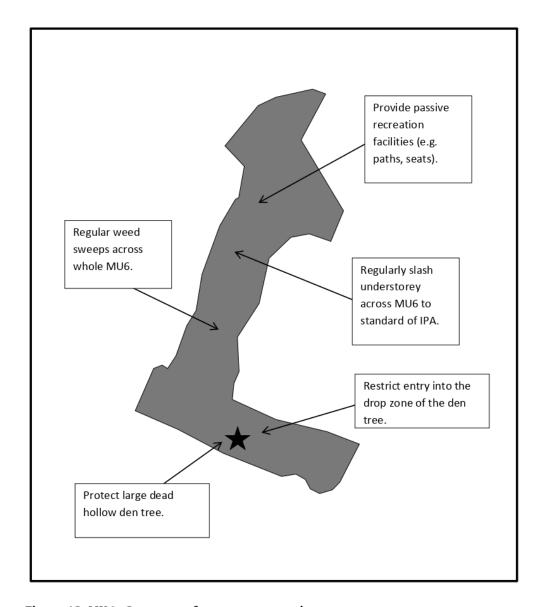


Figure 12: MU6 - Summary of management actions.

B7 Management Unit 7 – South Western Corner



Major management objectiveRegeneration of natural vegetation

Weed density Low

Natural resilience High



Description

The south western corner of the site occurs on a gentle and low north west facing slope. It is made up of open forest with a grassy understorey and supports a mosaic of Blackbutt – Pink Bloodwood Open Forest with elements of Swamp Sclerophyll Forest in the lower parts.

The vegetation structure reflects its past disturbance history, with tall trees (to 35 metres, 35% canopy cover) over a sparse grassy understorey. Weeds are relatively few, with only *Andropogon virginicus* Whisky Grass and *Hypochaeris radicata* in evidence.

It MU7 is located against the site's western boundary and is identified for future development. It is also relied upon in part as a link in the Area 15 by way of a future collector road (and emergency bushfire egress) which runs through MU7, linking the MHE with Ocean Drive.

Four hollow-bearing trees have been recorded within MU7 (Ashby 2009) and their approximate locations shown in Figure 13.

Keystone Ecological

REF: PMHC 12-543 – $3^{\rm rd}$ May 2016

Objectives

- Maintenance of the vegetation alongside the access road to conform to emergency access provisions.
- OPA for 100 metres along each side of the Right of Way easement adjacent to the southern exit track.
- Clearing undertaken at Stage 2, after 2 years of regeneration in other MUs.
- Hollow trees to be felled under ecological supervision.
- Resident fauna not harmed.
- Weeds not spread by clearing activities.
- Soil erosion and downslope sedimentation prevented.
- Felled timber re-used where appropriate as terrestrial habitat.
- Salvage some of the felled trees for re-use as glider poles in adjacent MUs.
- Landscaping in subsequent development to preferentially use locally-native species from local prevenance material or those introduced species that do not have the potential to become environmental weeds.

Performance Criteria

- Undertake management activities for weed control until such time as residential development of the land occurs.
- Reduced invasive weed cover to less than 5% within the first 18 months and restricted to edges only.
- Trees felled without damage to adjacent retained vegetation.
- Some trees salvaged for glider poles and terrestrial habitat.
- Hollow tree felled under supervision.
- Downslope environments protected from mobilised soil.

Management Challenges

The felling of hollow-bearing trees and the control of the spread of weeds are the major challenges in MU7.

A clearing plan that is sensitive to the arboreal species known to inhabit the site is detailed below and within the Works Schedule at B12. Such timing and strategies have been developed and implemented successfully on the Central Coast to accommodate the threatened species *Petaurus norfolcensis* Squirrel Glider and adapted here.

Management Strategies

- 1. Undertake regular weed sweeps for priority weeds and control as appropriate.
- 2. The maintenance of the 100 metre wide OPA area on either side of the Right of Way is critical to the bushfire evacuation plan and emergency egress.
- 3. Prior to any clearing, all personnel involved in the clearing and construction operations will be inducted by the Ecologist in regards to the clearing protocol to be implemented and their animal welfare responsibilities.
- 4. The works area is to be clearly delineated in order to protect the retained

Keystone Ecological

- vegetation from accidental clearing and damage during clearing and construction works. Machinery will be prohibited from straying outside of these marked areas.
- 5. Immediately prior to any clearing, the Ecologist will ensure that the hollowbearing trees are still appropriately and obviously tagged so that they may be identified as a habitat tree from any angle by an operator in a machine.
- 6. Immediately prior to any clearing, the Ecologist will, in the company of the Supervisor of the clearing operations, tag trees for temporary retention that will provide a link from the hollow-bearing trees to adjacent retained bushland. Trees will be selected based on their distance from each other and the provision of a safe work area for the clearing contractors. These will be tagged in a clear manner but differently from the hollow-bearing tree.
- 7. Best practice erosion and sediment control measures will be installed in all appropriate locations where surface runoff is likely to enter the retained bushland or sensitive downslope environments.
- 8. Erosion and sediment control devices are to be periodically checked and maintained throughout the duration of the clearing and construction phases, and particularly after periods of substantial rainfall.
- 9. Stockpile areas are to be clearly delineated on plans and on the ground. Soil and vegetation debris must be stockpiled within defined areas that will not impinge on the drip line of adjacent retained vegetation.
- 10. After the preparatory works are in place and inductions have been conducted, the clearing will be carried out in two phases over a period of a few weeks. Phase 1 will entail the removal of all of the non-tagged vegetation, including understorey and mature trees.
- 11. Clearing of mature trees adjacent to the no-go zone should be felled in a direction that will avoid impact on the retained bushland. Similarly, felling of trees near the hollow-bearing trees is to be done in a manner and direction that will not damage the hollow-bearing tree.
- 12. The Ecologist is to be present during the initiation of clearing in case of error or the need for *ad hoc* alteration to the clearing protocol.
- 13. Timber from some of the felled trees will be relocated into the retained bushland in MU1, MU3 and MU5 to provide habitat for terrestrial fauna. This should be done under guidance of a bushfire consultant so that the bushfire risk is not increased to an unacceptable level.
- 14. A number of tall straight trees are to be salvaged for re-use as glider poles elsewhere on the site. Five poles of a minimum 13 metres length will ultimately be required, so it is recommended that at least this number be salvaged if possible.
- 15. Phase 2 clearing is to occur at least 1 week after Phase 1 so that resident fauna have had a chance to voluntarily vacate the newly-disturbed habitat via the temporary corridor.
- 16. The hollow-bearing trees are to be removed carefully, giving resident fauna every opportunity to vacate voluntarily and without injury. This may involve initial gentle tapping of the tree with an excavator bucket or similar in order to rouse sleeping animals and then felling of the tree in sections or by gently pushing them over.
- 17. Hollows are to be inspected by the Ecologist and intact and salvageable hollows are to be used as terrestrial habitat in the retained bushland. Relocation

Keystone Ecological

- supervised by the Ecologist and undertaken without damaging the existing vegetation within this area.
- 18. Note is to be made of the sizes and types of hollows removed so that adequate numbers and types of nest boxes may be erected in the adjacent bushland.
- 19. Unsalvageable material may be chipped / mulched for use in landscaping.
- 20. Any fauna disturbed during clearing operations will be permitted to escape into adjacent habitat unharmed. Where fauna appear to be injured or shocked, fauna will be captured and held in appropriate circumstances by the Ecologist until released or provided with appropriate care through local wildlife carers or veterinarians.
- 21. Unharmed animals may be placed in a species-appropriate nest box during the day or released near the new boxes in the evening.
- 22. Newly exposed soil may be rapidly colonised by exotic weed species. Disturbed areas should be monitored carefully and stabilised as soon as possible.
- 23. Plant species used for formal landscaping to be preferentially locally-native species from local prevenance material or those introduced species that do not have the potential to become environmental weeds.
- 24. Species used in formal landscaping to be reported as part of VHMP compliance monitoring.
- 25. Garden refuse is not to be dumped in or near the native vegetation. It should be composted and used appropriately in the landscaped areas or disposed of via Council's green waste program.
- 26. In order to minimise road trauma to local wildlife, traffic-calming measures that slow traffic speed are to be implemented. Warning signs regarding the likelihood of fauna crossing are also to be used.
- 27. Barbed wire is not to be used on any fencing. All boundary fencing is to be of a type that will not impede fauna movements and access to habitat across the site and beyond to adjacent habitat.
- 28. Sediment controls should be put in place prior to any works and be maintained throughout the construction phase. This shall include such measures directly around stockpiles of spoil or soil.

Keystone Ecological

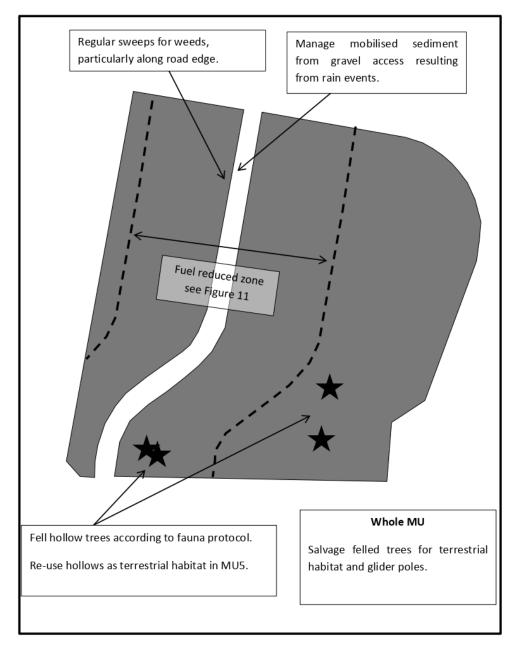


Figure 13: MU7 - Summary of management actions.

Keystone Ecological

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B8 Management Unit 8 - Footprint



Major management objective
Development footprint

Weed density
Low to moderate

Natural resilience
Not applicable



Description

MU8 occurs on the central ridge and upper slopes in the centre of the site and is the area that is to be cleared and developed for the MHE. The existing vegetation is a mixture of cleared grassland and remnant and regrowth woody vegetation.

Weeds are primarily those common to pasture, the most prevalent being Andropogon virginicus Whisky Grass. One hollow tree occurs within the footprint. It is a Stringybark, located at $476059 ext{ E } 6500318 ext{ N } (MGA)$ with a hollow of entrance size 10-15 centimetres; it is referred to as number 17 in the Flora and Fauna Impact Assessment (Ashby 2009).

Objectives

- Hollow tree to be felled under ecological supervision.
- · Resident fauna not harmed.
- Weeds not spread by clearing activities.
- Soil erosion and downslope sedimentation prevented.
- Felled timber re-used where appropriate as terrestrial habitat.

Keystone Ecological

- Salvage some of the felled trees for re-use as glider poles in adjacent MUs.
- Landscaping in subsequent development to preferentially use locally-native species from local prevenance material or those introduced species that do not have the potential to become environmental weeds.

Performance Criteria

- Trees felled without damage to adjacent retained vegetation.
- · Some trees salvaged for glider poles and terrestrial habitat.
- Hollow tree felled under supervision.
- Downslope environments protected from mobilised soil.

Management Challenges

The felling of the hollow-bearing tree and the control of the spread of weeds are the major challenges in MU8.

The Conditions of Consent require a complex multi-staged approach to clearing of MU8. This is presumably intended to slow the loss of habitat to allow fauna time to adjust to the new distribution of habitat. However, the multi-staged approach will impose a much longer period of adjustment on the resident fauna which may have the opposite of the intended effect.

As important as the immediate impact of the loss of habitat on the fauna is the financial viability of the project. If the project is made uneconomic by such complex restrictions, then the important environmental management actions cannot be funded and the entire program will fail.

A clearing plan that is sensitive to the arboreal species known to inhabit the site is detailed below and within the Works Schedule at B12. Such timing and strategies have been developed and implemented successfully on the Central Coast to accommodate the threatened species *Petaurus norfolcensis* Squirrel Glider and adapted here.

Management Strategies

- Prior to any clearing, all personnel involved in the clearing and construction operations will be inducted by the Ecologist in regards to the clearing protocol to be implemented and their animal welfare responsibilities.
- The works area is to be clearly delineated in order to protect the retained vegetation from accidental clearing and damage during clearing and construction works. Machinery will be prohibited from straying outside of these marked areas.
- 3. Immediately prior to any clearing, the Ecologist will ensure that the hollow-bearing tree is still appropriately and obviously tagged so that it may be identified as a habitat tree from any angle by an operator in a machine.
- 4. Immediately prior to any clearing, the Ecologist will, in the company of the Supervisor of the clearing operations, tag trees for temporary retention that will

Keystone Ecological

- provide a link from the hollow-bearing tree to adjacent retained bushland. Trees will be selected based on their distance from each other and the provision of a safe work area for the clearing contractors. These will be tagged in a clear manner but differently from the hollow-bearing tree.
- 5. Best practice erosion and sediment control measures will be installed in all appropriate locations where surface runoff is likely to enter the retained bushland or sensitive downslope environments.
- 6. Erosion and sediment control devices are to be periodically checked and maintained throughout the duration of the clearing and construction phases, and particularly after periods of substantial rainfall.
- 7. Stockpile areas are to be clearly delineated on plans and on the ground. Soil and vegetation debris must be stockpiled within defined areas that will not impinge on the drip line of adjacent retained vegetation.
- 8. After the preparatory works are in place and inductions have been conducted, the clearing will be carried out in two phases over a period of a few weeks. Phase 1 will entail the removal of all of the non-tagged vegetation, including understorey and mature trees.
- 9. Clearing of mature trees adjacent to the no-go zone should be felled in a direction that will avoid impact on the retained bushland. Similarly, felling of trees near the hollow-bearing tree is to be done in a manner and direction that will not damage the hollow-bearing tree.
- 10. Similar controls are to be enforced for clearing near the large hollow den tree to be retained in the adjacent MU6.
- 11. The Ecologist is to be present during the initiation of clearing (phase 1) in case of error or the need for *ad hoc* alteration to the clearing protocol.
- 12. The Ecologist is to supervise the clearing during phase 2.
- 13. Timber from some of the felled trees will be relocated into the retained bushland in MU1, MU3 and MU5 to provide habitat for terrestrial fauna. This should be done under guidance of a bushfire consultant so that the bushfire risk is not increased to an unacceptable level.
- 14. A number of tall straight trees are to be salvaged for re-use as glider poles elsewhere on the site. Five poles of a minimum 13 metres length will ultimately be required, so it is recommended that at least this number be salvaged.
- 15. Phase 2 clearing is to occur at least 1 week after Stage 1 so that resident fauna have had a chance to voluntarily vacate the newly-disturbed habitat via the temporary corridor.
- 16. The hollow-bearing tree is to be removed carefully, giving resident fauna every opportunity to vacate voluntarily and without injury. This may involve initial gentle tapping of the tree with an excavator bucket or similar in order to rouse sleeping animals and then felling of the tree in sections or by gently pushing them over.
- 17. Hollows are to be inspected by the Ecologist and intact and salvageable hollows are to be used as terrestrial habitat in the retained bushland. Relocation supervised by the Ecologist and undertaken without damaging the existing vegetation within this area.
- 18. Note is to be made of the sizes and types of hollows removed so that adequate numbers and types of nest boxes may be erected in the adjacent bushland.
- 19. Unsalvageable material may be chipped / mulched for use in landscaping.
- 20. Any fauna disturbed during clearing operations will be permitted to escape into

Keystone Ecological

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- adjacent habitat unharmed. Where fauna appear to be injured or shocked, fauna will be captured and held in appropriate circumstances by the Ecologist until released or provided with appropriate care through local wildlife carers or veterinarians.
- 21. Unharmed animals may be placed in a species-appropriate nest box during the day or released near the new boxes in the evening.
- 22. Newly exposed soil may be rapidly colonised by exotic weed species. Disturbed areas should be monitored carefully and stabilised as soon as possible.
- 23. Plant species used for formal landscaping to be preferentially locally-native species from local prevenance material or those introduced species that do not have the potential to become environmental weeds.
- 24. Species used in formal landscaping to be reported as part of VHMP compliance monitoring.
- 25. Garden refuse is not to be dumped in or near the native vegetation. It should be composted and used appropriately in the landscaped areas or disposed of via Council's green waste program.
- 26. All recommendations regarding the sandstone lining of swales and polishing of runoff in detention areas to be strictly observed.
- 27. Lighting of the development should be kept to a those areas that need lighting and of a type that minimises spill and glare.
- 28. In order to minimise road trauma to local wildlife, traffic-calming measures that slow traffic speed are to be implemented. Warning signs regarding the likelihood of fauna crossing are also to be used.
- 29. Barbed wire is not to be used on any fencing. All boundary fencing is to be of a type that will not impede fauna movements and access to habitat across the site and beyond to adjacent habitat.
- 30. Sediment controls should be put in place prior to any works and be maintained throughout the construction phase. This shall include such measures directly around stockpiles of spoil or soil.

Keystone Ecological

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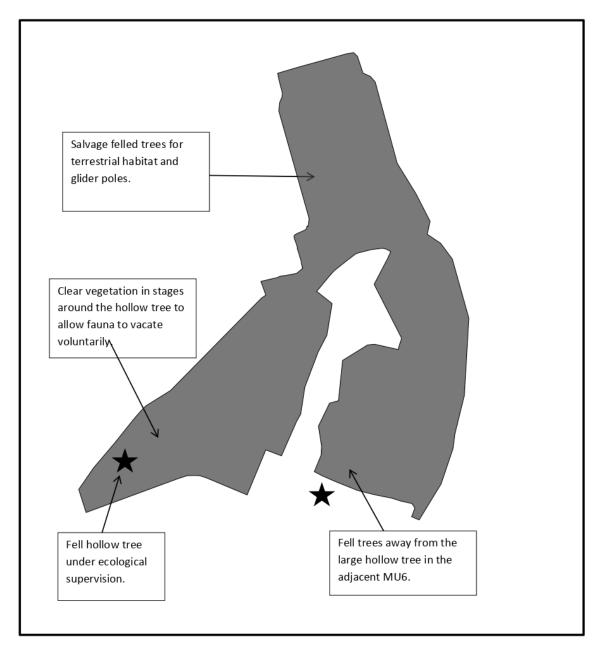


Figure 14: MU8 - Summary of management actions.

Keystone Ecological

B9 Management Unit 9 - Botanic Drive Crossing



*Major management objective*Facilitating arboreal fauna crossing

Weed density High

Natural resilience Low



Description

MU9 comprises the grassy road verge along that part of Botanic Drive that passes through the swamp forest for a distance of approximately 130 metres.

The natural vegetation on either side of the road is separated by approximately 20 metres of grassy verge and road.

Objectives

 Plant trees of appropriate species at sufficient spacing on both sides of the road in order to enhance the crossing for target glider species, Squirrel Glider and Yellow-bellied Glider.

Performance Criteria

- · Undertake management activities for the life of this VHMP.
- · Underground utilities not breached.
- Local provenance trees propagated, planted and surviving.

Keystone Ecological

Management Challenges

The road verges are burdened by infrastructure and their locations constrain the planting of deep-rooted species such as trees. The following must be considered:

- · underground utilities in trenches
- major concrete culverts to carry the water beneath the road
- 2.5 metre wide path along the northern side of the road

Also, the soil beneath the grassy verges has been greatly disturbed – the soil is likely to have been imported to the site, the soil profile is likely to be mixed up and the structure has probably been lost with compaction. These likely features make the establishment of roadside trees problematic.

Management Strategies

- 1. The site is to be inspected by a horticulturist in possession of plans of all relevant utilities. The carrying capacity of MU9, the planting schedule and the planting locations are to be accurately determined at this time.
- 2. Propagate or obtain native trees from local provenance material.
- 3. Ideally, the species to be used are *Eucalyptus robusta* Swamp Mahogany and *Melaleuca quinquenervia* Broad-leaved Paperbark.
- 4. Ideally, tree spacing should be no greater than 20 metres and no closer than 5 metres; giving a minimum number of trees to be planted of 8 *Eucalyptus robusta* Swamp Mahogany and 8 *Melaleuca quinquenervia* Broad-leaved Paperbark.
- 5. Advanced specimens, tubestock or long stem plantings are all suitable, depending on availability.
- 6. Before planting, appropriate plans of underground utilities are again to be consulted so that the plantings can avoid the service trenches.
- 7. Exploratory holes are to be dug prior to planting so that the condition of the soil can be assessed.
- 8. Appropriate soil conditioning is to be carried out for the plantings.
- 9. Planted trees are to be protected by tree guards suitable for protection from grazing by herbivores, accidental mowing and vandalism.
- 10. Trees are to be fed, watered, weeded and closely monitored throughout the life of this VHMP.

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B10 Fauna Habitat Enhancement and Protection

Nest Boxes

- At least 20 nest boxes are to be erected across the site: 5 in each of MU1, MU3, MU 5 and MU6.
- 2. Each of these lots of 5 boxes are to be of a size and design suitable for Squirrel Glider (1), Yellow-bellied Glider (1), microbats (2) and small parrot (1). These are intended to help compensate for the impending bottleneck when mature hollow trees senesce and die, as well as for the loss of a single hollow tree within the development footprint.
- Nest boxes are to be of a durable material and constructed to a high standard, such as are produced by Hollow Log Homes (http://www.hollowloghomes.com/) or Saltair Flora and Fauna Control (Crescent Head).
- 4. Nest boxes are to be positioned as high as possible in the tree and particular attention taken to position the box in a sheltered position, facing away from prevailing winds and rain.
- 5. Records are to be made regarding the location of the nest boxes, the species of tree and the type of box erected.
- 6. These boxes are to be monitored annually from ground observations and replaced or repaired as necessary for the life of this VHMP.

Glider Poles

- 1. Five glider poles are to be erected: 1 in MU1, 1 in MU3 and 3 in MU5. Their approximate locations are shown in Figures 6, 8 and 10.
- 2. These are intended to bridge the gap for gliders of the subject site and appropriate habitat on adjacent land. The actual locations are to be determined on site by the ecologist.
- 3. The poles are to be located so that the maximum gap is 20 metres. This will facilitate Squirrel Glider as well as Yellow-bellied Glider movements.
- 4. Poles can be constructed from untreated telegraph poles or trees felled during the clearing of the footprint. They are to be erected contemporaneous with the clearing.
- 5. The most recent design specifications applied in road crossings are relied upon here (Queensland Department of Transport and Main Roads 2010). Poles currently used for crossing the Hume Highway are illustrated in Figures 15 and 16:
 - a. 12 metres height from the ground is sufficient, but the poles may be taller depending on materials. Experimental research placed poles 1.5 m into ground, but engineering advice will be sought for adequate anchoring depth.
 - Two shelters of PVC pipe (110x380 mm, horizontal orientation, openended) are to be attached to each pole – one near middle and one near top. These provide refuge for predation while using the poles.

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- c. 30 centimetre diameter poles have been experimentally successful, but larger poles are also effective.
- d. A cross bar is to be provided near the top of the pole as a launching point (see Figure 15).
- 6. Poles are to be inspected annually for the presence of refuge tubes, scratch marks on the pole and termites.



Figure 15: A squirrel glider about to take off from on one of the specially-designed glider poles on Hume Highway. Photo: Rodney van der Ree. Published at http://www.theage.com.au/travel/blogs/yowie-man/a-gliders-best-friend-20120804-23lr9.html#ixzz2Et2kxDlR



Figure 16: Pole linking nearby trees near the Hume Highway. Photo: Ian Morton Published at http://www.theage.com.au/travel/blogs/yowie-man/a-gliders-best-friend-20120804-23lr9.html#ixzz2Et2kxDIR

Keystone Ecological

Terrestrial Habitat

- 1. Felled timber is to be relocated as log habitat, principally into MU1 and MU5.
- 2. Consideration must be given to the increased bushfire hazard, so the locations are to be determined in consultation with the bushfire consultant.

Crinia tinnula Wallum Froglet

- This species of frog is adapted to acid swamps. The construction of the MHE will
 introduce large areas of concrete, an alkaline material. Therefore, use of inert or
 acidic materials to polish the runoff will serve as a protection for the pH of its
 habitat.
- 2. The distribution and abundance of this species is to be recorded annually across the MUs, along with climatic conditions.

Natural vegetation

- 1. The site supports important foraging habitat for fauna. The blossoms of the dominant Eucalyptus robusta Swamp Mahogany and Melaleuca quinquenervia Broad-leafed Paperbark are an important food source for threatened species such as Pteropus poliocephalus Grey-headed Flying-fox and Petaurus australis Yellow-bellied glider, as well as common species such as Petaurus breviceps Sugar Glider; all of which have been identified on site (Ashby 2009). For this reason these tree species in particular should be regularly monitored for health, flowering and fruiting.
- 2. The site contains hollow trees that could be utilised as nesting sites for native birds and mammals. Identified hollow bearing trees will also be monitored for outward signs of use. The list of hollow trees and their positions are provided in Ashby (2009).

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B11 Measuring the Outcomes

Unless stated otherwise, a minimum of 4 photographic reference points are to be established within each of the management units prior to the commencement of any regeneration works. The location of each reference point should be clearly marked by a star picket, stone cairn or similar and GPS coordinates recorded. The best location for each reference point will be determined by the contracted bush regeneration company. Each reference point will principally be used for the photographic monitoring of weeds and natural regeneration. Photographs are to be taken in a standard manner (i.e. same direction and magnification) each time.

One 10 by 10 metre quadrat is to be established in each management unit. One of the photographic reference points will be located at the north western corner of the quadrat and clearly marked as a monitoring quadrat location.

The location of reference points and quadrats are to be selected so as to best reflect the management unit. Monitoring data will be collected as detailed in the pro-forma in Appendix 2, although more or less information may be collected according to the success of the program.

Annual fauna monitoring shall be undertaken by a consultant ecologist.

The monitoring will quantify the success of the management strategies as well as identify any weed or vegetation health issues that need to be addressed.

All management units should be visited by a bush regeneration supervisor for photographing and general observations at least every 3 months for the life of this plan. All photographs, quadrat data and other observations should be retained for annual reporting and a final report at the completion of the contract.

The monitoring of the site will commence immediately after the acceptance of this VHMP and will continue while ever the relevant consent is in effect. This will include but is not limited to the regeneration works carried out, weed infestations, changes in native vegetation health; natural regeneration, evidence of significant native fauna and evidence of feral and introduced fauna.

Annual progress reports are to be provided to Council, dating from the acceptance of this plan. Such reports will include the completed pro forma, photographs from all reference points and quadrats (as well as other areas of interest) collected quarterly and any other relevant information.

A final report signifying the completion of regeneration and monitoring works is required at the end of the five year period. This report will include a description of all works carried out; response to works; monitoring and future recommendations. The final report will also be provided to the client.

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B12 Works Schedule

The Conditions of Consent suggest that the work is to be staged with progress being reliant upon the successful establishment of regeneration in MUs. There is no good ecological reason for such a staged approach and in fact is likely to endanger the financial viability of the project, thus ensuring the failure of the environmental program.

The removal of cattle and the return of an average or above average year of rainfall has resulted in significant natural regrowth. The essential management activities are primarily weed control of a few priority species, habitat enrichment for fauna, protection of Wallum Froglet habitat through engineering solutions regarding runoff, protection of hollow trees and implementation of bushfire hazard controls. It would be most efficient and most likely to be successful if these activities were carried out in a logical sequence that is not constrained by artificial staging. This is reflected in the following works schedule.

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Item 08

Vegetation and Habitat Management Plan – Laurieton Residential Resort

Phase	Action	Details	MUs	Timing
	Establish reference points and quadrats	Reference points to be established. Must be marked on the ground and GPS coordinates recorded.	All	Prior to any works commencing.
Preparatory Stage	Photographs	Photographs to be taken at all reference points, quadrats and all other areas of interest.	All	Weeks 1 – 2
	Collecting initial data from quadrats	Initial data must be collected from the quadrats using the Template provided.	All	
	Slashing consultation	Consultation with slashing personnel should take place prior to any works commencing. Regular meetings should be established for the duration of the 20 year period.	MU3-7	
	Slashing	Should only take place when key target species (such as Andropogon virginicus Whisky Grass and Gomphocarpus fruticosus Narrow-leaved Cotton Bush) are not fruiting or seeding. Prior to flowering is ideal. Any seed already present must be bagged and removed prior to slashing.	M112 7	Wook 2 indofinitely
		bush regeneration supervisor. Should begin in least weedy area and finish in most densely weedy area. All machinery/equipment must be cleaned prior to leaving weedy area/management unit.		
	Propagation	Collect propagation material for MU9 plantings.	60M	Collect according to season, when material is available but with a target of propagation within 12 months of works commencing.
Primary Works	Weed control	Works should be timed so that weed species have no opportunity to produce seed (prior to flowering is ideal). See appendix for flowering times and preferred treatment method. Any seed or other reproductive materials must be bagged prior to treatment and removed from site. Herbicide use should be limited. Buffer weeding of natives to 1m required for all herbicide spraying.	All	Seeding, fruiting and flowering species should take priority unless otherwise stated.

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Vegetation and Habitat Management Plan – Laurieton Residential Resort

Timing	Weeks 3 - 12							Prior to any clearing.	After hollow trees to be removed have been assessed and prior to clearing.
MUs	All	MU1	MU2 MU2	MU2	MU2	MU2,3	All	MU1,3,5,6	MU7
Details	Andropogon virginicus Whisky Grass: Manual removal using crowning is the preferred method. Herbicide use limited to existing tracks.	Pinus sp. Pine Tree: All cones/seeds to be bagged and removed from site prior to any treatment. Large adult to be felled. Treated using the cut and paint method.	Chloris gayana Rhodes Grass: Manual removal. Ipomoea cairica Coastal Morning Glory: Skirted from natives and hand removed.	Lantana camara Lantana: Cut and paint method.	Solanum mauritianum Tobacco Bush: Cut and paint method.	Gomphocarpus fruticosus Narrow-leaved Cotton Bush: Manual removal preferred. Larger individuals may require cut and paint method.	Senecio madagascariensis Fireweed: Flowers as well as seeds must be removed and bagged prior to treatment. Manual removal preferred method; spot spray only where appropriate.	Install 5 nest boxes in each of the relevant MUs. Each of these lots of 5 boxes are to be of a size and design suitable for Squirrel Glider (1), Yellow-bellied Glider (1), microbats (2) and small parrot (1).	Nest boxes to replace the hollow trees to be removed at a later stage. Replacement ratio at least 1:1.
Action								Installation of	nest boxes
Phase								Primary Works	

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Vegetation and Habitat Management Plan – Laurieton Residential Resort

Phase	Action	Details	MUs	Timing
	Installation of glider poles	Five glider poles to be erected where gaps cannot be bridged by vegetation in the short term. 1 in MU1, 1 in MU3, 3 in MU5.	MU1,3,5	Contemporaneous with clearing
	Construction of polishing dams	Swales and detention areas of inert / acidic materials to polish run off to protect Wallum Froglet habitat, as per engineering plans.		During construction phases, pH modifying elements of the erosion and stormwater management shall be in place prior to pouring of concrete and other alkalinising material.
Secondary Works	Weed control follow up	Assess primary works. Intensive follow up weeding immediately after primary weeding. Treat weed seedlings as they germinate if possible. Repeat treatment of weed species as outlined above where necessary.	All	Weeks 12 – 24.
Maintenance	Weed control maintenance	All weeds to be contained at low densities using manual removal whenever possible. Maintenance weeding should occur at least every month or more regularly if required.	All	Maintenance passes to be timed to ensure that weeds are treated prior to dispersing propagules.
Revegetation	None	Natural regeneration is sufficient at this stage. Revegetation may become necessary at a later date.	MU1-8	The need for supplementary manual revegetation to be assessed 18 months after commencement of works. If planting is required, then this is to occur within 12 months of this assessment.
	Planting out	Consult drawings of utilities within MU9. Locate appropriate planting sites. Prepare soil, plant, water, mulch, tree guards.	6ЛМ	Ideally within 18 months of commencement of works and as young trees are ready for planting. However, this may also need to consider installation of utilities.

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Phase	Action	Details	MUs	Timing
Monitoring	Plantings	All plantings should be monitored for changes in health, damage and herbivory and recorded using template provided. Some watering may be required during extended dry	6NW	Every week for 6 weeks following planting.
		pointe watering may be required during extended my periods.		
	Weed	Particular focus on priority areas: drainage line, existing tracks and north east corner.		
	monitoring	Any new or existing weed issue should be identified early and managed accordingly.	AII	
	Quadrat monitoring	All data recorded as per Template provided.	All	Every 3 months
	Natural	Natural regeneration should be monitored using the		
	regeneration	Template provided. Number, size and species should be All	All	
	monitoring	recorded.		
	Photographs	Photographic monitoring at all reference points and	All	
		quadrats as well as other areas of interest.		
		Progress report submitted to the client for each		
Reporting	Progress Report	Progress Report management unit. Use Template provided, including All photographs and notes from all monitoring work.	All	Annually
		Concluding report detailing all works carried out on site,		At the end of 5 year period.
	Final Report	response to works, monitoring and future All	All	
		recommendations.		

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Vegetation and Habitat Management Plan - Laurieton Residential Resort

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ATTACHMENT

APPENDIX 1 Exotic Species – List and Controls

Appendix 1 – Exotic Species

		EXOTIC SPECIES RECORDED ON SITE - all survey periods.	TIS NO	E-alls	urvey I	eriods									
WONS = Weed of N	WONS = Weed of National Significance; N4 = Noxious Weed Class 4; IS = Invasive Species; # Invasive in DSF; DSF = Dry Sclerophyll Forest; SF = Swamp Sclerophyll Amaric C = Classed and Frequency scores. D = Dominant at least in some areas C = Common: H = Hucommon: B = Bare on site few specimens	Noxious Weed Class 4; IS = Invasive Species; $\#$ Invasive in DSF; DSF = Dry Sclerophyll Forest; $A = 1$ Swamp Sclerophyll Forest; $A = 1$ For	ies; # In	vasive	in DSF;	DSF = I	ory Scle	rophyll	Forest,	SF = Sv	vamp Sc	leroph	yll Fore	st; A	11
	C - created glassiand. Frequency	scores. D - Dominant, acreaser	II sollice	areas,)		,	I I	0.00	c, iew s	pecimie 202	2 ,		1
raminy	Scientific Name	Common Name	MOT	MUZ	MUS	MU4	MOS	MOD	MO/	MUS	MU9	TST.	ر	7	A
Asclepiadaceae	Gomphocarpus fruticosus ^{IS}	Narrow Leaf Cotton Bush			`								R		
Asteraceae	Ageratina adenophorum ^{N4,IS}	Crofton Weed	>											n	
Asteraceae	Bidens pilosa ¹⁵	Cobbler's Pegs			>					>		n	n	n	
Asteraceae	Chrysanthemoides moniliferawows.n4.1s	Bitou Bush	>				>					n		n	
Asteraceae	Conyza bonariensis	Flax-leaf Fleabane			>	>	>					Ъ	b		
Asteraceae	Hypochaeris radicata	Flatweed							>			U	U	ပ	
Asteraceae	Senecio madagascariensiswons	Fireweed			>	>	>		>			U	U		
Convolvulaceae	Ipomoea cairica ^{IS}	Coastal Morning Glory		>										D	
Cyperaceae	Cyperus rotundus 15		`				>					ပ		ပ	
Fabaceae	Senna pendula var. glabrata		`				>					ပ		ပ	
Fabaceae	Trifolium repens	White Clover	`					>	>			D	n		
Juncaceae	Juncus cognatus		`										n	ပ	
Malvaceae	Sida rhombifolia	Paddy's Lucerne					>					ပ	ပ		
Pinaceae	Pinus sp. 18		`									R			
Plantaginaceae	Plantago lanceolata	Ribwort					>		>			n			
Poaceae	Andropogon virginicus #	Whisky Grass	`	>	`	>	>	>	>	>		U	U		
Poaceae	Axonopus fissifolius#	Narrow-leaved Carpet Grass					>	`				ပ	U		
Poaceae	Chloris gayana#	Rhodes Grass		>								D	n		
Poaceae	Paspalum dilatatum#	Paspalum				>						ပ	C		
Poaceae	Pennisetum clandestinum#	Kikuyu			`	>						n	n		
Poaceae	Setaria sphacelata#	South African Pigeon Grass			>	>						Ъ	Ъ		
Poaceae	Stenotaphrum secundatum#	Buffalo			`		>					ပ	D		
Rubiaceae	Richardia brasiliensis	White Eye					>	>				ပ			
Solanaceae	Solanum mauritianum	Wild Tobacco Bush		>										Ъ	
Verbenaceae	Lantana camara Wons,N4,18	Lantana										C		С	
Verbenaceae	Verbena bonariensis	Purpletop					`					n			

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Appendix 1 – Exotic Species

		PRIORI	TY SPECIES AND PREFE	PRIORITY SPECIES AND PREFERRED CONTROL METHODS		
Family	Species	Habitat	Underground structure	Reproduction	Removal	Confusing species
Asteraceae	Ageratina adenophorum Crofton Weed	Colonising daisy that is often found in creek beds, forest clearings or slopes. Common in damp soil and able to grow in shade or full sun.	Short thick tap root with numerous lateral roots. Also has adventitious roots at the base of the stem.	Reproduces by seed and vegetatively from root stock. Seed is a woody achene, peak production occurring in February to March. Plant can produce 10,000 to 100,000 seeds per year. Light is necessary for germination so it establishes on open ground. Can shoot from the base after low intensity fires but does not burn readily. Seed germinates easily and is persistent in wet soils. Damaged seedling can regenerate from the crown within 8 weeks of germination.	Remove by hand pulling. Will also respond to application Ageratina riparia Mist of 1% glyphosate-based Hower, another exotic species.	May be confused with Ageratina riparia Mist Flower, another exotic species.
Asteraceae	Bidens pilosa Cobbler's Pegs	Daisy found in disturbed sunny sites.	Tap root and fibrous lateral roots.	Reproduces by seed and vegetatively from stems and root stock. Seed is an achene that is dispersed Bag seedheads. mainly by attaching to clothing will respond to Long-lived seed can achieve 80% 1% glyphosategermination after 3-5 years in soil. Shade out by de Requires sunlight and well aerated soil for germination. Fruits mature within 18 weeks.	Bag seedheads. Remove by hand pulling. Will respond to application of 1% glyphosate-based herbicide. Shade out by dense planting.	May be confused with Si <i>gesbeckia orientalis</i> , a native species.
Asteraceae	Chrysanthemoides monilifera subsp. rotundata Bitou Bush	Sand dunes, forest near coast.	Tap roots and well developed lateral roots.	Flowers all year, but mostly in autumn. Glossy fruits attractive to birds. Seeds bony and persistent; can lie dormant for 10 years. Weed of National Significance.	Hand removal of young plants. Cut and paint with glyphosate. Layered sections must be dealt with separately. Crown if not layered. Encourage native regeneration	None.

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Appendix 1 – Exotic Species

		PRIORI	TY SPECIES AND PREFE	PRIORITY SPECIES AND PREFERRED CONTROL METHODS		
Family	Species	Habitat	Underground structure	Reproduction	Removal	Confusing species
					and integrate the use of biological control agents. Fire can be effective, where practical.	
Asteraceae	Сопуга sp.	Waste places, disturbed areas, bushland edges. Some species tolerate poorly- drained areas.	Taproot with well developed fibrous roots.	Flowers late summer – autumn. Dispersed by wind.	Bag the seed heads first, remove taproot, or spray with 1% solution of glyphosate-based herbicide. Stabilise area with mulch, shade out with desirable plants.	All <i>Conyza</i> species are difficult to differentiate, but all are weeds.
Asteraceae	Hypochaeris radicata Flatweed	Perennial daisy that occurs in lawns, gardens and disturbed areas.	Fleshy tap root.	Flowers in summer and small achenes spread by wind in autumn. Will germinate after low intensity fire.	May be confused with Dig up fleshy tap root. Will respond to application of Taraxacum officinale 1% glyphosate-based herbicide. Dandelion, both exotic species.	May be confused with Hypochaeris glabra or Taraxacum officinale Dandelion, both exotic species.
Asteraceae	Senecio madagascariensis Fireweed	Cultivated or disturbed land, rundown pastures, roadsides, bushland edges and open woodland. Invasive after fires	Shallow taproot with numerous fibrous laterals within the upper 20 centimetres of soil. Roots develop at stem nodes in contact with soil.	Flowers chiefly in spring - autumn, but seen all year. Single plant may produce up to 30,000 seeds per year. Seeds germinate readily in light between 10 and 30° C, in flushes particularly in response to significant rainfall events in autumn. Dispersed by wind as well as in mud on machinery and vehicles. Weed of National Significance.	In pasture, use a combination of grazing strategies, fertiliser application at appropriate times, upgrading of pastures and strategic herbicide applications. For environmental areas, hand-pull individual plants and spot spray. Herbicide treatment must be timed to minimise the establishment of a large population in autumn. Bromoxynil-based herbicides are recommended as it is less damaging to non-target species but is only effective on seedlings and young plants. Spot spray from March to August. when the daily maximum temperature below 20°C. Keep away from waterways and aquatic systems.	May be confused with Senecio lautus.

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Appendix 1 – Exotic Species

		PRIORI	TY SPECIES AND PREFE	PRIORITY SPECIES AND PREFERRED CONTROL METHODS		
Family	Species	Habitat	Underground structure	Reproduction	Removal	Confusing species
Cyperaceae	Cyperus rotundus	Wet, open disturbed sites including drains, roadsides and gardens.	Short rhizome.	Flowers in spring – summer. Seeds spread by wind and water.	Bag seedheads. Remove by hand or knife by crowning. Direct application of glyphosate-based herbicide to leaves during active growing months. Do not spray as surfactants dangerous for aquatic organisms, particularly frogs.	May be confused with other exotic sedges.
Malvaceae	Sida rhombifolia Paddy's Lucerne	Small shrub that is common in mechanically disturbed area, tracks and roadsides; can grow in compacted soils. Prefers sunny positions with good rainfall.	Deep kinked tap root.	Flowers in warmer months and seeds spread in soil and by attachment to fur. Long-lived seeds in soil may be dormant for many years. Germination requires temperatures > 20°C and can germinate after low intensity fire. Reshoots from root material remaining soil after disturbance.	Difficult to remove by hand unless plants small and soil is wet and friable. Cut and paint with neat glyphosate-based herbicide	May be confused with <i>Sida</i> corrugate, a native species that occurs on clay soils.
Poaceae	Andropogon virginicus Whisky Grass	Roadsides, bushland edges and disturbed sites.	Fibrous roots.	Flowers in summer and seeds spread by attachment, mud and wind. Seed can lie dormant over winter.	In large areas subject to APZ treatment, slash when not flowering. Otherwise, remove by hand or knife by crowning or spray with 1% glyphosate-based herbicide.	When not flowering may be confused with native grasses such as <i>Themeda australis</i> Kangaroo grass.
Poaceae	Chloris gayana Rhodes Grass	Tufted grass often used to stabilise soil or as a pasture species in summer rainfall areas. Weed of bushland edges.	Stoloniferous.	Seed spread by wind or water.	Crown the tuft with knife or mattock. Will respond to application of 1% glyphosate-based herbicide applied in warmer months.	May be confused with native Chloris species.
Poaceae	Pennisetum clandestinum Kikuyu	Aggressive running grass that grows in areas with light shade to full sun. Grows best in moist humid conditions but can withstand severe drought.	Stoloniferous, roots may be 5 m deep. Rhizomes may be 0.5 m deep.	Spreads vegetatively and will regrow from rhizomes.	Will respond to application of 1% glyphosate-based herbicide. Need to be applied 2 or 3 times over growing period. Small infestations can be dug out taking care to remove all rhizomes and stolons.	None

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Appendix 1 – Exotic Species

		PRIORI	TY SPECIES AND PREFE	PRIORITY SPECIES AND PREFERRED CONTROL METHODS		
Family	Species	Habitat	Underground structure	Reproduction	Removal	Confusing species
					for discrete patches in sunny locations. Cover in plastic for 4- 12 weeks and then spray regrowth when it reaches 10- 20 cm.	
Poaceae	<i>Setaria gracilis</i> Slender Pigeon Grass	Grass of disturbed sites.	Fibrous, short rhizomes.	Flowers in summer - autumn and seeds spread by fur, wind, soil.	Remove crown with knife. Will respond to application of May be confus 1% glyphosate-based herbicide. exotic grasses.	May be confused with other exotic grasses.
Solanaceae	Solanum mauritianum Wild Tobacco	Tall shrub / small tree that occurs in sunny disturbed soils on margins of wet forest and rainforest. Also occurs in gullies on Hawkesbury sandstone.	Tap root and lateral roots.	Seeds in succulent green berries spread by birds, possums and bats. Long-lived seed remain viable in soil for many years. Will coppie from the base after fire or injury.	Remove and bag seedheads of mature plants as interim measure until removal. Dig out with mattock. Cut and paint with glyphosatebased herbicide.	May be confused with Astrotricha floccosa and Astrotricha latifolia, both native species.
Verbenaceae	<i>Lantana camara</i> Lantana	Perennial scrambling shrub that forms thickets in disturbed and undisturbed bushland.	Tap root with numerous shallow lateral roots.	Reproduces by seed and stem layering. Fruits all year round (most heavily at end of summer) and birds spread seeds by eating succulent black fruits. Will coppice from base. Weed of National Significance.	Hand pull seedlings and small plants. If fraffing, prevent stems from touching soil as they will form roots. Remove thickets by progressively cutting back stems until each crown is exposed. Leave stem of about 1 m length attached to crown for cut and paint treatment with glyphosate based herbicide. Best results achieved if applied during warm, wet summers. Leave stems to die in trees as removal often damages tree.	May be confused with seedlings of <i>Trema</i> tomentosa Native Peach, a native species.

ATTACHMENT

APPENDIX 2 Monitoring pro-forma

Appendix 2 – Monitoring pro-forma

	Area
	□ MU1 □ MU6
	□ MU2 □ MU7
	□ MU3 □ MU8
	□ MU4 □ MU9
MU2	□ MU5
MU3	Date of inspection
MU1 MUS	Personnel Recording:
nus \	Revegetation Performance:
	(Include approximate date the area was first
	rehabilitated)
MU5 MU4 MU1	Sample Size: (Area in m2 of sample site

Previous Activity since last audit / report:				
Regeneration/ Revegetation hours allocated	Regeneration /	' Revegetatio	n hours spe	nt
Previous audit / report actions undertaken:				
General Vegetation Area Performance / Observations				
Evidence of any pollution, rubbish, litter, excessive sediment or erosion.	Major	Minimal	None	N/A
Evidence of any politicity, rabbisty neer, excessive scanners of crosson.		14 24		
Evidence of weeds adjacent to the rehabilitation area likely to impact it.				
Evidence of plant pests and diseases or feral animal populations.				
	Good	Fair	Poor	N/A
Evidence of macro fauna colonisation / use (scats, tracks and sitings)		(i		
Evidence of micro fauna colonisation / use (insects, lizards etc)		5 5		
Assessment of overall Habitat Value (eg. Animal hiding places, vegetation cover, food etc.)				

 $Appendix\,2-Monitoring\ pro-forma$

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

Regeneration / Weed Control Performance				mate date the derwent weed control		
	Yes	No		'		
Natural Recruitment: Natural recruitment observed						
				coverage (by ed to ground)		te % age osition
Weeds species identified			Canopy	Ground	Mature	Seedlings
Weeds species identified			Canopy	Ground	Mature	Seedlings
Weeds species identified			Canopy	Ground	Mature	Seedlings
Weeds species identified			Canopy	Ground	Mature	Seedlings
Weeds species identified			Canopy	Ground	Mature	Seedlings
Weeds species identified Weed Control Comments and Observation Notes:			Canopy	Ground	Mature	Seedlings
			Canopy	Ground	Mature	Seedlings

Revegetation Performance	Approximate date t	he area wa	s first reh	nabilitated	ł		
	Sa	ample Size -	– Area (m	n2) of sam	nple site		
Vegetation/ Plant Growth:							
Approximate native plant count w	rithin sample area:	Trees		Shrubs		Grasses / Herbs	
Species Diversity : (approx no. of each stratum)	different species in	Trees		Shrubs		Grasses / Herbs	
Species Growth (m): (height of av each stratum class in metres)	erage specimen in	Trees		Shrubs		Grasses / Herbs	
			>50%	50-20%	20-5%	<5%	Nil
Canopy Cover: Estimate % coverage by area (pro	iected to ground)						
Plant Mortality Rates :							
Estimate percentage death of nev	/ plants						
Bare Soil :							
Percentage coverage of area							
Humus / Leaf Litter Depth (mm): average in sample area				l			
		,	Yes	1	No		
Fauna: Evidence of plant damage / death	caused by feral anima	als?					
Detail:							

 $Appendix\,2-Monitoring\ pro-forma$

DEVELOPMENT ASSESSMENT PANEL 10/06/2020

		Yes	No
Number of nest boxes in monitoring area?	Nest boxes inspected?		
Detail any nest box issues: nest box damage, takeover	by feral animals, damage to tree ca	used by nest box.	
GENERAL COMMENTS AND OBSERVATION NOTES:			

GENERAL COMMENTS AND OBSERVATION NOTES:		
CORRECTIVE ACTIONS REQUIRED / RECOMMENDED:	Yes	No
Follow up: were previous corrective actions successful and issues addressed?		
Date: I fall a constant and a constant a constant and a constant a constant a constant a constant a constant a		
Detail follow up and new corrective actions proposed.		