

# Development Assessment Panel

### **Business Paper**

date of meeting: Wednesday 25 November 2020

location: Via Skype

time: 2:00pm

#### **Development Assessment Panel**

#### **CHARTER**

#### 1.0 OBJECTIVES

To assist in managing Council's development assessment function by providing independent and expert determinations of development applications that fall outside of staff delegations.

#### 2.0 KEY FUNCTIONS

- To review development application reports and conditions;
- To determine development applications outside of staff delegations;
- To refer development applications to Council for determination where necessary;
- To provide a forum for objectors and applicants to make submissions on applications before the Development Assessment Panel (DAP);
- To maintain transparency in the determination of development applications.

#### **Delegated Authority of Panel**

Pursuant to Section 377 of the Local Government Act, 1993 delegation to:

- Determine development applications under Part 4 of the Environmental Planning and Assessment Act 1979 having regard to the relevant environmental planning instruments, development control plans and Council policies.
- Vary, modify or release restrictions as to use and/or covenants created by Section 88B instruments under the Conveyancing Act 1919 in relation to development applications for subdivisions being considered by the panel.
- Determine Koala Plans of Management under State Environmental Planning Policy 44 - Koala Habitat Protection associated with development applications being considered by the Panel.

Noting the trigger to escalate decision making to Council as highlighted in section 5.2.

#### 3.0 MEMBERSHIP

#### 3.1 Voting Members

Two independent external members. One of the independent external members to



- be the Chairperson.
- Group Manager Development Assessment (alternate Director Development & Environment or Development Assessment Planner)

The independent external members shall have expertise in one or more of the following areas: planning, architecture, heritage, the environment, urban design, economics, traffic and transport, law, engineering, government and public administration.

#### 3.2 Non-Voting Members

Not applicable

#### 3.3 Obligations of members

- Members must act faithfully and diligently and in accordance with this Charter.
- Members must comply with Council's Code of Conduct.
- Except as required to properly perform their duties, DAP members must not disclose any confidential information (as advised by Council) obtained in connection with the DAP functions.
- Members will have read and be familiar with the documents and information provided by Council prior to attending a DAP meeting.
- Members must act in accordance with Council's Workplace Health and Safety Policies and Procedures
- External members of the Panel are not authorised to speak to the media on behalf of Council. Council officers that are members of the Committee are bound by the existing operational delegations in relation to speaking to the media.
- Staff members shall not vote on matters before the Panel if they have been the principle author of the development assessment report.

#### 3.4 Member Tenure

• The independent external members will be appointed for the term of four (4) years maximum in which the end of the tenure of these members would occur in a cascading arrangement.

#### 3.5 Appointment of members

- The independent external members (including the Chair) shall be appointed by the General Manager following an external Expression of Interest process.
- Staff members of the Panel are in accordance with this Charter.

#### 4.0 TIMETABLE OF MEETINGS

- The Development Assessment Panel will generally meet on the 1st and 3rd Wednesday each month at 2.00pm at the Port Macquarie offices of Council.
- Special Meetings of the Panel may be convened by the Director Development & Environment Services with three (3) days notice.



#### 5.0 MEETING PRACTICES

#### **5.1 Meeting Format**

- At all Meetings of the Panel the Chairperson shall occupy the Chair and preside.
   The Chair will be responsible for keeping of order at meetings.
- Meetings shall be open to the public.
- The Panel will hear from applicants and objectors or their representatives.
- Where considered necessary, the Panel will conduct site inspections which will be open to the public.

#### 5.2 Decision Making

- Decisions are to be made by consensus. Where consensus is not possible on any item, that item is to be referred to Council for a decision.
- All development applications involving a proposed variation to a development standard greater than 10% under Clause 4.6 of the Local Environmental Plan will be considered by the Panel and recommendation made to the Council for a decision.

#### 5.3 Quorum

 All members (2 independent external members and 1 staff member) must be present at a meeting to form a quorum.

#### 5.4 Chairperson and Deputy Chairperson

• Independent Chair (alternate, second independent member)

#### 5.5 Secretariat

- The Director Development &n Environment is to be responsible for ensuring that the Panel has adequate secretariat support. The secretariat will ensure that the business paper and supporting papers are circulated at least three (3) days prior to each meeting. Minutes shall be appropriately approved and circulated to each member within three (3) weeks of a meeting being held.
- The format of and the preparation and publishing of the Business Paper and Minutes shall be similar to the format for Ordinary Council Meetings.

#### 5.6 Recording of decisions

 Minutes will record decisions and how each member votes for each item before the Panel.



#### 6.0 CONVENING OF "OUTCOME SPECIFIC" WORKING GROUPS

Not applicable.

#### 7.0 CONFIDENTIALITY AND CONFLICT OF INTEREST

- Members of the Panel must comply with the applicable provisions of Council's Code
  of Conduct. It is the personal responsibility of members to comply with the standards
  in the Code of Conduct and regularly review their personal circumstances with this
  in mind.
- Panel members must declare any conflict of interests at the start of each meeting or before discussion of a relevant item or topic. Details of any conflicts of interest should be appropriately minuted. Where members are deemed to have a real or perceived conflict of interest, it may be appropriate they be excused from deliberations on the issue where the conflict of interest may exist. A Panel meeting may be postponed where there is no quorum.

#### 8.0 LOBBYING

All members and applicants are to adhere to Council's Lobbying policy. Outside of scheduled Development Assessment Panel meetings, applicants, their representatives, Councillors, Council staff and the general public are not to lobby Panel members via meetings, telephone conversations, correspondence and the like. Adequate opportunity will be provided at Panel inspections or meetings for applicants, their representatives and the general public to make verbal submissions in relation to Business Paper items.



#### **Development Assessment Panel**

#### ATTENDANCE REGISTER

	12/08/20	26/08/20	09/09/20	30/09/20	14/10/20	28/10/20	11/11/20
Member							
Paul Drake	✓	✓	✓	✓	✓	✓	<b>√</b>
Robert Hussey		✓	✓			✓	
David Crofts	✓			✓	✓		<b>√</b>
(alternate member)							
Dan Croft	✓	✓	✓	✓	✓	✓	<b>√</b>
(Group Manager Development Assessment)							
(alternates)							
- Development Assessment Planner							

Key: ✓ = Present
A = Absent With Apology
X = Absent Without Apology

#### **Meeting Dates for 2020**

22/01/2020	Function Room	2:00pm
12/02/2020	Function Room	2:00pm
26/02/2020	Function Room	2:00pm
11/03/2020	Function Room	2:00pm
25/03/2020	Function Room	2:00pm
8/04/2020	Function Room	2:00pm
6/05/2020	Function Room	2:00pm
27/05/2020	Function Room	2:00pm
10/06/2020	Function Room	2:00pm
24/06/2020	Function Room	2:00pm
8/07/2020	Function Room	2:00pm
22/07/2020	Function Room	2:00pm
12/08/2020	Function Room	2:00pm
26/08/2020	Function Room	2:00pm
9/09/2020	Function Room	2:00pm
30/09/2020	Function Room	2:00pm
14/10/2020	Function Room	2:00pm
28/10/2020	Function Room	2:00pm
11/11/2020	Function Room	2:00pm
25/11/2020	Function Room	2:00pm
16/12/2020	Function Room	2:00pm



# Development Assessment Panel Meeting Wednesday 25 November 2020

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05	DA2020 - 712.1 Alterations and additions to dwelling including a Clause 4.6 variation to Clause 4.3 (Height of Buildings) of the Port Macquarie-Hastings Council Local Environmental Plan 2011 at Lot 262 DP 236277, 5 The Summit Road, Port Macquarie	<u>16</u>
06	DA2020 - 713.1 Dwelling and Swimming Pool at Lot 33 DP 31187, No. 58 Watonga Street, Port Macquarie	<u>52</u>
07	DA2020.746.1 Continued Use of Secondary Dwelling at Lot 3 DP 32942, No. 5 Cross Street Port Macquarie	<u>108</u>
80	DA2020 - 566.1 Alterations and Additions to Dwelling and Construction of Front Fence at Lot 90 DP 246284, No 5 Cornwallis Close, Port Macquarie	<u>152</u>
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10	General Business	



#### **AGENDA**

Item: 01

Subject: ACKNOWLEDGEMENT OF COUNTRY

"I acknowledge that we are gathered on Birpai Land. I pay respect to the Birpai Elders both past and present. I also extend that respect to all other Aboriginal and Torres Strait Islander people present."

Item: 02

Subject: APOLOGIES

#### **RECOMMENDATION**

That the apologies received be accepted.

Item: 03

**Subject: CONFIRMATION OF PREVIOUS MINUTES** 

#### **RECOMMENDATION**

That the Minutes of the Development Assessment Panel Meeting held on 11 November 2020 be confirmed.





#### **PRESENT**

#### Members:

Paul Drake (Independent Chair)
David Crofts (Independent Member)
Group Manager Development Assessment (Dan Croft)

#### Other Attendees:

Mayor Peta Pinson Councillor Sharon Griffiths Development Assessment Planner (Robert Slater) Development Assessment Planner (Clinton Tink)

Acting Development Engineer Coordinator (Grant Burge)

The meeting	opened	at	2:00pm
THE HIGHLING	OPOLICA	u	2.00011

#### 01 ACKNOWLEDGEMENT OF COUNTRY

The Acknowledgement of Country was delivered.

#### 02 APOLOGIES

Nil.

#### 03 CONFIRMATION OF MINUTES

#### **CONSENSUS:**

That the Minutes of the Development Assessment Panel Meeting held on 28 October 2020 be confirmed.



#### 04 DISCLOSURES OF INTEREST

There were no disclosures of interest presented.

DA2020 - 668.1 ALTERATIONS AND ADDITIONS TO DWELLING AT LOT 19 DP 221558, NO. 317 PLOMER ROAD, NORTH SHORE.

Speakers:

Gary North (Opposing the application) Tony Blue (Opposing the application Robert Pitt (Applicant) Craig Maltman (Applicant)

#### **CONSENSUS:**

That DA 2020 - 668.1 for alterations and additions to dwelling at Lot 19 DP 221558, No. 317 Plomer Road, North Shore be determined by granting consent subject to the recommended conditions.

06 DA2020 - 597.1 DEMOLITION OF EXISTING COMMUNITY FACILITY AND CONSTRUCTION OF NEW COMMUNITY FACILITY (SEA SCOUTS BUILDING) AT LOT 2 DP 535212, 9 MCINHERNEY CLOSE, PORT MACQUARIE

Speakers:

Terrance Stafford (Applicant)

#### CONSENSUS:

That it be recommended to Council that DA2020 - 597.1 for demolition of existing community facility and construction of new community facility (Sea Scouts building) at Lot 2 DP 535212, No. 9 McInherney Close, Port Macquarie, be determined by granting consent subject to the recommended conditions and as amended below:

 Amend condition B(10) to read: 'A building colours and materials schedule shall be submitted to and approved by Port Macquarie-Hastings Council prior to the issue of the building Construction Certificate. The colours of materials shall exhibit a low reflectivity index.'



# MINUTES Development Assessment Panel Meeting 11/11/2020

07	GENERAL BUSINESS
Nil.	
	The meeting closed at 2:49pm.

Subject: DISCLOSURES OF INTEREST

#### **RECOMMENDATION**

That Disclosures of Interest be presented

#### **DISCLOSURE OF INTEREST DECLARATION**

Name o	Name of Meeting:				
Meeting	g Date:				
Item Nu	ımber:				
Subjec	t:				
I, the u	ndersigned, hereby declare the following interest:				
	Pecuniary:				
	Take no part in the consideration and voting and be out of sight of the meeting.				
	Non-Pecuniary – Significant Interest:				
	Take no part in the consideration and voting and be out of sight of the meeting.				
	Non-Pecuniary – Less than Significant Interest:				
	May participate in consideration and voting.				
For the	reason that:				
Name:	Name: Date:				
Signed	Signed:				
Please submit to the Governance Support Officer at the Council Meeting.					

(Refer to next page and the Code of Conduct)



#### DEVELOPMENT ASSESSMENT PANEL 25/11/2020

#### **Pecuniary Interest**

- 4.1 A pecuniary interest is an interest that you have in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to you or a person referred to in clause 4.3.
- 4.2 You will not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision you might make in relation to the matter, or if the interest is of a kind specified in
- 4.3 For the purposes of this Part, you will have a pecuniary interest in a matter if the pecuniary interest is:
  - your interest, or
  - the interest of your spouse or de facto partner, your relative, or your partner or employer, or
  - (c) a company or other body of which you, or your nominee, partner or employer, is a shareholder or member. For the purposes of clause 4.3:
- 4.4
  - Your "relative" is any of the following: (a)
    - your parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
    - your spouse's or de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or ii)
  - iii) the spouse or de facto partner of a person referred to in paragraphs (i) and (i) "de facto partner" has the same meaning as defined in section 21C of the *Interpretation Act 1987*.
- 4.5 You will not have a pecuniary interest in relation to a person referred to in subclauses 4.3(b) or (c)
  - (a) if you are unaware of the relevant pecuniary interest of your spouse, de facto partner, relative, partner, employer or company or other body, or
  - just because the person is a member of, or is employed by, a council or a statutory body, or is employed by the Crown, or
  - just because the person is a member of, or a delegate of a council to, a company or other body that has a pecuniary interest in the matter, so long as the person has no beneficial interest in any shares of the company or body.

#### **Non-Pecuniary**

- 5.1 Non-pecuniary interests are private or personal interests a council official has that do not amount to a pecuniary interest as defined in clause 4.1 of this code. These commonly arise out of family or personal relationships, or out of involvement in
- sporting, social, religious or other cultural groups and associations, and may include an interest of a financial nature. A non-pecuniary conflict of interest exists where a reasonable and informed person would perceive that you could be 5.2 influenced by a private interest when carrying out your official functions in relation to a matter.
- 5.3 The personal or political views of a council official do not constitute a private interest for the purposes of clause 5.2.
- Non-pecuniary conflicts of interest must be identified and appropriately managed to uphold community confidence in the probity of council decision-making. The onus is on you to identify any non-pecuniary conflict of interest you may have in matters that you deal with, to disclose the interest fully and in writing, and to take appropriate action to manage the conflict in accordance with this code.
- 5.5 When considering whether or not you have a non-pecuniary conflict of interest in a matter you are dealing with, it is always important to think about how others would view your situation.

#### Managing non-pecuniary conflicts of interest

- Where you have a non-pecuniary conflict of interest in a matter for the purposes of clause 5.2, you must disclose the relevant private interest you have in relation to the matter fully and in writing as soon as practicable after becoming aware of the non-pecuniary conflict of interest and on each occasion on which the non-pecuniary conflict of interest arises in relation to the matter. In the case of members of council staff other than the general manager, such a disclosure is to be made to the staff member's manager. In the case of the general manager, such a disclosure is to be made to the mayor. If a disclosure is made at a council or committee meeting, both the disclosure and the nature of the interest must be
- 5.7 recorded in the minutes on each occasion on which the non-pecuniary conflict of interest arises. This disclosure constitutes disclosure in writing for the purposes of clause 5.6.
- How you manage a non-pecuniary conflict of interest will depend on whether or not it is significant. 5.8
- As a general rule, a non-pecuniary conflict of interest will be significant where it does not involve a pecuniary interest for the purposes of clause 4.1, but it involves:
  - a relationship between a council official and another person who is affected by a decision or a matter under consideration that is particularly close, such as a current or former spouse or de facto partner, a relative for the purposes of clause 4.4 or another person from the council official's extended family that the council official has a close
  - personal relationship with, or another person living in the same household other relationships with persons who are affected by a decision or a matter under consideration that are particularly close, such b) as friendships and business relationships. Closeness is defined by the nature of the friendship or business relationship, the
  - frequency of contact and the duration of the friendship or relationship. an affiliation between the council official and an organisation (such as a sporting body, club, religious, cultural or charitable c) organisation, corporation or association) that is affected by a decision or a matter under consideration that is particularly strong. The strength of a council official's affiliation with an organisation is to be determined by the extent to which they actively participate in the management, administration or other activities of the organisation.
  - membership, as the council's representative, of the board or management committee of an organisation that is affected by a decision or a matter under consideration, in circumstances where the interests of the council and the organisation are potentially in conflict in relation to the particular matter
  - a financial interest (other than an interest of a type referred to in clause 4.6) that is not a pecuniary interest for the purposes of clause 4.1
  - f) the conferral or loss of a personal benefit other than one conferred or lost as a member of the community or a broader class of people affected by a decision.
- 5 10 Significant non-pecuniary conflicts of interest must be managed in one of two ways:
  - by not participating in consideration of, or decision making in relation to, the matter in which you have the significant non-pecuniary conflict of interest and the matter being allocated to another person for consideration or determination, or
  - if the significant non-pecuniary conflict of interest arises in relation to a matter under consideration at a council or committee meeting, by managing the conflict of interest as if you had a pecuniary interest in the matter by complying with clauses 4.28 and
- 5.11 If you determine that you have a non-pecuniary conflict of interest in a matter that is not significant and does not require further action, when disclosing the interest you must also explain in writing why you consider that the non-pecuniary conflict of interest is not significant and does not require further action in the circumstances.
- If you are a member of staff of council other than the general manager, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of your manager. In the case of the general manager, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of the mayor.
- Despite clause 5.10(b), a councillor who has a significant non-pecuniary conflict of interest in a matter, may participate in a decision to delegate consideration of the matter in question to another body or person. 5.13
- Council committee members are not required to declare and manage a non-pecuniary conflict of interest in accordance with 5.14 the requirements of this Part where it arises from an interest they have as a person chosen to represent the community, or as a member of a non-profit organisation or other community or special interest group, if they have been appointed to represent the organisation or group on the council committee.



#### SPECIAL DISCLOSURE OF PECUNIARY INTEREST DECLARATION

This form must be completed using block letters or typed. If there is insufficient space for all the information you are required to disclose, you must attach an appendix which is to be properly identified and signed by you.

Ву	
[insert full name of councillor]	
In the matter of	
[insert name of environmental	
planning instrument]	
Which is to be considered	
at a meeting of the	
[insert name of meeting]	
Held on	
[insert date of meeting]	
PECUNIARY INTEREST	
Address of the affected principal place	
of residence of the councillor or an	
associated person, company or body	
(the identified land)	
Relationship of identified land to	☐ The councillor has interest in the land
councillor	(e.g. is owner or has other interest
[Tick or cross one box.]	arising out of a mortgage, lease, trust,
	option or contract, or otherwise).
	☐ An associated person of the councillor
	has an interest in the land.
	☐ An associated company or body of the councillor has interest in the land.
	Councillor has interest in the land.
MATTER GIVING RISE TO PECUNIARY	Y INTEREST <sup>1</sup>
Nature of land that is subject to a	☐ The identified land.
change	☐ Land that adjoins or is adjacent to or is
in zone/planning control by proposed	in proximity to the identified land.
LEP (the subject land <sup>2</sup>	
[Tick or cross one box]	
Current zone/planning control	
[Insert name of current planning instrument	
and identify relevant zone/planning control	
applying to the subject land]	
Proposed change of zone/planning	
control	
[Insert name of proposed LEP and identify	
proposed change of zone/planning control	
proposed change of zone/planning control applying to the subject land]	
proposed change of zone/planning control applying to the subject land]  Effect of proposed change of	☐ Appreciable financial gain.
proposed change of zone/planning control applying to the subject land]  Effect of proposed change of zone/planning control on councillor or	<ul><li>□ Appreciable financial gain.</li><li>□ Appreciable financial loss.</li></ul>
proposed change of zone/planning control applying to the subject land]  Effect of proposed change of zone/planning control on councillor or associated person	
proposed change of zone/planning control applying to the subject land]  Effect of proposed change of zone/planning control on councillor or associated person [Tick or cross one box]	

additional interest]

Councillor's Signature:		Date:	
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This form is to be retained by the council's general manager and included in full in the minutes of the meeting

Last Updated: 3 June 2019



#### **Important Information**

This information is being collected for the purpose of making a special disclosure of pecuniary interests under clause 4.36(c) of the Model Code of Conduct for Local Councils in NSW (the Model Code of Conduct).

The special disclosure must relate only to a pecuniary interest that a councillor has in the councillor's principal place of residence, or an interest another person (whose interests are relevant under clause 4.3 of the Model Code of Conduct) has in that person's principal place of residence.

Clause 4.3 of the Model Code of Conduct states that you will have a pecuniary interest in a matter because of the pecuniary interest of your spouse or your de facto partner or your relative or because your business partner or employer has a pecuniary interest. You will also have a pecuniary interest in a matter because you, your nominee, your business partner or your employer is a member of a company or other body that has a pecuniary interest in the matter.

"Relative" is defined by clause 4.4 of the Model Code of Conduct as meaning your, your spouse's or your de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child and the spouse or de facto partner of any of those persons.

You must not make a special disclosure that you know or ought reasonably to know is false or misleading in a material particular. Complaints about breaches of these requirements are to be referred to the Office of Local Government and may result in disciplinary action by the Chief Executive of the Office of Local Government or the NSW Civil and Administrative Tribunal.

This form must be completed by you before the commencement of the council or council committee meeting at which the special disclosure is being made. The completed form must be tabled at the meeting. Everyone is entitled to inspect it. The special disclosure must be recorded in the minutes of the meeting.

A pecuniary interest may arise by way of a change of permissible use of land adjoining, adjacent to or in proximity to land in which a councillor or a person, company or body referred to in clause 4.3 of the Model Code of Conduct has a proprietary interest



<sup>&</sup>lt;sup>1</sup> Clause 4.1 of the Model Code of Conduct provides that a pecuniary interest is an interest that a person has in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to the person. A person does not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision the person might make in relation to the matter, or if the interest is of a kind specified in clause 4.6 of the Model Code of Conduct.

<sup>2</sup> A pecuniary interest may arise by way of a change of permissible use of land adjoining, adjacent to or in proximity to

Item: 05

Subject: DA2020 - 712.1 ALTERATIONS AND ADDITIONS TO DWELLING

INCLUDING A CLAUSE 4.6 VARIATION TO CLAUSE 4.3 (HEIGHT OF BUILDINGS) OF THE PORT MACQUARIE-HASTINGS COUNCIL LOCAL ENVIRONMENTAL PLAN 2011 AT LOT 262 DP 236277, 5 THE

SUMMIT ROAD, PORT MACQUARIE

Report Author: Development Assessment Planner, Clint Tink

Applicant: M L Bushell & S J Tonkin
Owner: M L Bushell & S J Tonkin

Estimated Cost: \$250,000 Parcel no: 23875

#### **Alignment with Delivery Program**

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

#### RECOMMENDATION

That DA2020 - 712.1 for alterations and additions to dwelling including a Clause 4.6 variation to Clause 4.3 (Height of Buildings) of the Port Macquarie-Hastings Local Environmental Plan 2011 at Lot 262, DP 236277, No. 5 The Summit, Port Macquarie, be determined by granting consent subject to the recommended conditions.

#### **Executive Summary**

This report considers a development application for alterations and additions to dwelling at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, one (1) submission was received.

The application includes a Clause 4.6 objection to Clause 4.3 (Height of Buildings) of the Port Macquarie-Hastings Local Environmental Plan 2011. The variation to the standard is less than 10% and the application is able to be determined by the Development Assessment Panel.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the attached conditions (Attachment 1).

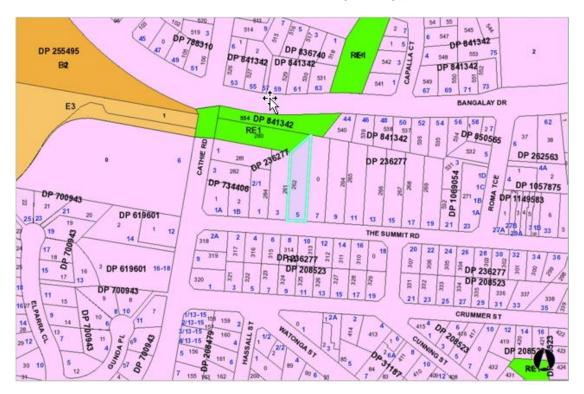


#### 1. BACKGROUND

#### **Existing Sites Features and Surrounding Development**

The site has an area of 1550m<sup>2</sup>.

The site is zoned R1 in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:





#### 2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Alterations and additions to the existing two (2) storey dwelling, albeit one storey is cut into the block (ie dwelling presents as single storey to the street).
   Following the works, the dwelling will have three (3) storeys with a two (2) storey presentation to the street.
- Dwelling will comprise a mixture of brick and cladding with metal roofing.
- Existing shed to the rear of the property is to be removed.
- A Clause 4.6 variation is proposed to Clause 4.3 (Height of Buildings) of Port Macquarie-Hastings Local Environmental Plan 2011. The height limit for the area is 8.5m and part of the dwelling is 9.284m, exceeding the standard by 0.784mm. This results in a variation of 9.2%.

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

#### **Application Chronology**

- 31/8/2020 Development Application lodged with Council.
- 15/9/2020 to 28/9/2020 Exhibition period.
- 17/9/2020 Council staff requested additional information on screening.
- 18/9/2020 Applicant responded to additional information request.
- 30/9/2020 Submission received.
- 7/10/2020 Applicant requested update with response provided by Council staff. Redacted submission provided to applicant.
- 13/10/2020 Applicant requested update with response provided by Council staff.
- 4/11/2020 Applicant requested update with response provided by Council staff.



#### 3. STATUTORY ASSESSMENT

#### **Section 4.15(1) Matters for Consideration**

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

#### State Environmental Planning Policy (Koala Habitat Protection) 2019

Clause 5 - The SEPP applies to the Port Macquarie-Hastings Local Government Area.

Clause 9 - The property does not meet the requirements of being 1ha or more in size and there is also no Koala Plan of Management in place. Therefore, Clause 9 does not apply and no further consideration of the SEPP is required.

### State Environmental Planning Policy (Primary Production and Rural Development) 2019

Division 4 - Having considered the provisions of Division 4 (Clause 29-31), the proposed development will create no adverse impact on any oyster aquaculture development or priority oyster aquaculture area.

#### State Environmental Planning Policy No. 55 - Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

#### State Environmental Planning Policy (Infrastructure) 2007

Clause 45 - There is no development within proximity to the electricity infrastructure listed under the SEPP. The development is over 5m from the exposed electricity line running along The Summit with only works to the insulated service line proposed.

### State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

#### Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

Clause 2.2 - The subject site is zoned R1 General Residential.



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Clause 2.3 - Under the R1 zone landuse table, alterations and additions to a
dwelling house is a permissible land use with consent.

The objectives of the R1 zone are as follows:

- To provide for the housing needs of the community.
- o To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- -The proposal is consistent with the zone objectives as it continues to provide a variety of housing types to meet the housing needs of the community.
- Clause 4.3 This clause establishes the maximum "height of a building" (or building height) that a building may be built to on any parcel of land. The term "building height (or height of building)" is defined in the LEP to mean "the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like". The term "ground level (existing)" is also defined in the LEP to mean "the existing level of a site at any point". Technically, the "existing level" also applies to areas of a site that have already been cut into as part of an existing building. For example, the floor level of a subfloor area.
  - The building height limit for the site is identified on the Height of Buildings Map as being 8.5m. The proposed development is 9.284mm to the top-most hip point of the new roof (when measured from the existing internally cut in sub floor), which exceeds the height by 0.784mm. This represents a variation of 9.2%.
  - It should be noted that the variation is a technicality created by the process in measuring height on existing developed sites. In this case, the existing building is cut into the block. By cutting into the block, it resets the "existing" ground level to that of the finished subfloor area. Whilst measuring from the subfloor is technically correct, it distorts the measurement when applied to existing dwellings.
  - The Applicant's plans show where the 8.5m height limit plane would be, had the lot not been cut into previously. The height limit on the plans is considered to be more relevant of where the assessment should be measuring compliance and shows the development, if built from scratch originally, would have complied.
  - In considering the height variation, compliance with the following objectives of Clause 4.3 of the LEP must be considered:
    - (a) to ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality,
    - (b) to minimise visual impact, disruption of views, loss of privacy and loss of solar access to existing development,
    - (c) to minimise the adverse impact of development on heritage conservation areas and heritage items,
    - (d) to nominate heights that will provide a transition in built form and land use intensity within the area covered by this Plan.



- In this case, the variation is compliant with the Clause 4.3 objectives for the following reasons:
  - 1. The dwelling presents as two storeys to the street, which is consistent with other dwellings in the area and normally what is allowed via an 8.5m height limit.
  - 2. The bulk of the dwelling is conservative with substantial side setbacks, open areas and presenting mostly as single and two storey to the side boundaries.
  - 3. The variation only applies to a small section of the pitched roof. The majority of the built form of the dwelling is well below the height limit.
  - 4. The dwelling and height variation do not create any adverse visual impact, view loss, impact on privacy or loss of solar access.
  - 5. The site or area does not contain any heritage items.
  - 6. The development does not compromise any transition elements of the height controls in the Local Environmental Plan.
  - 7. As stated above in the report, the variation is also created from a technicality in how height is measured for existing cut in buildings.

Clause 4.6 is addressed later in this report on how the variation is considered.

- Clause 4.4 The floor space ratio of the proposal is 0.237:1, which complies with the maximum 1:1 floor space ratio applying to the site.
- Clause 4.6 This clause establishes a degree of flexibility for certain development standards in certain circumstances, which have demonstrated that a better planning outcome will occur from that flexibility. In this regard, the proposal seeks a variation to the building height standard as identified under Clause 4.3 of this report. Assistance on the approach to a variation is taken from NSW Land and Environment Court and NSW Court of Appeal decisions in:
  - 1. Wehbe v Pittwater Council (2007) NSW LEC 827 (Wehbe);
  - 2. Four2Five Pty Ltd v Ashfield Council (2015) NSWLEC 1009; and
  - 3. Al Maha Pty Ltd v Huajun Investments Pty Ltd (2018) NSWCA 245

The assessment report will now step through and address the relevant provisions of Clause 4.6.

- 4.6(3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:
- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and
- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.

Comments: In considering the above, the Applicant has submitted a request in writing to justify the contravention of the building height standard (Attachment 3). The following provides a summary of the key points raised in the submission:

1. The variation is caused by the existing lower level of the dwelling having a finished floor level approximately 1.393m below the natural ground level and the addition of a proposed upper level. The external wall of the



existing lower level is only partially visible with the lower portion being constructed as a wet-wall and is below the external/visible ground line. In this regard, the proposal has limited visual impacts to neighbouring properties and streetscape.

- 2. The proposal complies with the height limit at street level.
- 3. When viewed from neighbouring properties to the east and west, the ridgeline of the dwelling will appear less than 8.5m from the existing external ground level.
- 4. Visually, the development is consistent with an 8.5m development and considered to be compatible with the height, bulk and scale of the existing desired future character of the locality.
- 5. The north orientation will ensure no adverse loss of solar access to adjoining properties.
- 6. Privacy to adjoining properties will be protected using high sill windows and screening.
- 7. There are no iconic views available from neighbouring properties that would be impacted by the development.
- 8. The proposal does not impact on any heritage.
- Noting the above, the proposal remains consistent with the objectives of Clause 4.3, compliance is considered unnecessary in this case and there are sufficient planning grounds to justify contravening the standard.
- 4.6(4) Development consent must not be granted for development that contravenes a development standard unless:
  - (a) the consent authority is satisfied that:
    - i. the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and
    - ii. the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and
  - (b) the concurrence of the Secretary has been obtained.

The above components of Clause 4.6(4) are repeated below with associated comments on compliance.

4.6(4)(a)(i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3)

Comments: It is noted that the Applicant has submitted a written request to vary the height limit.

In addressing Clause 3(a), Wehbe established 'five methods' to test whether the submission and compliance with the standard was unreasonable or unnecessary as follows:

- 1. The objectives of the standard are achieved notwithstanding the noncompliance with the numerical standard and therefore compliance is unnecessary.
- 2. The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary.



### DEVELOPMENT ASSESSMENT PANEL 25/11/2020

- 3. The underlying object or purpose of the standard would be defeated or thwarted if compliance was required and therefore compliance is unreasonable.
- 4. The development standard has been virtually abandoned or destroyed by the Council's own actions in granting a consent to proposals departing from the standard and hence compliance is unreasonable and unnecessary.
- 5. The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land.

Having regard to the 'five methods', any of which could support the variation, it is considered that the proposal relies on the first method. In particular, the objectives of the height standard are achieved notwithstanding the non-compliance with the numerical 8.5m height standard. The Applicant's submission (as summarised above) and also comments provided by the assessing officer on Clause 4.3 above in this report, show that the objectives are achieved and that compliance with the standard is unnecessary in this case.

In addressing Clause 3(b) and there being sufficient planning grounds for the variation, the following comments are provided:

- 1. The proposed development will meet the objectives of maximum building height refer to comments on Clause 4.3 above in this report.
- 2. The building will not have any identifiable adverse impacts to adjoining properties.
- 3. The proposed variation will not result in a development which is out of character with that envisioned for the immediate locality.

On the basis of the above, it is considered that the Applicant's Clause 4.6 variation, has adequately addressed the matters required to be demonstrated by Clause 4.6(3).

4.6(4)(a)(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and

Comments: Compliance with the zone and height control objectives are addressed earlier in this report. In summary, the development was considered to comply with the relevant zone and height objectives and therefore have no implications on public interest.

4.6(4)(b) the concurrence of the Secretary has been obtained.

Comments: As per the Planning Circular PS20-002, Council can assume the Director's Concurrence for variations to the height standard. In addition, the variation is less than 10% and able to be determined by the Development Assessment Panel.

Having regard to the above, it is recommended that Clause 4.6 has been addressed and that the height variation be supported.

 Clause 5.10 - The site does not contain or adjoin any known heritage items or sites of significance. PORT MACQUARIE HASTINGS

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- Clause 7.13 Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.
- (ii) Any draft instruments that apply to the site or are on exhibition

None relevant.

#### (iii) Any Development Control Plan in force

#### Port Macquarie-Hastings Development Control Plan 2013

DCP 2013: Part B - General Provisions - B2: Environmental Management			
DCP Objective	Development Provisions	Proposed	Complies
3	a) Development must comply with Council's Developments, Public Place & Events - Waste Minimisation and Management Policy.	Kerbside collection will remain unchanged.	Yes
Cut and Fi	II Regrading		
4	a) Development shall not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building (This does not apply to buildings where such cut and fill is fully retained within or by the external walls of the building).	800mm cut proposed at the front of the premises. All other cut is existing and/or contained within the footprint of the dwelling.	Yes
5	a) A certified practicing structural engineer must certify any retaining wall greater than 1.0m.	None proposed.	
	<ul> <li>b) Where a combination of a fence and a wall is proposed to be greater than 1.2m high: <ul> <li>be a maximum combined height of 1.8m above existing property boundary level;</li> <li>be constructed up to the front boundary for a maximum length of 6.0m or 30% of the street frontage, whichever is less;</li> <li>the fence component has openings which make it</li> </ul> </li> </ul>	No new fence and retaining wall combination proposed.	N/A

	not less than 25% transparent; and provide a 3m x 3m splay for corner sites, and provide a 900mm x 900mm splay for vehicle driveway entrances.			
Bushfire H	Hazard Management			
18	a) APZs are to be located outside of environmental protection zones and wholly provided within private land. Note perimeter roads provided as part of a residential subdivision are classified as being part of the subdivision and not a separate permissible land use within environment protection zones.	APZs can be maintained within the residential zoned lot.	Yes	
Parking P			1	$\mathcal{Q}$
24	<ul> <li>a) Off-street Parking is provided in accordance with Table 3:</li> <li>- 1 parking space per each dwelling for dwelling-house.</li> </ul>	Double garage proposed.	Yes	
Crime Pre				
43	<ul> <li>a) The development addresses the generic principles of crime prevention:</li> <li>Casual surveillance and sightlines;</li> <li>Land use mix and activity generators;</li> <li>Definition of use and ownership;</li> <li>Basic exterior building design;</li> <li>Lighting;</li> <li>Way-finding; and</li> <li>Predictable routes and entrapment locations;</li> <li>as described in the Crime Prevention Through Environmental Design (CPTED)</li> </ul>	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes	
DCP 2012	principles.  : Part C - Development Specifi	c Provisions - C1: Low Do	nsity	PORT MACQUAR
	al Development	C i 10visions - C i. Low Dei	isity	HASTING

DCP Objective	Development Provisions	Proposed	Complies		
Front Setbacks					
44	<ul> <li>a) Dwellings may incorporate an articulation zone to a street frontage at no less than 3m from property boundary. The following building elements are permitted within the articulation zone: <ul> <li>an entry feature or portico;</li> <li>a balcony, deck, patio, pergola, terrace or verandah;</li> <li>a window box treatment;</li> <li>a bay window or similar feature;</li> <li>an awning or other feature over a window;</li> <li>a sun shading feature.</li> </ul> </li> <li>b) These building elements should not extend above the eave gutter line, other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the dwelling house.</li> </ul>	Articulation provisions not utilised.	N/A		
	c) The primary road front setback shall be: Classified road = any frontage 6.0m Primary frontage = 4.5m Secondary frontage = 3.0m Ancillary Lane = 2.0m Large lot residential and rural zones = 10.0m	The development is setback over 4.5m.	Yes		
45	<ul> <li>a) A garage, carport or car parking space should:</li> <li>be at least 1m behind the building line, where the dwelling(s) has a setback from a front boundary of 4.5m or more, or</li> <li>be at least 5.5m from a front boundary, where the dwelling(s) has a setback of less than 4.5m.</li> </ul>	The garage is located forward of the main dwelling. However, the entrance to the garage doors is over 5.5m.  The variation is acceptable in this case for the following reasons:  There are other examples in the street of garages being forward of the street.	No, but acceptable.		



		<ul> <li>The garage is partially cut in and single storey, which reduces the bulk/dominance of the garage.</li> <li>The remainder of the dwelling is two storey, which is the more prominent feature.</li> <li>The garage allows for a 5.5m setback for casual visitor parking.</li> <li>Based on the above, the proposal will not compromise the objectives of the DCP.</li> </ul>	
	b) The total width of the garage/carport openings should not be more than 6m and not more than 50 per cent of the width of the building.	Garage door is 5m, which does not exceed the 6m standard or 50% of the 15.35m building width.	Yes
	c) Driveway crossovers are no greater than 5.0m in width.	Driveway crossover is 4.969m.	Yes
	d) Where a dual occupancy or attached dwelling is proposed on a corner lot a garage and driveway is provided on each road frontage.	Not relevant.	N/A
Side and R	lear Setbacks		
46	a) A minimum rear boundary setback of 4m is to be provided to dwellings (including verandahs, patios and decks).	Rear setback is well over 4m.	Yes
	b) A minimum rear boundary setback of 900mm applies to sheds and swimming pools subject to achieving minimum required private open space area.	Not relevant.	N/A
	c) Council may consider varying rear setback requirements where it is demonstrated that the private open space could achieve better solar access between the building and the side setback. In that instance, one side setback should be a minimum 4m in	Not relevant.	N/A



	width (for an equivalent		
	length of rear boundary,		
	behind building line) and the		
	rear setback may be		
	reduced to 900mm.		
47	a) Ground floors (being <1m	Ground floor areas (<1m	Yes
	above existing ground level)	above existing ground	
	should be setback a	level) are setback a	
	minimum of 900mm from	minimum 1.48m.	
	side boundaries.		
	b) First floors and above	First floor areas are	Yes
	(including single storey with	setback 1.48m from the	
	floor level >1m) should be	western boundary and a	
	setback a minimum of 3m	minimum of 2.982m from	
	from the side boundary, or	the eastern boundary.	
	reduced down to 900mm		
	where it can be	In terms of the western	
	demonstrated that the	boundary, the 1.48m	
	adjoining property's primary	setback is to existing	
	living rooms and principal	components that are not	
	private open space areas	changing. New elements	
	are not adversely	are setback over 3m and	
	overshadowed for more than	comply.	
	3hrs between 9am - 3pm on		
	21 June.	The eastern setback is	
		only 18mm short of	
		numerical compliance.	
		Furthermore,	
		overshadowing diagrams	
		submitted by the applicant,	
		indicate that the eastern	
		properties only start to	
		become partially	
		overshadowed from 1-	
		2pm. The area being	
		overshadowed is	
		essentially a garage	
		structure (no windows)	
		and a small rear yard area	
		that would also start to	
		become overshadowed	
		from the existing fence.	
		Overall, the minor	
		variation is considered	
		acceptable noting the	
		north orientation of the lots	
		and the primary living and	
		open space areas will not	
		be overshadowed more	
		than 3 hours by the	
		development between	
		9am-3pm on 21 June.	
	c) First floors and above	The development provides	Yes
	should have building walls	suitable articulation via the	103
	Should have building walls	Sultable alticulation via the	

	that step in and out at least every 12m by a minimum of 500mm articulation. Where	use of varying roof heights, steps in the façade, change in	
	first floors and above are setback >3m, wall articulation is not required.	materials, provision of openings and deck areas.	
Private Op	en Space	<u> </u>	
48.	<ul> <li>a) All dwellings should have a minimum area of private open space of 35m2, which includes a principal private open space area with: <ul> <li>a minimum dimension of 4m x 4m, and</li> <li>a maximum grade of 5% for minimum 4m x 4m of the total open space requirement, and</li> <li>direct accessibility from a ground floor living area and orientated to maximise use.</li> </ul> </li> </ul>	The dwelling will retain over 35m² of private open space, including a 4m x 4m area accessible from a living space.	Yes
Bulk and S	b) Private open space may include clothes drying areas and garbage storage.  Scale	Noted.	Yes
51	<ul> <li>a) Direct views between indoor living rooms and principal private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots, including possible dwellings on future lots, should be obscured or screened where: <ul> <li>Ground and first floor (and above) indoor living room windows are within a 9m radius.</li> <li>Direct views between principal private open space areas where within a 12m radius.</li> <li>Direct views between indoor living rooms of dwellings into the principal area of private open space of other dwellings within a 12m radius.</li> </ul> </li> </ul>	There will be no direct views between living room windows and private open space areas due to the use of the following:  - Living room windows facing away from adjoining properties.  - Fencing used to screen lower level areas.  - High sill windows being utilised.  - Privacy screening being applied to deck areas.	Yes

<ul> <li>b) A balcony, deck, patio, pergola, terrace or verandah should have a privacy screen where there are direct views of:         <ul> <li>Indoor living room windows of adjacent dwellings, including proposed dwellings approved on adjoining lots within 9m radius; or</li> <li>Principal areas of private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots within a 12m radius</li> </ul> </li> </ul>	Refer to above comment.	Yes
lots within a 12m radius. c) Privacy protection is not required for:  - Any Indoor living room windows with a sill height of greater than 1.5m above the finished floor level of that room or where fixed non-openable translucent glass is installed to the same height.	Noted. High sill window utilised for east facing living room window.	Yes
d) Direct views described above may be reduced or obscured by one of the following measures (details to be submitted with the development application):  - 1.8m high fence or wall between ground-floor level windows or between a dwelling and principal private open space  - Screening of minimum 1.7m height, that has 25% openings (max), with no individual opening more than 30mm wide, is permanently fixed and is made of durable materials.  - A window, the whole of which has translucent glass and is not able to be opened.	Noted. Screening used on deck area. To be reinforced via conditions.	Yes

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

None relevant.

(iv) Any matters prescribed by the Regulations

#### Demolition of buildings AS 2601 - Clause 92

Demolition of the existing building elements on the site is capable of compliance with this Australian Standard and is recommended to be conditioned.

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

#### **Context and setting**

The proposal will not have any significant adverse impacts on existing adjoining properties and satisfactorily addresses the public domain.

The existing dwelling and proposed alterations and additions are consistent with the local context, which includes dwellings constructed over multiple levels in places. The proposal adequately addresses the objectives of the planning controls for the area.

The proposal does not have a significant adverse impact on existing view sharing.

There are no significant adverse privacy impacts.

There are no significant adverse overshadowing impacts.

#### Access, traffic and transport

The proposal will not have any significant adverse impacts in terms access, transport and traffic. The existing road network will satisfactorily cater for traffic generation as a result of the development.

#### Water supply connection

The site has an existing water supply connection. New plumbing associated with the development will require a Section 68 application, as recommended in the conditions.

#### Sewer connection

The site has an existing sewer connection. New plumbing associated with the development will require a Section 68 application, as recommended in the conditions.

#### **Stormwater**

The proposed building additions are capable of draining to the existing connection/street. Alternatively, the rear yard contains sufficient area to accommodate onsite detention if required. No adverse stormwater impacts will occur and more specific details will be required with the Section 68 application, as recommended in the conditions.

#### Other utilities

Telecommunication and electricity services are available to the site.

#### Heritage



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This site does not contain or adjoin any known heritage item or site of significance. The site is also considered to be disturbed land.

#### Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

#### Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

#### Soils

The proposed development will not have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

#### Air and microclimate

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

#### Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

#### Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.

#### **Energy**

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

#### Noise and vibration

The construction of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

#### **Bushfire**

The site is identified as being bushfire prone.

The Applicant has submitted a Section 4.14 bushfire certificate prepared by a Certified Consultant. The certificate concludes that a Bushfire Attack Level 12.5 shall be required.

Management of bushfire risk is acceptable subject to BAL construction levels being implemented and APZ being maintained. An appropriate condition is recommended.

#### Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. A suitable level of natural surveillance of the street and area will be retained via the dwelling.



#### Social impacts in the locality

Given the nature of the proposed development and its location the proposal is not considered to have any significant adverse social impacts.

#### **Economic impact in the locality**

The proposal is not considered to have any significant adverse economic impacts on the locality. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

#### Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

#### Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

#### **Cumulative impacts**

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

#### (c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

Site constraints have been adequately addressed and appropriate conditions of consent recommended.

#### (d) Any submissions made in accordance with this Act or the Regulations

One (1) written submission was received following public exhibition of the application. Copies of the written submission have been provided separately to members of the DAP.

Key issues raised in the submission received and comments are provided as follows:

<b>Submission Issue/Summary</b>	Planning Comment/Response
Object to the height variation.	Refer to comments above in this report on Clause
Submitter has indicated that	4.3 and 4.6 of the Port Macquarie-Hastings Local
they will lodge legal	Environmental Plan 2011. In particular, there is a
proceedings and seek	legal planning process that allows for height
financial compensation	controls/standards to be reviewed and varied
against PMHC for allowing	(where justified). In this case, it is considered that
rules to be broken.	the application has gone through such a process
	and the variation is considered acceptable.
The extra height will cause	Current Council policies do not contain provisions
shading to solar panels and	around retaining access to solar panels (ie not a
financial loss.	matter for consideration). Council policies focus on
	access to living areas and open space, which are
	addressed previously in this report under Clause



Submission Issue/Summary	Planning Comment/Response
	47 of the DCP.
	It should be noted that using the same principles for solar access to living areas and open space, the solar panels would start to become overshadowed from approximately 2-3pm, allowing for in excess of 3 hours solar access between 9am and 3pm.
Loss of privacy.	The development complies with privacy provisions, which are addressed previously in this report under Clause 51 of the DCP
Overshadowing of adjoining properties.	The development complies with overshadowing provisions, which are addressed previously in this report under Clause 47 of the DCP.

#### (e) The Public Interest

The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

#### (f) Ecologically Sustainable Development and Precautionary Principle

Ecologically sustainable development requires the effective integration of economic and environmental considerations in decision-making processes.

The four principles of ecologically sustainable development are:

- the precautionary principle,
- intergenerational equity,
- conservation of biological diversity and ecological integrity,
- improved valuation, pricing and incentive mechanisms.

The principles of ESD require that a balance needs to be struck between the manmade development and the environmental impact. Based on the assessment provided in the report and with recommended conditions of consent, it is considered an appropriate balance has been struck.

#### (g) Climate change

The proposal is not considered to be vulnerable to any risks associated with climate change.

#### 4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

Development contributions will not be required under S64/S7.11 as the development is only for alterations and additions to an existing single dwelling.

#### 5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.



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Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

#### **Attachments**

1<u>J</u>. □DA2020 - 712.1 Recommended Conditions 2<u>J</u>. □DA2020 - 712.1 Plans



# FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2020/712 DATE: 16/11/2020

#### PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

#### A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Statement of Environmental Effects and Clause 4.6 Variation	J4309	Collins W Collins Pty Ltd	September 2020
Plans	Drawing No J4309, Sheets 1-12, Issue T	Collins W Collins Pty Ltd	18 September 2020
Bushfire Attack Level Certificate		Krisann Johnson	18 July 2020
BASIX	A377854	Collins W Collins Pty Ltd	26 August 2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
  - a) the appointment of a Principal Certifying Authority and
  - b) the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

- (3) (A009) The development site is to be managed for the entirety of work in the following manner:
  - Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
  - 2. Appropriate dust control measures;
  - 3. Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work

- adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
- Building waste is to be managed via appropriate receptacles into separate waste streams;
- Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
- Building work being limited to the following hours, unless otherwise permitted by Council:
  - Monday to Saturday from 7.00am to 6.00pm
  - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

(4) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure. Prior to work commencing onsite, relevant utility providers (telecommunications and electricity) are to be contacted to ascertain any requirements.

### B - PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council.
- (2) (B046) The building shall be designed and constructed so as to comply with the Bushfire Attack Level (BAL) 12.5 requirements of Australian Standard 3959 and the specifications and requirements of Planning for Bush Fire Protection. Details shall be submitted to the Principal Certifying Authority with the application for Construction Certificate demonstrating compliance with this requirement.

Please note: Compliance with the requirements of the current Planning for Bush Fire Protection Guidelines to prevail in the extent of any inconsistency with the Building Code of Australia.

### C - PRIOR TO ANY WORK COMMENCING ON SITE

Nil

### D - DURING CONSTRUCTION

- (1) (D003) The Port Macquarie-Hastings area is known to contain rock that may contain naturally occurring asbestos (NOA). Should potential NOA be located on site notification shall be provided to Council and Workcover prior to works proceeding. No work shall recommence until a NOA management plan has been approved by Council or Workcover.
- (2) (D029) The demolition of any existing structure shall be carried out in accordance with Australian Standard AS 2601: The Demolition of Structures. No demolition materials shall be burnt or buried on site. The person responsible for the demolition works shall ensure that all vehicles leaving the site carrying demolition materials have their loads covered and do not track soil or waste materials onto the road. Should the demolition works obstruct or inconvenience pedestrian or vehicular traffic on an adjoining public road or reserve, separate application shall be made to Council to enclose the public place with a hoarding fence.

Should asbestos be present, its removal shall be carried out in accordance with the National OH&S Committee – Code of Practice for Safe Removal of Asbestos and Code of Practice for the Management and Control of Asbestos in Workplaces.

#### E - PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (3) (E051) Prior to occupation or the issuing of any Occupation Certificate, a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (4) (E195) Prior to release of the Occupation Certificate, the privacy screen shown on the approved plans is to be installed onsite and maintained at all times.

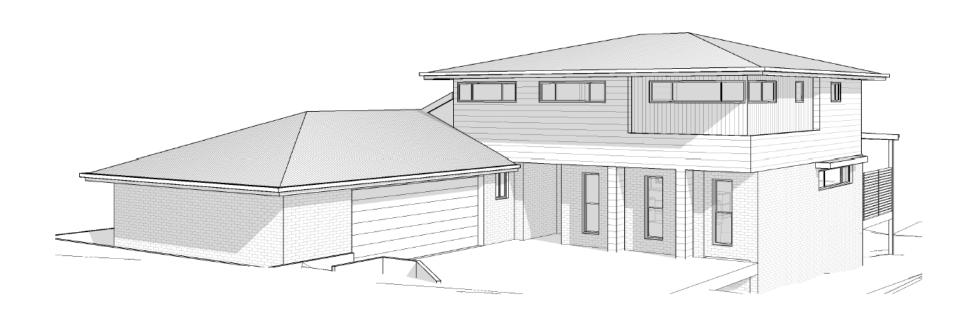
#### F - OCCUPATION OF THE SITE

- (1) (F035) The consent only permits the use of the building as a single dwelling and does not permit the adaption or use of the building so as to create a second occupancy.
- (2) (F004) The dwelling is approved for permanent residential use and not for short term tourist and visitor accommodation.

Date: Description:

18.09.20 PRIVACY SCREEN TO DECK

Issue: Drawn T MS



# **ALTERATIONS & ADDITIONS**

**LOT No**: 262 **DP No**: 236277

**STREET No:** 5

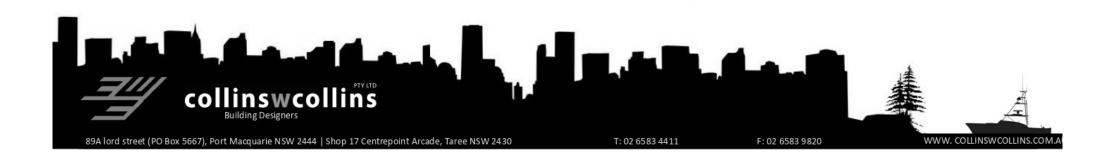
STREET NAME: THE SUMMIT ROAD, PORT MACQUARIE

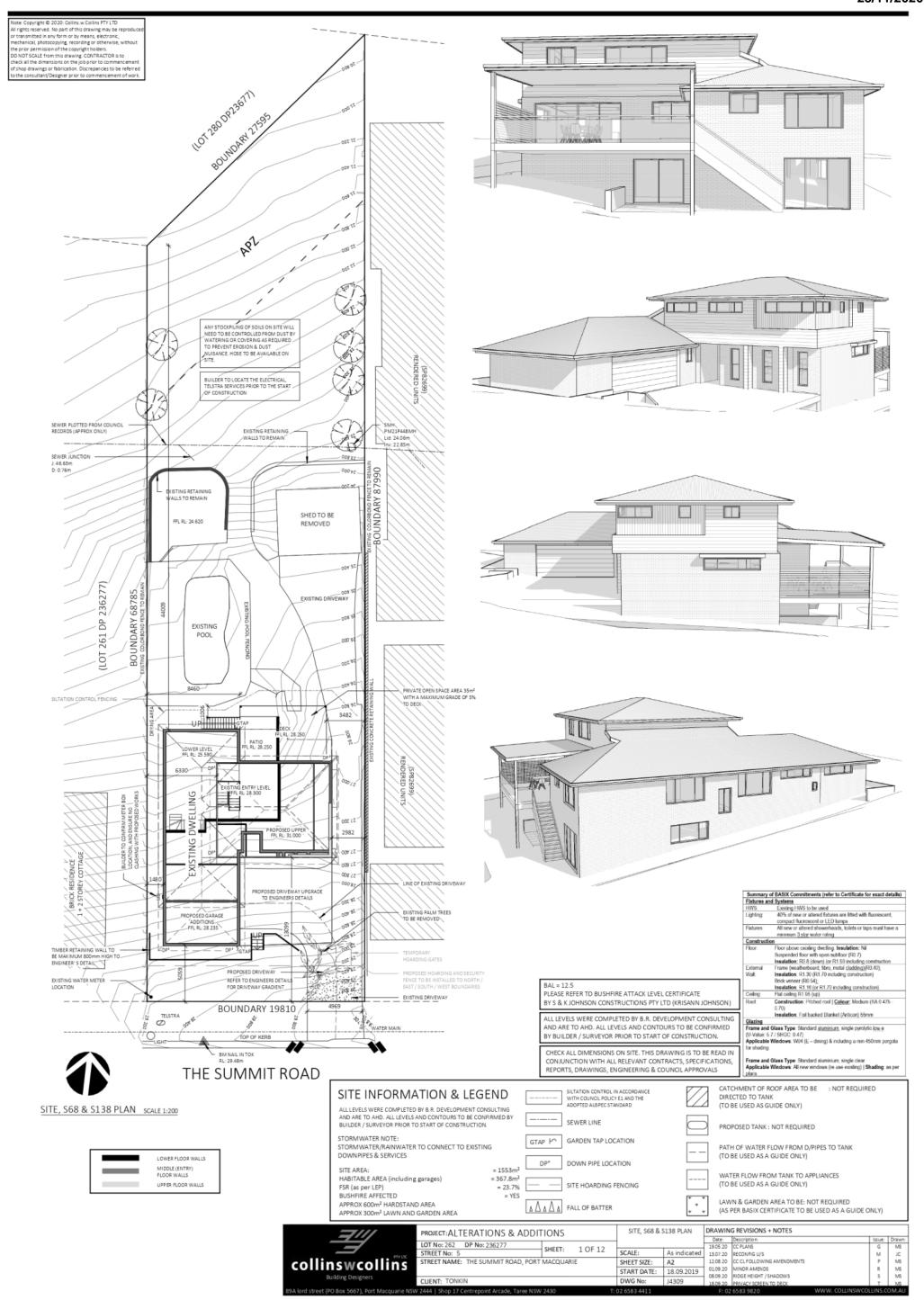
**CWC JOB #:** J4309

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- 1 SITE, S68 & S138 PLAN
- 2 DEMOLITION PLAN
- 3 ENTRY FLOOR PLAN
- 4 LOWER FLOOR PLAN5 UPPER FLOOR PLAN
- 6 ELEVATIONS
- 7 ELEVATIONS
- 8 SECTIONS & RIDGE HEIGHT SECTION
- 9 GLAZING
- 10 SHADOWS
- 11 BUILDING SPECIFICATIONS
- 12 WORK SAFETY NOTES

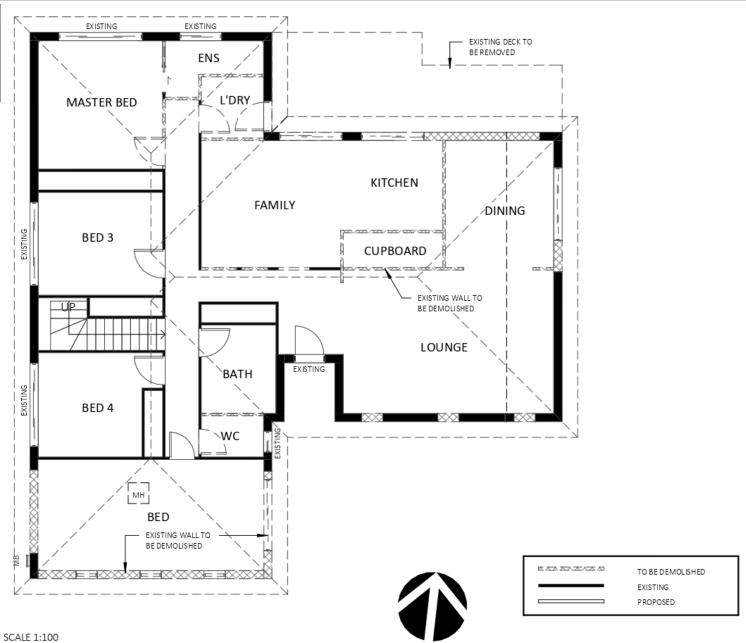




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to the consultant/Designer prior to commencement of work.

**ENTRY FLOOR** 

**DEMOLITION PLAN** 



EXISTING WINDOW TO BE REMOVED. OPENING TO BE FRAME & BRICKED UP TO MATCH EXISTING EXISTING EXISTING STAIRS & DECK TO BE REMOVED PATIO-TILE FINISH .FFL RL: 25.540 STORAGE RUMPUS/ EXISTING OUTLINE OF FLOOR ABOVE LIVING EXISTING WALL TO BE DEMOLISHED BATHRM WC-BED LIVING SUBFLOOR **STUDY** EXISTING STAIRCASE TO REMAIN

LOWER FLOOR SCALE 1:100
DEMOLITION PLAN

BAL = 12.5
PLEASE REFER TO BUSHFIRE ATTACK LEVEL CERTIFICATE
BY S & K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



PROJECT: ALTERATIONS & ADDITIONS		DEMOLITIO	DEMOLITION PLAN		DRAWING REVISION + NOTES			
			4		Revision Description:	Issue:	Drawn:	
LOT No: 262 DP No: 236277	SHEET: 2 OF 1	>		10.05.20	CC PLANS	1	MS	
STREET No: 5		SCALE:	1:100	19.05.20	CC PLANS	G	IVIS	
STREET NAME: THE SUMMIT ROAD, PORT	SHEET SIZE:	A3	12.08.20	CC CL FOLLOWING AMENDMENTS	P	MS		
		START DATE:	18.09.2019	08.09.20	RIDGE HEIGHT / SHADOWS	S	MS	
CLIENT: TONKIN		DWG No:	J4309	18.09.20	PRIVACY SCREEN TO DECK	Т	MS	
2444   Shop 17 Centrepoint Arcade, Taree NSW	T: 02 6583 4411		F: 02 658	3 9820 WWW. COLLINSV	VCOLLINS.	COM.AU		

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6980

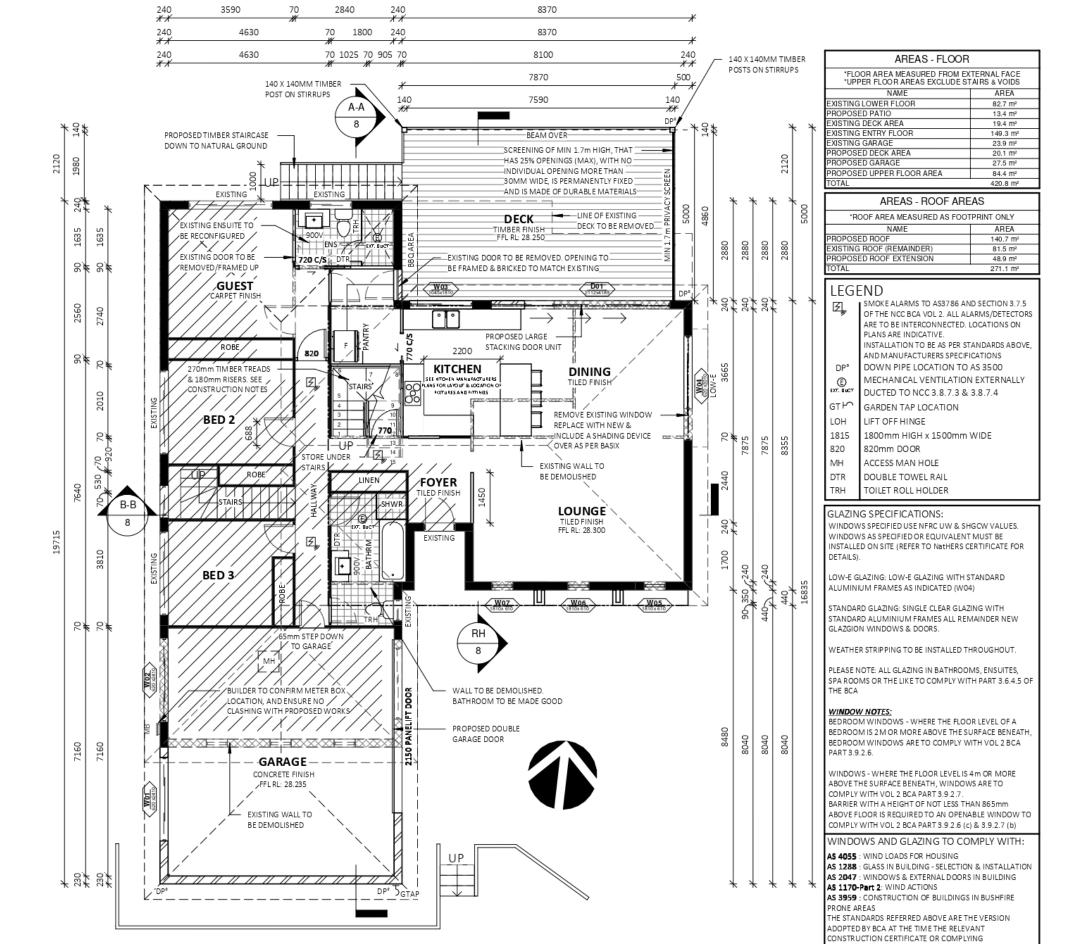
SMOKE ALARMS/DETECTORS: NCC BCA VOL 2 ALLALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS

#### CONSTRUCTION NOTES:

STAIRS, HANDRAILS & BALUSTRADE NOTES: STAIRS TO COMPLY WITH SECTION 3.9.1.2, 3.9.1.3 & SECTION 3.9.1.5 & 3.9.1.4 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773 2-2010



SCALE 1:100

ENTRY FLOOR PLAN

ENTRY FLOOR PLAN PROJECT: ALTERATIONS & ADDITIONS LOT No: 262 DP No: 236277 SHEET: 3 OF 12 SCALE: 1:100 STREET No: 5 STREET NAME: THE SUMMIT ROAD, PORT MACQUARIE SHEET SIZE: АЗ START DATE: 18.09.2019 CLIENT: TONKIN DWG No: J4309 9A lord street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepoint Arcade, Taree NSW 2430 T: 02 6583 4411

15350

1970

TO BE DEMOLISHED

EXISTING

PROPOSED

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS DRAWING REVISION + NOTES Date: Revision Description: lssue:

PLEASE REFER TO BUSHFIRE ATTACK LEVEL CERTIFICATE

BY S & K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)

FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE

PLEASE REFER TO THE "SUMMARY OF BASIX" ON PAGE 1 FOR

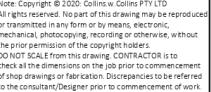
BAL = 12.5

FOR EXACT DETAILS.

EVELOPMENT CERTIFICATE APPLICATION IS I

Drawn 19.05.20 CC PLANS G MS 12.08.20 CC CL FOLLOWING AMENDMENTS Ρ MS 08.09.20 RIDGE HEIGHT / SHADOWS S MS 18.09.20 PRIVACY SCREEN TO DECK MS

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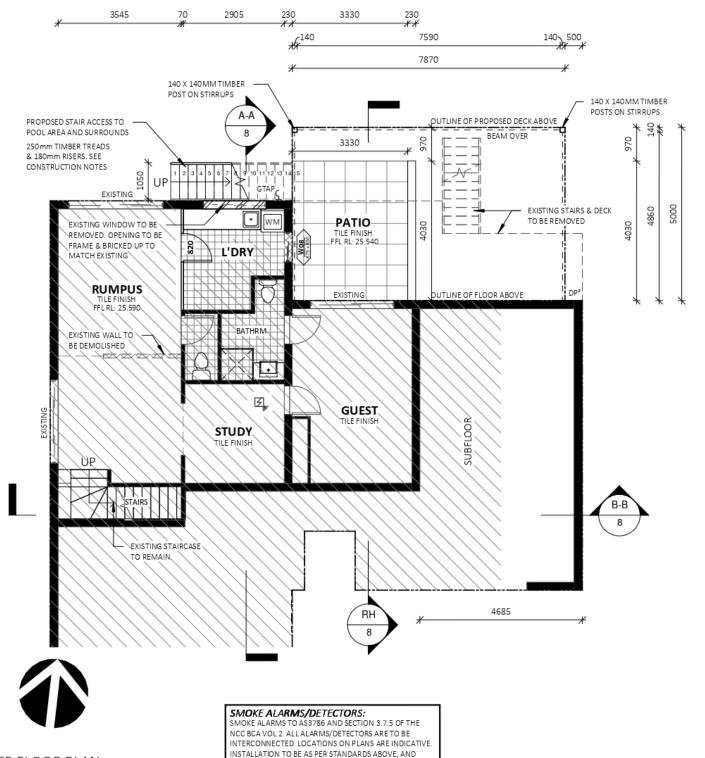
#### CONSTRUCTION NOTES:

STAIRS, HANDRAILS & BALUSTRADE NOTES:

SECTION 3.9.1.5 & 3.9.1.4 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS45.86

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE &HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773 2-2010



MANUFACTURERS SPECIFICATIONS

AREAS - FLOOR						
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS						
NAME	AREA					
EXISTING LOWER FLOOR	82.7 m²					
PROPOSED PATIO	13.4 m²					
EXISTING DECK AREA	19.4 m²					
EXISTING ENTRY FLOOR	149.3 m²					
EXISTING GARAGE	23.9 m²					
PROPOSED DECK AREA	20.1 m²					
PROPOSED GARAGE	27.5 m²					
PROPOSED UPPER FLOOR AREA	84.4 m²					
TOTAL	420.8 m <sup>2</sup>					

AREAS - ROOF AREAS							
*ROOF AREA MEASURED AS FOOTPRINT ONLY							
NAME	AREA						
PROPOSED ROOF	140.7 m²						
EXISTING ROOF (REMAINDER)	81.5 m²						
PROPOSED ROOF EXTENSION	48.9 m²						
TOTAL	271.1 m²						

#### LEGEND

国,	SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS
DP°	DOWN PIPE LOCATION TO AS 3500
EXT. BUCT	MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4
GT⊷	GARDEN TAP LOCATION
LOH	LIFT OFF HINGE
1815	1800mm HIGH x 1500mm WIDE
820	820mm DOOR
MH	ACCESS MAN HOLE
DTR	DOUBLE TOWEL RAIL
TRH	TOILET ROLL HOLDER

### GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NatHERS CERTIFICATE FOR DETAILS).

LOW-E GLAZING: LOW-E GLAZING WITH STANDARD ALUMINIUM FRAMES AS INDICATED (W04)

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES ALL REMAINDER NEW GLAZGION WINDOWS & DOORS.

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF

# WINDOW NOTES:

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.6.

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.7. BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.6 (c) & 3.9.2.7 (b)

WINDOWS AND GLAZING TO COMPLY WITH:

AS 4055 : WIND LOADS FOR HOUSING

AS 1288 : GLASS IN BUILDING - SELECTION & INSTALLATION AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING AS 1170-Part 2: WIND ACTIONS

AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING EVELODMENT CERTIFICATE ARRITCATION IS N

BAL = 12.5

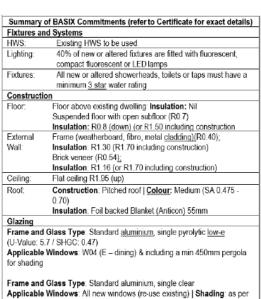
TO BE DEMOLISHED

PROPOSED

PLEASE REFER TO BUSHFIRE ATTACK LEVEL CERTIFICATE BY S & K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)

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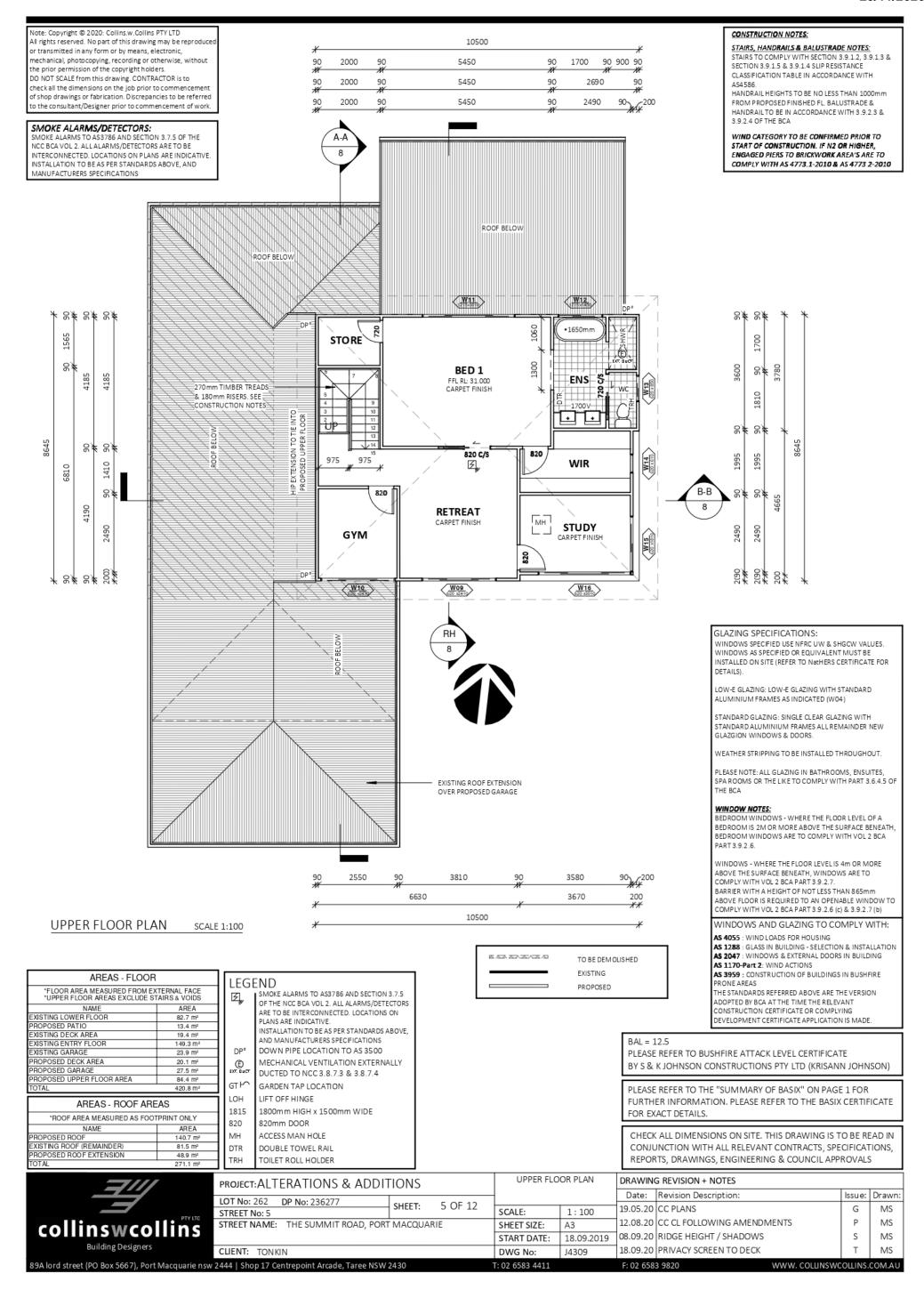


39A lord street (PO Box 5667), Port Macquarie n

SCALE 1:100

LOWER FLOOR PLAN

				KEFOR	113, DRAWINGS, ENGINEERING & COONCIL APP	TOVAL	,
PROJECT: ALTERATIONS & ADDITIONS		LOWER FLOOR PLAN		DRAWING REVISION + NOTES			
LOT No: 262 DP No: 236277	I	-  !		Date:	Revision Description:	lssue:	Drawn:
STREET No: 5	SHEET: 4 OF 12	SCALE:	1:100	19.05.20	CC PLANS	G	MS
STREET NAME: THE SUMMIT ROAD, PORT	SHEET SIZE:	А3	12.08.20	CC CL FOLLOWING AMENDMENTS	P	MS	
	START DATE:	18.09.2019	08.09.20	RIDGE HEIGHT / SHADOWS	S	MS	
CLIENT: TONKIN	DWG No:	J4309	18.09.20	PRIVACY SCREEN TO DECK	T	MS	
2444   Shop 17 Centrepoint Arcade, Taree NSW	T: 02 6583 4411		F: 02 658	3 9820 WWW. COLLINSWO	COLLINS.	COM.AU	



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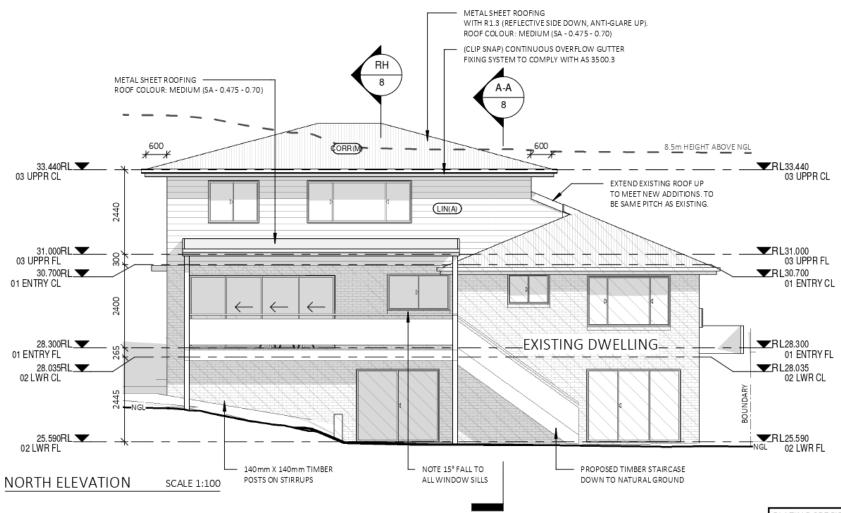
	EXTERNAL FINISHES
LABEL	MATERIAL DESCRIPTION
AXO(A)	SCYON AXON 133mm VERTICAL CLADDING
CORR(M)	CORRUGATED METAL SHEET ROOFING (MEDIUM)
FBW	SELECTED FACE BRICK
LIN(A)	SCYON LINEA 180mm WIDE CLADDING

#### CONSTRUCTION NOTES:

STAIRS, HANDRAILS & BALUSTRADE NOTES: STAIRS TO COMPLY WITH SECTION 3.9.1.2, 3.9.1.3 & SECTION 3.9.1.5 & 3.9.1.4 SUP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000 mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773 2-2010



#### METAL SHEET ROOFING WITH R1.3 (REFLECTIVE SIDE DOWN, ANTI-GLARE UP) RH ROOF COLOUR: MEDIUM (SA - 0.475 - 0.70) (CLIP SNAP) CONTINUOUS OVERFLOW GUTTER 8 8 FIXING SYSTEM TO COMPLY WITH AS 3500.3 600 CORR(M) 33.440RL 03 UPPR CL EXTEND EXISTING ROOF UP TO MEET NEW ADDITIONS. TO BE SAME PITCH AS EXISTING (AXO(A) (LIN(A) 450 450 CORR(M) 31.000RL 03 UPPR FL 30.700RL 01 ENTRY CL (FBW) 28.235R NGL 01 GRG FL (LIN(A)) (FBW) TIMBER RETAINING WALLTO BE MAXIMUM NOTE 15° FALL TO 800mm HIGH TO ENGINEERS DETAILS ALL WINDOW SILLS EXISTING DRIVEWAY TO BE UPDATED TO REDUCE STEP DOWN FROM SOUTH ELEVATION SCALE 1:100

# GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NatHERS CERTIFICATE FOR DETAILS).

LOW-E GLAZING: LOW-E GLAZING WITH STANDARD ALUMINIUM FRAMES AS INDICATED (W04)

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH
STANDARD ALUMINIUM FRAMES ALL REMAINDER NEW
GLAZGION WINDOWS & DOORS.

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

# WINDOW NOTES:

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3,9.2.6.

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9 2.7.
BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9 2.6 (c) & 3.9.2.7 (b)

WINDOWS AND GLAZING TO COMPLY WITH:

AS 4055: WIND LOADS FOR HOUSING
AS 1288: GLASS IN BUILDING - SELECTION & INSTALLATION
AS 2047: WINDOWS & EXTERNAL DOORS IN BUILDING
AS 1170-Part 2: WIND ACTIONS

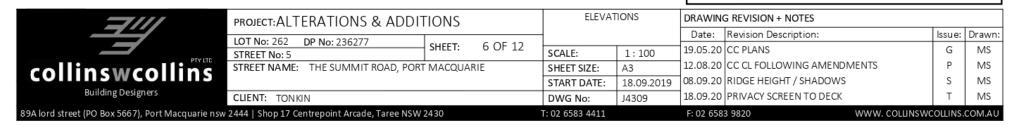
AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

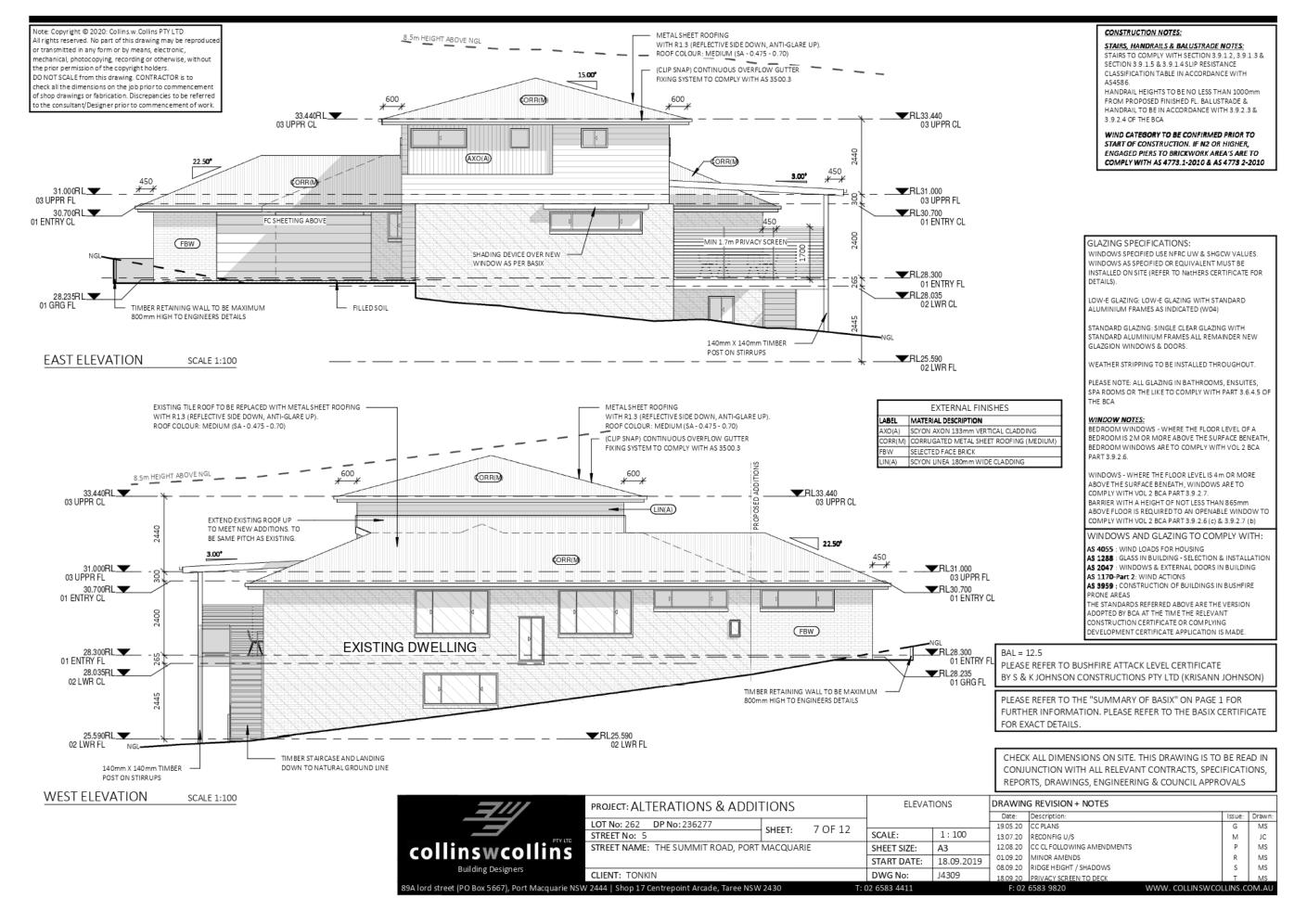
THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE.

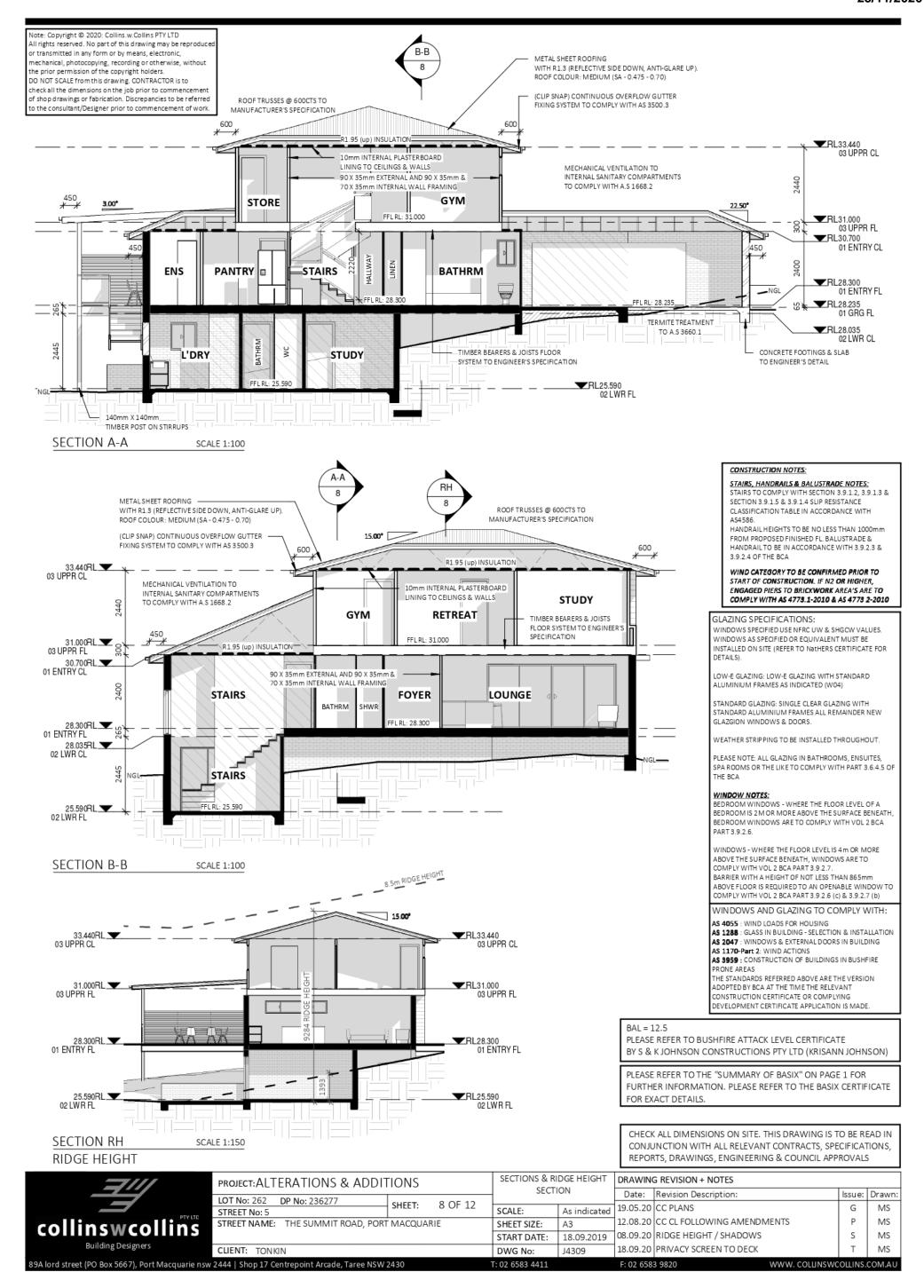
BAL = 12.5
PLEASE REFER TO BUSHFIRE ATTACK LEVEL CERTIFICATE
BY S & K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON)

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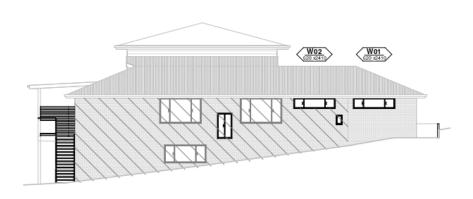
# NORTH FACE GLAZING

SCALE 1:200



# EAST FACE GLAZING

SCALE 1:200



## SOUTH FACE GLAZING

SCALE 1:200

WEST FACE GLAZING

SCALE 1:200

	WINDOW GLAZING SCHEDULE										
NUMBER	LEVEL ROOM HEIGHT WIDTH TYPE CONSTRUCTION						GLAZING				
W01	01 ENTRY FL	GARAGE	620	2410	SLIDING	ALUMINIUM	STANDARD				
W02	01 ENTRY FL	GARAGE	620	2410	SLIDING	ALUMINIUM	STANDARD				
W03	01 ENTRY FL	KITCHEN	1045	1810	SLIDING	ALUMINIUM	STANDARD				
W04	01 ENTRY FL	DINING	620	3010	SLIDING	ALUMINIUM	LOW-E				
W05	01 ENTRY FL	LOUNGE	1810	610	DOUBLE HUNG	ALUMINIUM	STANDARD				
W06	01 ENTRY FL	LOUNGE	1810	610	DOUBLE HUNG	ALUMINIUM	STANDARD				
W07	01 ENTRY FL	LOUNGE	1810	610	DOUBLE HUNG	ALUMINIUM	STANDARD				
W08	02 LWR FL	L'DRY	875	850	SLIDING	ALUMINIUM	STANDARD				
W09	03 UPPR FL	RETREAT	620	2410	SLIDING	ALUMINIUM	STANDARD				
W10	03 UPPR FL	GYM	620	2410	SLIDING	ALUMINIUM	STANDARD				
W11	03 UPPR FL	BED 1	1215	3010	SLIDING	ALUMINIUM	STANDARD				
W12	03 UPPR FL	ENS	1215	1450	SLIDING	ALUMINIUM	STANDARD				
W13	03 UPPR FL	WC	620	850	SLIDING	ALUMINIUM	STANDARD				
W14	03 UPPR FL	WIR	620	610	FIXED	ALUMINIUM	STANDARD				
W15	03 UPPR FL	STUDY	620	1810	SLIDING	ALUMINIUM	STANDARD				
W16	03 UPPR FL	STUDY	620	3010	SLIDING	ALUMINIUM	STANDARD				

DOOR GLAZING SCHEDULE								
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH TYPE		CONSTRUCTION	GLAZING	
D01	01 ENTRY FL	DINING	2112	4189	SLIDING DOOR	ALUMINIUM	STANDARD	

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STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES ALL REMAINDER NEW GLAZGION WINDOWS & DOORS.

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

<u>WINDOW NOTES:</u>
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.6.

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.7. BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.6 (c) & 3.9.2.7 (b)

WINDOWS AND GLAZING TO COMPLY WITH:

AS 4055 · WIND LOADS FOR HOUSING AS 1288 : GLASS IN BUILDING - SELECTION & INSTALLATION

AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING
AS 1170-Part 2: WIND ACTIONS AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE

PRONE AREAS THE STANDARDS REFERRED ABOVE ARE THE VERSION

ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE.

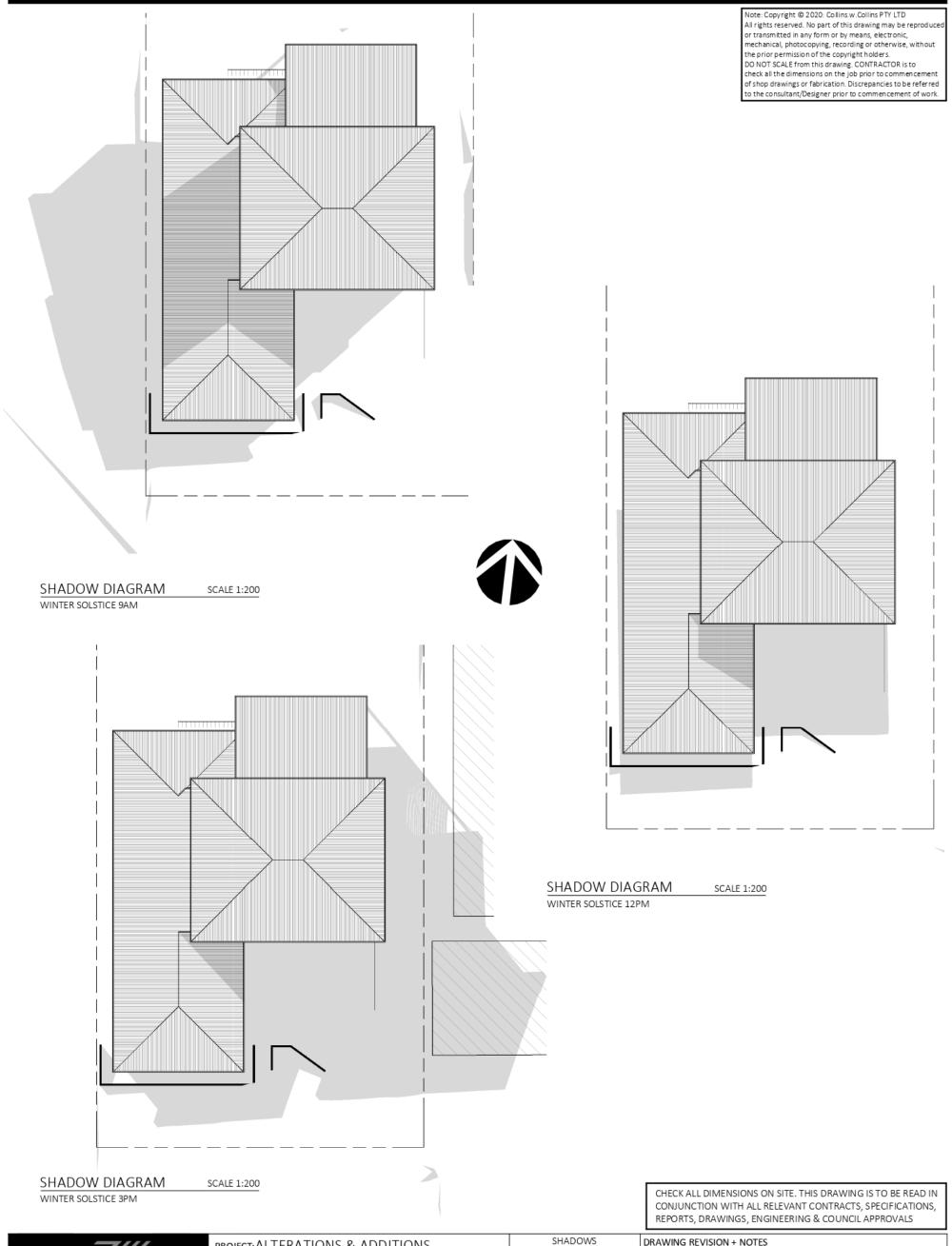
PLEASE REFER TO THE "SUMMARY OF BASIX" ON PAGE 1 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



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PROJECT: ALTERATIONS & ADDIT	GLAZING				
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	18.09.20	PRIVACY SCREEN TO DECK		Т	MS
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PROJECT: ALTERATIONS & ADDITIONS			SHAD	SHADOWS		DRAWING REVISION + NOTES			
	LOT No: 262 DP No: 236277	262 DD N 226277			Date:	Revision Description:	lssue:	Drawn:	
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collins street name: The Summit Road, PORT MACQUARIE			SHEET SIZE:	A3	29.06.20	WINDOWS	K	JC	
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Building Designers	CLIENT: TONKIN	DWG No:	J4309	08.09.20	RIDGE HEIGHT / SHADOWS	S	MS		
89A lord street (PO Box 5667), Port Macquarie nsw 2444   Shop 17 Centrepoint Arcade, Taree NSW 2430			T: 02 6583 4411		F: 02 658	3 9820 WWW. COLLINSWO	COLLINS.	COM.AU	

# THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

**BUILDING SPECIFICATIONS FOR CLASS 1 AND 10 BUILDINGS** 

All works to be completed in accordance with the current version of the National Construction Code Series, including Building Code of Australia (BCA), Volume 2 and the Plumbing Code of Australia (PCA),

All Australian Standards listed are the versions that have been adopted by the relevant version of the National Construction Code Series at the time of Construction Certificate or Complying Development Certificate Application

STRUCTURAL PROVISIONS

Structural Design Manuals - is satisfied by complying with: a) 3.0.3, 3.0.4, 3.0.5 of the BCA; or

b) the relevant provisions of other Parts of Section 3 of the Housing Provisions of the BCA relating to structural elements; or

c) any combination thereof 3.0.5 - Structural Software - Must comply with the Australian Building Codes Board (ABCB) Protocol for Structural Software and Part 3.4.0.2

of the BCA SITE PREPARATION

Earthworks - Earthworks are to be undertaken in accordance with Part 3.1.1 of the BCA.

Earth Retaining structures (ie. retaining walls & batter) to be in accordance with AS4678.

Drainage – Stormwater drainage is to be undertaken in accordance with AS/NZS 3500.3, or, the Acceptable Construction Practice as detailed in Part 3.1.3 of the BCA

Termite Risk Management – Where a primary building element is considered susceptible to termite attack the building shall be protected in accordance with the following: a) AS 3600.1, and

b) A durable notice is permanently fixed to the building in a prominent location, such as in a meter box or the like, including the details listed in Part 3.1.4.4 of the BCA.

c) The Acceptable Construction Practice as detailed in accordance with Part 3.1.4 of the BCA.

FOOTINGS AND SLABS

The footing or slab is to be constructed in accordance with AS 2870, except that for the purposes of Clause 5.3.3.1 of AS 2870, a dampproofing membrane is required to be provided, or, the Acceptable Construction Practice detailed in Part 3.2 of the BCA

Piled footings are to be designed in accordance with AS 2159. MASONRY Unreinforced Masonry- to be designed and constructed in

accordance with:

a) AS 3700 · or

b) AS 4773 Parts 1 and 2 Reinforced Masonry – to be designed and constructed in accordance

a) AS 3700; or

b) AS 4773 parts 1 and 2

Masonry Accessories - to be constructed and installed in accordance with;

a) AS 3700; or

b) AS 4773 Parts 1 and 2

Weatherproofing of Masonry This Part applies to an external wall (including the junction between

the wall and any window or door) of a Class 1 Building. This Part does not apply to any Class 10 building except where its construction contributes to the weatherproofing of the Class 1 building.

The weather proofing of masonry is to be carried out in accordance

a) AS 3700; except as provided for by Part 3.3.2.0 (a), or

b) AS 4773 Part2 1 and 2

FRAMING

Sub-Floor Ventilation – Is to comply with the Acceptable Construction Practice of Part 3.4.1 of the BCA.

Steel Framing – is to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.4.2 of the BCA, or, one of the following manuals:

a) Steel structures: AS 4100.

b) Cold-formed steel structures: AS/NZS4600

c) Residential and low-rise steel framing: NASH Standard.

Timber Framing - is to be designed and constructed in accordance with the following, as appropriate: a) AS 1684.2

b) AS 1684.4.

Structural Steel Members – is to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.4.4 of the BCA, or, one of the following manuals:

a) Steel Structures: AS 4100. b) Cold-formed steel structures: AS/NZS 4600.

ROOF AND WALL CLADDING

Roof Cladding - is to comply with the Acceptable Construction

Practice of Part 3.5.1 of the BCA, or, one of the following: a) Roofing tiles: Part 3.5.1 BCA - AS2050.

b) Metal Roof Cladding: Part 3.5.1 BCA - AS1562.1

c) Plastic sheet roofing: AS/NZS 4256 Parts 1, 2, 3 and 5; and AS/NZS 1562.3.

Gutters and Downpipes – are to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.5.3 of the BCA, or, AS/NZS 3500.3 – Stormwater drainage.

Timber & Composite Wall Cladding – to be designed and constructed in accordance with Acceptable Construction Practice of Part 3.5.4 of

Autoclaved Aerated Concrete to AS5146.1

Metal wall cladding to be designed and constructed in accordance ith AS 1562.1

Glazing – to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.6.1 of the BCA, or, one of the following manuals as applicable under Part 3.6.0 BCA

FIRE SAFETY

Fire Hazard properties of materials to comply with Part 3.7.1 of the BCA Fire Separation of external walls to comply with Part 3.7.2 of the BCA. Fire Separation of separating walls & floors to comply with Part 3.7.3 of the Fire Separation of garage top dwelling to comply with Part NSW 1.1 of the

BCA. Smoke Alarms & Evacuation lighting to comply Part 3.7.5 of the BCA

**BUSHFIRE AREAS** 

Bushfire Areas – This section relates to: a) A Class 1 building; or

b) A Class 10a building or deck associated with a Class 1 building,

If it is constructed in accordance with the following: c) AS 3959, except as amended by planning for bushfire protection and,

except for Section 9 Construction for Bushfire Attack Level FZ (BAL-FZ). Buildings subject to BAL-FZ must comply with specific conditions of

development consent for construction at this level; or d) The requirements of (c) above as modified by the development consent following consultation with the NSW Rural Fire Service undersection 79 BA

of the Environmental Planning and Assessment Act 1979; or e) The requirements of (c) above as modified by the development consent with a bushfire safety authority issued under section 100B of the Rural Fire Act for the purposes of integrated development.

Alpine Areas – to be constructed in accordance with the Acceptable Construction Practice of Part 3.10.4 of the BCA if located in an alpine area

**HEALTH AND AMENITY** Wet Areas and External Waterproofing – building elements in wet areas within a building must:

a) Be waterproof or water resistant in accordance with Table 3.8.1.1 of the

b) Comply with AS 3740

Room Heights – are to be constructed in accordance with the Acceptable

Construction Practice of Part 3.8.2 of the BCA. Facilities - are to be constructed in accordance with Acceptable Practice of Part 3.8.3 of the BCA.

Light – is to be provided in accordance with the Acceptable Construction

Practice of Part 3.8.4 of the BCA. Ventilation - is to be provided in accordance with the Acceptable

Construction Practice of Part 3.8.5 of the BCA Sound Insulation – (only applies to a separating wall between two or more

class 1 buildings) is to be provided in accordance with the Acceptable

Construction Practice of Part 3.8.6 of the BCA. Condensation Management to be provided in accordance with ACP Part

SAFE MOVEMENT AND ACCESS

Stair Construction – to be constructed and installed in accordance with the Acceptable Construction Practice of Part 3.9.1 of the BCA.

Barriers and Handrails - to be constructed and installed in accordance with the Acceptable Construction Practice of Part 3.9.2 of the BCA Protection of openable windows to Part 3.9.2 of the BCA

ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION

REQUIREMENTS

3.10.1 - Swimming Pools

Swimming Pool Access – to be designed and installed in accordance with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and AS

Swimming Pool Water recirculation Systems - is to be designed and constructed in accordance with AS1926.3. High Wind Areas – Applies to a region that is subject to design wind speeds

more than N3 or C1 (see table 1.1.1 of the BCA). To be constructed in accordance with one or more of the relevant manuals of Part 3.10.1 of the

3.10.2 - Earth quake Areas subject to "seismic activity" to be constructed in accordance with Part 3.0 BCA.

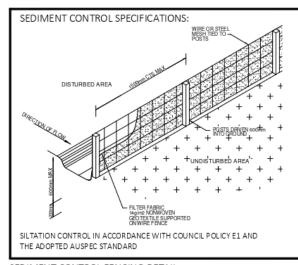
3.10.3 - Flood Hazard Areas - applies to areas on a site (weather or not mapped) encompassing the land lower than the flood hazard level (as defined by the BCA) which has been determined by the appropriate authority (statutory authority), are to be constructed in accordance with the ABCB Standard for Construction of Buildings in Flood Hazard Areas. 3.10.4 - Construction "Alpine Areas" in accordance with Part 3.10.4. 3.10.5 - Construction in Bushfire Prone Areas in accordance with Part

3.10.6 - Attachment of Decks & Balconies to external walls of buildings to be in accordance with the acceptable construction practice of Part 3.10.6 of the BCA, or alternatively be engineer designed in accordance with Part 3.0 of the BCA.

3.10.7 - Boilers, Pressure Vessels, Heating Applicances, Fire Places, Chimneys & Flues to be in accordance with Part 3.10.7 of the BCA.

**ENERGY EFFICIENCY** 

nergy Efficiency – to comply with the measures contained in the relevant BASIX certificate, and the requirements of NSW parts 3.12.1, 3.12.3 &



SEDIMENT CONTROL FENCING DETAIL



PROJECT: ALTERATIONS & ADDITIONS			BUILDING SPECIFICATIONS		DRAWING REVISION + NOTES			
LOTAL 262 PR.H. 20077		-		Date:	Revision Description:	Issue:	Drawn:	
LOT No: 262 DP No: 236277	SHEET:	11 OF 12			19.05.20	CC PLANS	G	MS
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STREET NAME: THE SUMMIT ROAD, PORT MACQUARIE			SHEET SIZE:	A3	12.08.20	CC CL FOLLOWING AMENDMENTS	P	MS
		START DATE:	18.09.2019	08.09.20	RIDGE HEIGHT / SHADOWS	S	MS	
CLIENT: TONKIN			DWG No:	J4309	18.09.20	PRIVACY SCREEN TO DECK	Т	MS
2444   Shop 17 Centrepoint Arcade, Taree NSW	2430		T: 02 6583 4411		F: 02 658	3 9820 WWW. COLLINSWO	OLLINS.	COM.AU

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# 1. FALLS, SLIPS, TRIPS A) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility. DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required. scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or

# B) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be

#### FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be select in accordance with AS HB 197:1999 and AS/NZ 4586:2004

#### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace Building owners and occupiers should monitor the pedestrian access. ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

### 2. FALLING OBJECTS

#### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons belov

- Prevent or restrict access to areas below where the work is being carried out.
- Provide toeboards to scaffolding or work platforms Provide protective structure below the work area.
- Ensure that all persons below the work area have Personal Protective Equipment (PPE).

# **BUILDING COMPONENTS**

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented

# 3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where onsite loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

# GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

# 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit

clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with

#### 6. HAZARDOUS SUBSTANCES

#### **ASBESTOS**

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: as bestos 1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure

#### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise sturbing or creating powdered materia

#### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

#### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against in halation of harmful material should be used when installing, removing or working near bulk insulation material.

### TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's ns for use must be carefully considered at all times

## 7. CONFINED SPACES

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

# SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

#### 9 OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use

# 10.OTHER HIGH RISK ACTIVITY

Code All electrical work should be carried out in accordance with of Practice:

Managing Electrical Risks at the Workplace, AS/NZ and all licensing requirements. 3012 All work using Plant should be carried out in accordance with Code of Practice

Managing Risks of Plant at the Workplace. Code of All work should be carried out in accordance with Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the

history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

#### **EXCAVATIONS** 1.Excavations

The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan.

Top soil shall be cut to a depth sufficient to remove all vegetation. Excavations for all footings shall be in accordance with the ngineer's Recommendations or the BCA requirements.

#### FOUNDATIONS AND FOOTINGS

1. Underfloor Fill Underfloor fill shall be in accordance with the BCA

#### 2. Termite Risk Management Termite treatment shall be carried out in accordance with the BCA

3. Vapour Barrier

The vapour barrier installed under slab-on-ground construction shall be 0.2mm nominal thickness, high impact resistance polyethylene film installed in accordance with the BCA.

#### 4. Reinforcement Reinforcement shall conform and be placed in accordance with the

Engineer's Recommendation and the BCA Support to all reinforcement shall be used to correctly position and

avoid any undue displacement of reinforcement during the concrete pour

#### 5. Concrete

Structural shall not be less than Grade N20 except otherwise approved by the engineer and in accordance with the BCA.

All concrete slabs shall be cured in accordance with AS 3600. 7. Footings and Slabs on Ground

#### Concrete slabs and footings shall not be poured until approval to pour concrete is given by the engineer or the Local Authority.

8. Sub-Floor Ventilation Where required, adequate cross ventilation will be provided to the space under suspended ground floor. Construction is to meet the requirements of the BCA. No section of the under floor area wall to be constructed in such manner that will hold pockets of still air.

If required, access will be provided under suspended floors in position where indicated on plan

### EFFLUENT DISPOSAL/DRAINAGE

1. Storm Water Drzinage

Stormwater drainage shall be carried out in accordance with the BCA. The Builder will allow for the supplying and laying of vater drains where shown on the site plan

#### TIMBER FRAMING

9. Sub-Floor Access

All timber framework sizes, spans, spacing, notching, enecking and fixing to all floor, wall and roof structure shall comply with the BCA or AS 1684. Alternative structural framing shall be to structural engineer's details and certification.

The work shall be carried out in a proper and trades personal like manner and shall be in accordance with recognised and accepted

#### 2. Roof Trusses

Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

#### 3. Bracing

Bracing units shall be determined and installed in accordance with AS 1684 as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building 4. Flooring

Floor joists will be covered with strip or sheet flooring as shown on plan with particular regard to ground clearance and installation in wet areas as required by the BCA. Thickness of the flooring is to be appropriate for the floor joist spacing. Strip and sheet flooring shall be installed in accordance with AS

When listed in Schedule of Works, floors shall be sanded to

provide an even surface and shall be left clean throughout

# Posts supporting the carports, verandas and porches shall be

timber suitable for external use, or as otherwise specified, supported on glavanised or treated metal post shoes, unless otherwise specified. Posts shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for

# 6. Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection

# STEEL FRAMING

Steel floor, wall or roof framing shall be installed in accordance with the manufacturer's recommendations and the BCA ROOFING

## All roof cladding is to comply with the relevant structural performance and weathering requirements of the BCA and be

installed as per the manufacturer's recommendations 1.Tiled Roofing The Builder will cover the roof of the dwelling with approved tiles as selected. The tiles are to be fixed (as required for appropriate

design and wind speed) to battens of sixes appropriate to the spacing of rafters/trusses in accordance with the manufacturer's recommendations. The Builder will cover hips and ridges with capping and all necessary accessories including starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so as to minimise water penetration as far as practicable. As roof tiles are made of natural products slight variation in colour is acceptable. 2. Metal Roofing

#### The Builder will provide and install a metal roof together with accessories all in accordance with the manufacturer's

Except where design prohibits, sheets shall be in single lengths

from fascia to ridge. Fixing sheets shall be strictly in accordance with the manufacturer's recommendation as required for the appropriate design and wind speed. In compatible materials shall not be used for flashings, fasteners or downpipes 3. Gutters and Downpipes

# Gutters and downpipes shall be manufactured and installed in

accordance with the BCA. Gutters and downpipes are to be compatible with other materials used

Sarking under roof coverings must comply with and be fixed in ccordance with manufacturer's recommendations

#### 5. Sealants Appropriate sealants shall be used where necessary and in accordance with manufacturer's recommendations.

6. Flashing Flashings shall comply with, and be installed in accordance with the

#### 1. Damp Proof Courses

All damp proof courses shall comply with the BCA and Clause 1.0.10. The damp proof membrane shall be visible in the external face of the masonry member in which it is placed and shall not be bridged by any applied coatings, render or the like

#### 2. Cavity Ventilation

Open vertical joints (weepholes) must be created in the course immediately above any DPC or flashing at centres not exceeding 1.2m and must be in accordance with the BCA.

#### 3. Mortar and Joining

Mortar shall comply with the BCA. Joint tolerances shall be in

#### accordance with AS 3700.

Lintels used to support brickwork opening in walls must be suitable for the purpose as required by the BCA. The Builder will provide one lintel to each wall leaf. The Builder will provide corrosion protection in accordance with the BCA Part 3.4.4 as appropriate for the site environment and location of the lintels in the structure

#### 5. Cleaning

4. Lintels

The Builder will clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or

1. External Cladding

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

Where required in open verandas, porches and eave soffits, materials indicated on the plans shall be installed.

#### 2.Internal Wall and Ceilings Linings

The Builder will provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets are to have recessed edges and will be a minimum of 10mm thick. Internal angles in walls from floor to ceiling are to be set. Suitable cornice noulds shall be fixed at the junction of all walls and ceilings or the joint set as required. The lining of wet area and walls shall be constructed in accordance with the BCA. Wet area lining is to be fixed in accordance with the manufacturer's recomm The ceiling access hole shall be of similar material to the adjacent

#### 3. Waterproofing

All internal wet area and balconies over internal habitable rooms are to be waterproof in accordance with the BCA.

#### JOINERY

1. General All joinery work (metal and timber) shall be manufactured and

#### installed according to accepted building practices. 2. Door Frames

rebated 12mm deep to receive doors. Internal jamb linings shall be a minimum of 18mm thick fit with 12mm thick door stops. Metal

doorframes shall be installed where indicated on drawings in

#### accordance with the manufacturer's recommendations 3. Doors and Doorsets

All internal and external timber door and door sets shall be installed in accordance with accepted building practices. Unless listed otherwise in the Schedule of Works, doors and door sets shall be manufactured in accordance with AS 2688 and AS 2689.

### 4. Window and Sliding Doors

Sliding and other timber windows and doors shall be manufactured and installed in accordance with AS 2047.

Sliding and other aluminium windows and the doors shall be installed in accordance with manufacturer's recommendations and AS 2047.

All glazing shall comply with the BCA and any commitments outlined in the relevant BASIX Certificate

#### 5. Stairs, Balustrades and other Barriers The Builder will provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and

balconies as per the BCA. SERVICES

supply authority and AS 3500. The work is to be carried out by a Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's recommendations. Fittings, hot water system and any rainwater harvesting facilities shall be appropriate

All plumbing shall comply with the requirements of the relevant

# to satisfy any commitment outlined in the relevant BASIX

1.Plumbing

2.Electrical The Builder will provide all labour and materials necessary for the proper installation of the electricity service by a licensed electrician in accordance with AS/NZS 3000 and the requirements of the relevant supply authority. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority. 4.Smoke Detectors

The Builder will provide and install smoke alarms manufactured in

#### accordance with AS 3786 AS specified or as indicated on the plans and in accordance with the BCA 5.Thermal Insulation

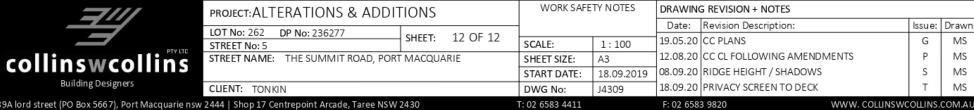
Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the BCA or as outlined in the

# TILING

Cement mortar and other adhesives shall comply with AS 3958.1 or tile manufacturer's recommendation.

# 2.Installation

Installation of tiles shall be in accordance with AS 3958.1. manufacturer's recommendations or accepted building practices Where practicable, spacing between tiles should be even and regular. The Builder will provide expansion joints where necessary. All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions to be filled with flexible mould resistant sealant. All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice. As tiles are made of natural products a slight variation in colour is



Item: 06

Subject: DA2020 - 713.1 DWELLING AND SWIMMING POOL AT LOT 33 DP

31187, NO. 58 WATONGA STREET, PORT MACQUARIE

Report Author: Development Assessment Planner, Benjamin Roberts

Applicant: Craig Teasdell Architect
Owner: Reiter Nominees Pty Ltd

Estimated Cost: \$1,750,000 Parcel no: 24859

### **Alignment with Delivery Program**

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

### **RECOMMENDATION**

That DA 2020 - 713.1 for a dwelling and swimming pool at Lot 33, DP 31187, No. 58 Watonga Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.

### **Executive Summary**

This report considers a development application for a dwelling and swimming pool at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, four (4) submissions were received.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the conditions in **Attachment 1**.

#### 1. BACKGROUND

### **Existing Sites Features and Surrounding Development**

The site is vacant and has an area of 569.1m<sup>2</sup>. The site falls toward Watonga Street in two distinct sections. The first 7 metres within the boundary is quite significant at approximately 30 degrees. Beyond this point, the slope is approximately 10 degrees extending to the rear boundary.



The site is zoned R1 General Residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:



# 2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:



#### **AGENDA**

# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

Construction of a new dwelling house and swimming pool

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

### **Application Chronology**

- 1 September 2020 Application lodged.
- 9 to 22 September 2020 Public exhibition via neighbour notification.
- 23 September 2020 Additional information request.
- 1 October 2020 Additional information response.
- 7 October 2020 Views inspected from at 1A Bourne Street.
- 9 October 2020 Views inspected from 1B Bourne Street.
- 12 October 2020 Views inspected from 2/3 Bourne Street.
- 16 October 2020 Views inspected with applicant at 2/3 Bourne Street.
- 16 October 2020 Views inspected from 56 Watonga Street.
- 16 October 2020 Additional information request to applicant.
- 26 October 2020 Additional information response and revised plans (change to roof window structure).

#### 3. STATUTORY ASSESSMENT

### **Section 4.15(1) Matters for Consideration**

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

### State Environmental Planning Policy (Koala Habitat Protection) 2019

Clause 5 - This SEPP applies to the Port Macquarie-Hastings Local Government Area.

Clause 10 - The site is not under a Koala Plan of Management and the land has an area less than 1 hectare including adjoining land in the same ownership. The SEPP does not prevent the granting of consent on the land being less than 1 hectare in area. The application has demonstrated that no habitat will be removed or modified therefore no further investigations are required.

### State Environmental Planning Policy No. 55 - Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

#### State Environmental Planning Policy (Coastal Management) 2018

The site is located within a coastal use and coastal environment area.

In accordance with clause 7, this SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.



#### **AGENDA**

# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

Having regard to clauses 13 and 14 of the SEPP the proposed development is not considered likely to result in any of the following:

- a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;
- b) any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on Aboriginal cultural heritage, practices and places;
- e) any adverse impacts on the cultural and built environment heritage;
- f) any adverse impacts the use of the surf zone;
- g) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands:
- h) overshadowing, wind funnelling and the loss of views from public places to foreshores; and
- any adverse impacts on existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability.

In accordance with Clause 15 the proposal is not likely to cause increased risk of coastal hazards on that land or other land.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is predominately cleared and located within an area zoned for residential purposes.

# State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

### **State Environmental Planning Policy (Infrastructure) 2007**

Clause 45 - Development in proximity to electricity infrastructure - referral to Essential Energy required for any of the following:

- (a) the penetration of ground within 2m of an underground electricity power line or an electricity distribution pole or within 10m of any part of an electricity tower,
- (b) development carried out:
  - (i) within or immediately adjacent to an easement for electricity purposes (whether or not the electricity infrastructure exists), or
  - (ii) immediately adjacent to an electricity substation, or
  - (iii) within 5m of an exposed overhead electricity power line,
- (c) installation of a swimming pool any part of which is:
  - (i) within 30m of a structure supporting an overhead electricity transmission line, measured horizontally from the top of the pool to the bottom of the structure at ground level, or
  - (ii) within 5m of an overhead electricity power line, measured vertically upwards from the top of the pool



Site inspection revealed exposed overhead power lines running along the western edge of Watonga Street. The ground floor terrace is setback some 5.8m from the front boundary and be well over 5m from the overhead lines. No referral to Essential Energy triggered.

## Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 The subject site is zoned R1 General Residential. In accordance with clause 2.3(1) and the R1 zone landuse table, the dwelling and ancillary swimming pool are a permissible landuse with consent.
- Clause 2.3(2) The objectives of the R1 zone are as follows:
  - o To provide for the housing needs of the community.
  - o To provide for a variety of housing types and densities.
  - To enable other land uses that provide facilities or services to meet the day to day needs of residents.
  - The proposal is consistent with the zone objectives as it is a permissible landuse and consistent with the established residential locality. The proposal contributes to the range of housing options in the locality.
- Clause 4.3 The proposed maximum overall height of the building above ground level is 8.5m and complies with the standard height limit of 8.5m applying to the site.
- Clause 4.4 The floor space ratio of the proposal is 0.72:1 and complies with the maximum 1:1 floor space ratio applying to the site.
- Clause 5.10 The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.13 Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.
- (ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply.

### (iii) Any Development Control Plan in force

### Port Macquarie-Hastings Development Control Plan 2013

DCP 2013: Part C - Development Specific Provisions - C1: Low Density Residential Development				
DCP Objective	Development Provisions	Proposed	Complies	
Front Setbacks				
44	a) Dwellings may incorporate an articulation zone to a street frontage at no less than 3m from property boundary. The following building elements are permitted	No building elements proposed within the articulation zone.	N/A	



	within the articulation		
	zone.		
	c) The primary road front setback shall be: Primary frontage = 4.5m	Front building line setback to Watonga Street varies but closest point is 5.8m.	Yes
45	a) A garage, carport or car parking space should:  - be at least 1m behind the building line, where the dwelling(s) has a setback from a front boundary of 4.5m or more, or be at least 5.5m from a front boundary, where the dwelling(s)	The garage is less than 1m behind the building.  The garage setback varies but is setback greater than 5.5m. Garage door is recessed.	No*
	has a setback of less than 4.5m. b) The total width of the garage/carport openings should not be more than 6m and not more than 50 per cent of the width of the building.	Width of garage door is compliant with the maximum width requirements	Yes
	c) Driveway crossovers are no greater than 5.0m in width.	Driveway crossing width is compliant with the maximum width requirements	Yes
	d) Where a dual occupancy or attached dwelling is proposed on a corner lot a garage and driveway is provided on each road frontage.	No dual occupancy proposed or a corner lot.	N/A
Side and F	Rear Setbacks		
46	a) A minimum rear boundary setback of 4m is to be provided to dwellings (including verandahs, patios and decks).	The rear setback varies from 3m to 5.48m.	No*
	b) A minimum rear boundary setback of 900mm applies to sheds and swimming pools subject to achieving minimum required private open space area.	No ancillary development proposed in rear yard.	N/A
	c) Council may consider varying rear setback requirements where it is demonstrated that the private open space could	N/A	N/A



achieve better solar access between the building and the side setback. In that instance, one side setback should be a minimum 4m in width (for an equivalent length of rear boundary, behind building line) and the rear setback may be reduced to 900mm.		
<1m above existing ground level) should be setback a minimum of 900mm from side boundaries.	Ground floor north side setback is varying with 1.215m minimum. Ground floor south side 3m setback.	Yes
(including single storey with floor level >1m) should be setback a minimum of 3m from the side boundary, or reduced down to 900mm where it can be demonstrated that the adjoining property's primary living rooms and principal private open space areas are not adversely overshadowed for more than 3hrs between 9am - 3pm on 21 June.	First floor north side setback is varying with 1.2m minimum. First floor south side is varying with 2.49m minimum. The section of wall setback 2.49m is for a length of 4.5m. The reminder of the southern side setback is 3m or more.	Yes. Refer to overshadowing assessment and analysis section of this report.
c) First floors and above should have building walls that step in and out at least every 12m by a minimum of 500mm articulation. Where first floors and above are setback >3m, wall articulation is not required.	Section of south facing wall to sitting, dining and living rooms is approximately 13m in length. Is setback 3.05m.	Yes
<ul> <li>a) All dwellings should have a minimum area of private open space of 35m2, which includes a principal private open space area with:</li> <li>a minimum dimension of 4m x 4m, and</li> <li>a maximum grade of</li> </ul>	The dwelling contains 35m² open space in one area including a useable 4m x 4m space.	Yes
	access between the building and the side setback. In that instance, one side setback should be a minimum 4m in width (for an equivalent length of rear boundary, behind building line) and the rear setback may be reduced to 900mm.  a) Ground floors (being <1m above existing ground level) should be setback a minimum of 900mm from side boundaries. b) First floors and above (including single storey with floor level >1m) should be setback a minimum of 3m from the side boundary, or reduced down to 900mm where it can be demonstrated that the adjoining property's primary living rooms and principal private open space areas are not adversely overshadowed for more than 3hrs between 9am - 3pm on 21 June. c) First floors and above should have building walls that step in and out at least every 12m by a minimum of 500mm articulation. Where first floors and above are setback >3m, wall articulation is not required.  be space  a) All dwellings should have a minimum area of private open space of 35m2, which includes a principal private open space area with:  a minimum dimension of 4m x 4m, and	access between the building and the side setback. In that instance, one side setback should be a minimum 4m in width (for an equivalent length of rear boundary, behind building line) and the rear setback may be reduced to 900mm.  a) Ground floors (being <1m above existing ground level) should be setback a minimum of 900mm from side boundaries. b) First floors and above (including single storey with floor level >1m) should be setback a minimum of 3m from the side boundary, or reduced down to 900mm where it can be demonstrated that the adjoining property's primary living rooms and principal private open space areas are not adversely overshadowed for more than 3hrs between 9am - 3pm on 21 June. c) First floors and above should have building walls that step in and out at least every 12m by a minimum of 500mm articulation. Where first floors and above are setback >3m, wall articulation is not required.  en Space  a) All dwellings should have a minimum area of private open space of 35m2, which includes a principal private open space area with:  a minimum dimension of 4m x 4m, and  a maximum grade of



	T		
	4m of the total open space requirement,		
	and		
	<ul> <li>direct accessibility</li> </ul>		
	from a ground floor		
	living area and orientated to maximise		
	use.		
	b) Private open space may	Noted.	Yes
	include clothes drying	1101001	. 55
	areas and garbage		
	storage.		
Public Dor	main and Fencing		
49	a) Front fences built	Front masonry wall	Yes
	forward of the building line	detailed on plans.	163
	for the primary road	a diamon on plane.	
	frontage should be		
	detailed on the		
	development application plans.		
	b) Solid Front fences up to	2m high masonry wall	N/A
	1.2m high should be:	proposed.	IN/A
	Setback 1.0m from the	p. op 000 a.	
	front boundary, and		
	<ul> <li>Suitably landscaped to</li> </ul>		
	reduce visual impact,		
	and		
	Provide a 3m x 3m     Provide a 3m x 3m     Provide a 3m x 3m		
	splay for corner sites. b) Front fences proposed	2m high masonry wall	No*
	to be more than 1.2m high	proposed setback 3.1m	140
	should be a maximum of	from front boundary.	
	1.8m in height, above	, and the second	
	existing front property		
	boundary level, and either:		
	<ul> <li>Include landscaped</li> </ul>		
	recesses having minimum dimensions		
	of 1.8m long x 900mm		
	deep which occupy no		
	less than 50% of the		
	total length of the		
	fence, or		
	be erected up to the		
	front boundary for a		
	maximum length of 6.0m or 50% of the		
	street frontage.		
	c) have openings which	No openings proposed.	No*
	make it not less than 25%	3-1-3-3-3-	
	transparent (no individual		
	opening more than 30mm		
	wide);		



# **AGENDA**

	d) provide a 3m x 3m	Not a corner site.	N/A
	e) provide a 900mm x 900mm splay for vehicle driveway entrances.	No site line issues identified for driveway entrance.	Yes
Bulk and Scale			
51	a) Direct views between indoor living rooms and principal private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots, including possible dwellings on future lots, should be obscured or screened where:  - Ground and first floor (and above) indoor living room windows are within a 9m radius.  - Direct views between principal private open space areas where within a 12m radius.  - Direct views between indoor living rooms of dwellings into the principal area of private open space of other dwellings within a 12m radius.	Windows placements have been carefully considered and where appropriate highlight windows nominated. i.e. north facing windows on the first floor are highlight windows.  Elevated north facing ground floor windows at the front of the block serve a bedroom and ensuite only.  South facing windows on the first floor serving the living, dining, sitting rooms are setback 3.05m. No screening of these windows is proposed. However due to the elevation and eastern view aspect no direct views are identified to the primary living and open spaces located on the first floor and front aspect front of 60 Watonga Street.  No windows are proposed in the first floor west facing wall of the study.  No windows are proposed on the ground floor western elevation of the gym.  Elevated south facing windows on the ground floor are to bedrooms and ensuites only.	Yes



b) A balcony, deck, patio,	The ground floor terrace and sitting room are setback 3.05m and 5.9m respectively. The lap pool and its fencing is setback 1m from the southern side boundary. The restricted width along the southern and eastern edges of the pool limit any ability for pedestrian use of the poolside. A 6m length of obscured glazed pool fencing is proposed at ground level along the southern boundary to protect privacy to the adjoining front balcony of 60 Watonga Street from these areas.	Yes
pergola, terrace or verandah should have a privacy screen where there are direct views of:  - Indoor living room windows of adjacent dwellings, including proposed dwellings approved on adjoining lots within 9m radius; or  - Principal areas of private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots within a 12m radius.	balcony is setback 1.9m from the northern boundary. The northern elevation of the balcony is provided with a hard wall treatment. An opening in this wall 1.5m from floor level is proposed above the BBQ area. However, given the elevation difference, view angle out the opening and fixed BBQ bench against the opening there is no direct view available into any adjoining primary living or open space areas of 56 Watonga Street.  The first floor front balcony is setback 5.985m from the southern boundary. It is provided with a solid lower portion balustrade to maintain privacy to the adjoining front balcony of 60 Watonga Street.	



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c) Privacy protection is not required for:	A rear balcony off the master bedroom on the first floor is setback 3.05m to the southern boundary. This balcony is also setback a minimum of 4.2m that extends to 5.48m from the rear boundary. The western elevation of this balcony is provided with privacy louvres to maintain privacy between adjoining residences in Bourne Street. There is no direct view to the primary living and outdoor areas of 60 Watonga Street from this balcony and no screening is proposed along its southern elevation.  Noted refer to above comments.	Yes
<ul> <li>Any Indoor living room windows with a sill height of greater than 1.5m above the finished floor level of that room or where fixed non-openable translucent glass is installed to the same height.</li> <li>d) Direct views described</li> </ul>	Screening and other	Yes
above may be reduced or obscured by one of the following measures (details to be submitted with the development application):  - 1.8m high fence or wall between groundfloor level windows or between a dwelling and principal private open space  - Screening of minimum 1.7m height, that has 25% openings (max), with no individual	privacy treatment measures are proposed where necessary.	



opening more than 30mm wide, is permanently fixed and is made of durable materials.  - A window, the whole of which has translucent glass and is not able to be opened.	
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DCP 2013:	DCP 2013: Part B - General Provisions - B2: Environmental Management			
DCP Objective	Development Provisions	Proposed	Complies	
3	a) Development must comply with Council's Developments, Public Place & Events - Waste Minimisation and Management Policy.	Satisfactory arrangements can be put in place for storage and collection of waste. Standard condition recommended for construction waste management.	Yes	
Cut and Fi	II Regrading			
4	a) Development shall not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building (This does not apply to buildings where such cut and fill is fully retained within or by the external walls of the building).	Cut and fill >1m is proposed outside the perimeter of the external building walls.	No*	
5	a) A certified practicing structural engineer must certify any retaining wall greater than 1.0m.	Noted. Suitable condition recommended.	Yes	
	<ul> <li>b) Where a combination of a fence and a wall is proposed to be greater than 1.2m high: <ul> <li>be a maximum combined height of 1.8m above existing property boundary level;</li> <li>be constructed up to the front boundary for a maximum length of 6.0m or 30% of the street frontage, whichever is less;</li> <li>the fence component has openings which make it</li> </ul> </li> </ul>	No retaining wall and front fence combination is proposed. Refer to front fencing comments surrounding masonry wall.	N/A	



not less than 25%	
transparent; and	
<ul> <li>provide a 3m x 3m splay</li> </ul>	
for corner sites, and	
<ul> <li>provide a 900mm x</li> </ul>	
900mm splay for vehicle	
driveway entrances.	

	DCP 2013: Part B - General Provision - B3: Hazards Management  Bushfire Hazard Management			
18	a) APZs are to be located outside of environmental protection zones and wholly provided within private land. Note perimeter roads provided as part of a residential subdivision are classified as being part of the subdivision and not a separate permissible land use within environment protection zones.	APZ within property.	Yes	
Flooding				
19	a) Development must comply with     Council's Floodplain Management Plan     and Flood Policies.	Not flood prone land.	N/A	

	DCP 2013: Part B- General Provisions- B4: Transport, Traffic Management, Access and Car Parking			
DCP Objective	Development Provisions	Proposed	Complies	
Road Hiera	archy			
Parking Pr	ovision			
24	<ul><li>a) Off-street Parking is provided in accordance with Table 3:</li><li>1 parking space per each dwelling for dwelling-house.</li></ul>	Capacity for more than 1 parking space behind the building line has been provided for.	Yes	
Parking La	ayout			
28	c) Parking spaces shall generally be behind the building line but may be located between the building line and the street when:  - it is stacked parking in the driveway; or  - it can be demonstrated that improvements to the open space provided will result; and  - the spaces are screened (densely landscaped or similar) from the street by	Proposed behind the building line.	Yes	



	a landscaping with a minimum width of 3.0m for the entire length of the parking area.		
	d) Parking design and layout is provided in accordance with AS/NZS 2890.1 - Parking facilities - Off-street car parking.	Parking design and layout appropriate.	Yes
34	a) All parking and manoeuvring spaces must be designed to avoid concentrations of water runoff on the surface.	Single dwelling only with 1 domestic driveway. Stormwater drainage is capable of being managed as part of plumbing construction.	Yes
	b) Council will not permit the discharge of stormwater directly into kerbing and guttering or table drains for any development other than that of a minor nature.	Single dwelling only with 1 domestic driveway. Stormwater drainage is capable of being managed as part of plumbing construction.	Yes

DCP 2013: Part B - General Provisions - B5: Social Impact Assessment and Crime Prevention					
DCP Objective	Development Provisions	Proposed	Complies		
Crime Prevention					
43	<ul> <li>a) The development addresses the generic principles of crime prevention:</li> <li>Casual surveillance and sightlines;</li> <li>Land use mix and activity generators;</li> <li>Definition of use and ownership;</li> <li>Basic exterior building design;</li> <li>Lighting;</li> <li>Way-finding; and</li> <li>Predictable routes and entrapment locations;</li> <li>as described in the Crime Prevention Through Environmental Design (CPTED) principles.</li> </ul>	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes		

The proposal seeks to vary Development Provision 45 relating to the garage being at least 1m behind the building. The garage is proposed at an angle to the front



#### **AGENDA**

# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

boundary. Its distance behind the building line varies from approximately 300mm in the southern part of the garage door to over 1m toward the northern extent.

The relevant objectives are:

- To minimise the impact of garages and driveways on the streetscape, on street parking and amenity.
- To minimise the visual dominance of garages in the streetscape.
- To provide safe and functional vehicular access.

*Comments*: Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The variation is minor and largely compliant. The minor variation is due to the angle provided in the building design and garage door.
- The angle in the garage door combined with the feature window and balustrade façade treatments to the east facing wall of the garage and above the garage door minimise any dominance upon the streetscape.
- The landscaping and retaining wall treatments will be the dominant features of the immediate streetscape. These features will compliment the streetscape and will almost eliminate any view of the garage from street level.
- A safe and functional vehicular access is still achieved.

The proposal seeks to vary Development Provision 46 relating to a minimum rear setback requirement of 4m. The rear setback proposed varies from 3m to 5.48m.

The relevant objectives are:

- To ensure no adverse overshadowing or privacy impacts to neighbouring properties.
- To allow adequate natural light and ventilation between dwellings/buildings and to private open space areas.
- To provide useable yard areas and open space

Comments: Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The variation is minor and largely compliant. The minor variation is due to the angle in the allotment boundary.
- No adverse overshadowing or privacy impacts will result. Appropriate privacy screening and landscape plantings are proposed.
- Adequate natural light and ventilation between dwellings and to private open space areas will be achieved.
- Useable yard and open space areas are provided.

The proposal seeks to vary Development Provision 49 which provides that front fencing more than 1.2m in height be a maximum of 1.8m in height and either:

- Include landscaped recesses having minimum dimensions of 1.8m long x 900mm deep which occupy no less than 50% of the total length of the fence, or
- Be erected up to the front boundary for a maximum length of 6.0m or 50% of the street frontage.
- Have openings which make it not less than 25% transparent (no individual opening more than 30mm wide)

The proposal incorporates a 2m high masonry wall setback 3.1m from the front boundary.

The relevant objectives are:



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- To define the edge between public and private land and to provide privacy and security.
- To ensure the adequate sight lines are provided for vehicles leaving the site.
- To ensure front fencing does not impact on the public domain.
- To encourage surveillance of the street and other public places.

*Comments*: Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The masonry wall helps to define the interface between public and private land and provides for privacy and security to the dwelling.
- The wall is setback 3.1m from the boundary and adequate sight lines are provided from the driveway.
- A garden bed is provided immediately in front of the wall to provide for plantings that will soften its appearance and not impact upon the public domain.
- The elevated nature of the site and dwelling provides for sufficient casual surveillance of the street and public domain.

The proposal seeks to vary Development Provision 4 which provides that development shall not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building (This does not apply to buildings where such cut and fill is fully retained within or by the external walls of the building). The proposal incorporates cut and fill over 1m outside the external walls of the building primarily in the front portion of the site. Retaining is also proposed up to 1.1m in height in the rear portion of the site.

The relevant objectives are:

- Minimise the extent of site disturbance caused by excessive cut and fill to the site.
- Ensure there is no damage or instability to adjoining properties caused by excavation or filling.
- Ensure that there is no adverse alteration to the drainage of adjoining properties.
- Ensure the privacy of adjoining dwellings and private open space are protected.
- Ensure that adequate stormwater drainage is provided around the perimeter of buildings and that overflow paths are provided.

*Comments*: Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The extent of cut and retaining proposed s due to the steep drop in grade along the front of the site.
- Stormwater is capable of being managed.
- Privacy of adjoining dwellings is not compromised as a result of the cut and fill.
- Potential damage or instability to adjoining properties can be appropriately managed. It is a prescribed condition of any development consent.

Based on the above assessment, the variations proposed to the provisions of the DCP are considered acceptable and the relevant objectives have been satisfied. Cumulatively, the variations do not amount to an adverse impact of any significance that would justify refusal of the application.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4



No planning agreement has been offered or entered into relating to the site.

### (iv) Any matters prescribed by the Regulations

No matters prescribed by the regulations apply.

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

### Context and setting

The proposed development satisfactorily addresses the public domain.

The proposal is considered to be compatible with other residential development in the locality and adequately addresses planning controls for the area.

## **View Sharing**

The notion of view sharing is invoked when a property enjoys existing views and a proposed development would share that view by taking some of it away for its own enjoyment. (Taking it all away cannot be called view sharing, although it may, in some circumstances, be quite reasonable.)

The judgement in Tenacity Consulting v Waringah 2004 NSW LEC 140 is an established 'planning principle' which provides an assessment methodology as to what constitutes view sharing and what constitutes reasonable view sharing. To that end, Commissioner Roseth SC developed a four step assessment process to assess the impacts of views. The four steps are as follows:

#### Step 1

Assessment of views to be affected. Water views are valued more highly than land views. Iconic views (e.g. of the Opera House, the Harbour Bridge or North Head) are valued more highly than views without icons. Whole views are valued more highly than partial views, e.g. a water view in which the interface between land and water is visible is more valuable than one in which it is obscured.

### Step 2

Consider from what part of the property the views are obtained. For example, the protection of views across side boundaries is more difficult than the protection of views from front and rear boundaries. In addition, whether the view is enjoyed from a standing or sitting position may also be relevant. Sitting views are more difficult to protect than standing views. The expectation to retain side views and sitting views is often unrealistic.

### Step 3

Assess the extent of the impact. This should be done for the whole of the property, not just for the view that is affected. The impact on views from living areas is more significant than from bedrooms or service areas (though views from kitchens are highly valued because people spend so much time in them). The impact may be assessed quantitatively, but in many cases this can be meaningless. For example, it is unhelpful to say that the view loss is 20% if it includes one of the sails of the Opera House. It is usually more useful to assess the view loss qualitatively as negligible, minor, moderate, severe or devastating.

### Step 4



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Assess the reasonableness of the proposal that is causing the impact. A development that complies with all planning controls would be considered more reasonable than one that breaches them. Where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable. With a complying proposal, the question should be asked whether a more skilful design could provide the applicant with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of a complying development would probably be considered acceptable and the view sharing reasonable.

Analysis of view impacts at four residences was undertaken to establish whether the view sharing is acceptable. The four residences being 56 Watonga Street, 1A Bourne Street, 1B Bourne Street and 2/3 Bourne Street. For the purposes of this assessment, the following was undertaken:

- Establishment of height poles by proponent to indicate proposed maximum building height.
- Certification of the height poles by a registered surveyor.
- Site inspections, observations and photographs from all four residences.

See aerial photo below showing location of adjoining residences for context:



### 56 Watonga Street

This site contains an existing two-storey dwelling that fronts Watonga Street. The site immediately adjoins the development site to the north.

Step 1 - The dwelling enjoys extensive panoramic ocean and land interface views extending to the northeast, east and southeast. The elevated nature of the site provides uninterrupted highly valuable headland, lighthouse and ocean views.



Step 2 - The orientation of the block and dwelling results in the views primarily being enjoyed across the front boundary. These views are from the secondary storey living room and balcony. There is also an ocean and land interface view enjoyed from the living room window across the side boundary to the southeast. Views are enjoyed from both standing and sitting positions.

Step 3 - Sitting and standing views of the ocean, headland and lighthouse across the front boundary from the living room and balcony will not be impacted by the proposal. The standing and sitting view across the side boundary to the south of the ocean and land interface from the living room window and to some extent the southern aspect of the front balcony will be impacted. However, a view corridor will still exist from the southern aspect of the front balcony and living room window past the front of the new dwelling. The view loss can be described as minor.

Site photos are provided below showing the location of the front balcony and south facing living room window and southerly view enjoyed:



Southern aspect of front balcony and living room window.





View from south facing living room window.



View from south facing aspect of front balcony.

Step 4 - The proposal is compliant with the applicable building height and floor space controls. While there are minor variations to the rear and south side setback



standards of the development control plan these variations do not impact on the extent of view loss from this property. The proposed front setback exceeds the 4.5m minimum which aids in the retention of some view corridor across the southern side boundary.

## 1A Bourne Street

This site contains a two-storey dwelling that fronts Bourne Street. The site partly adjoins the development site to the west.

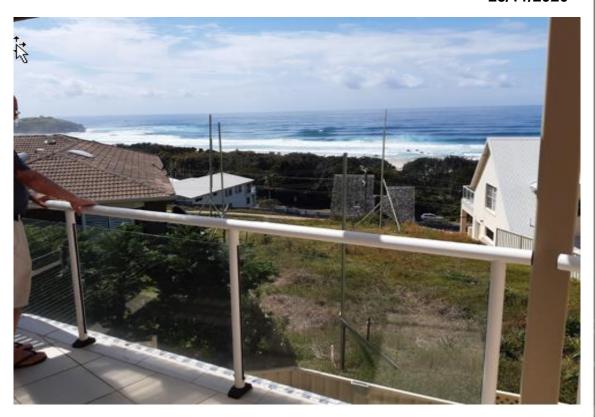
Step 1 - At ground level the dwelling enjoys ocean and land interface views across the development site. See site photo below for context:



View from rear ground floor patio looking east across the development site.

The elevated nature of the first floor provides uninterrupted highly valuable headland, lighthouse and ocean views to the north, east and south. The view is across the development site and above the roofline of existing dwellings. Refer to site photo below context:





View from first floor balcony off master bedroom.

Step 2 - The orientation of the block and dwelling results in the views primarily being enjoyed across the rear boundary. The primary views are from the secondary storey balcony off the master bedroom and the ground balcony off the living area. Views are enjoyed from both standing and sitting positions. There is also views enjoyed from first floor north east facing windows to a study and lounge area. See photo below for context:





North and east facing first floor windows of study and lounge area.

Step 3 - Sitting and standing views of the ocean and land interface across the development site at ground level will be lost almost completely. A small view corridor will be retained along the northern boundary between the new dwelling and No 56 Watonga Street. The standing and sitting views from the first floor balcony northeast of the headland, lighthouse and ocean interface are not impacted as they are enjoyed across the roofline of No 56 Watonga Street. The same applies to the first floor north and east facing windows to the study and lounge area. The sitting and standing view of the ocean and its land interface immediately east across the development site will be lost from the first floor balcony. Sitting and standing views of the ocean and land interface north and south will be retained either side of the new dwelling from the first floor balcony. The view loss can be described as moderate.

Step 4 - The proposal is compliant with the applicable building height and floor space controls. While there are minor variations to the rear and south side setback standards of the development control plan, these variations do not impact on the extent of view loss from this property.

## 1B Bourne

This site contains a two-storey dwelling that fronts Bourne Street. The site partly adjoins the development site to the west.

Step 1 - At ground level the dwelling enjoys ocean, headland and land interface views east across the development site. Standing in the southern corner of the rear yard the lighthouse is visible alongside the roofline of No 36 Watonga Street. See site photos below for context:





View from rear ground floor patio looking east across the development site.



View from southern corner of ground floor rear yard looking north. Lighthouse adjoining roofline of No 36 Watonga Street.

The elevated nature of the first floor provides uninterrupted highly valuable headland, lighthouse and ocean views to the north, east and south. The view is across the



development site and above the roofline of existing dwellings. Refer to site photo below context:



View from first floor balcony off master bedroom.

Step 2 - The orientation of the block and dwelling results in the views primarily being enjoyed across the rear boundary. The primary views are from the secondary storey balcony off the master bedroom and the ground balcony off the living area. Views are enjoyed from both standing and sitting positions.

Step 3 - Sitting and standing views of the ocean and land interface across the development site at ground level will be lost almost completely. A small view corridor will be retained along the southern boundary between the new dwelling and No 54 Watonga Street. The standing and sitting views from the first floor balcony northeast of the headland, lighthouse and ocean interface are not impacted as they are enjoyed across the roofline of No 56 Watonga Street and will remain over the roofline of the proposed dwelling. The sitting and standing view of the ocean and its land interface immediately east across the development site will be lost from the first floor balcony. Sitting and standing views of the ocean and land interface north and south will be retained either side of the new dwelling from the first floor balcony. The view loss can be described as moderate.

Step 4 - The proposal is compliant with the applicable building height and floor space controls. While there are minor variations to the rear and south side setback standards of the development control plan, these variations do not significantly impact on the extent of view loss from this property. Notably the section of south facing wall setback 2.49m (as opposed to 3m) for a length of 4.6m.

# 2/3 Bourne Street

This site contains a first floor unit that fronts Bourne Street. The site does not share a boundary with the development site.



Step 1 - The first floor unit enjoys ocean, headland, lighthouse and land interface views northeast across the development site. Panoramic ocean and land interface views are also enjoyed east and south. See site photos below for context:



View from first floor balcony looking northeast.



View from first floor balcony looking southeast.

Step 2 - The orientation of the block and unit results in the views primarily being enjoyed across the side and rear boundary. The primary views are from the first floor



balcony and living area. Views are enjoyed from both standing and sitting positions. The lighthouse and headland view is considered to be enjoyed across a side boundary.

Step 3 - Sitting views of the headland and lighthouse from the living room window and balcony will be lost. See photos below for context:



View from living room window in siting position.



View from balcony in siting position.

Standing views of the headland and ocean interface would be lost from both the living room window and balcony. A standing view of the lighthouse would be retained immediately above the proposed roofline from both the living room window and balcony. See photos below for context:





Standing view of lighthouse and headland from living room window.



Standing view of lighthouse and headland from balcony.

The standing and sitting panoramic ocean and land interface views from the living room and balcony east and south across the rear boundary will not be impacted. See photos below for context:



View east across rear boundary from balcony.





View southeast from balcony.

Views of the lighthouse are considered to be iconic in the context of the area. The lighthouse view loss from a sitting position in conjunction with the headland and ocean interface view impact from both a sitting and standing position can be described as severe.

In response to view impact concerns, post exhibition, the Applicant lodged revised plans. The revised plans replaced the raised clerestory window with a low pitched skylight window arrangement on the roof top. The changes do soften the appearance of an element that would have somewhat "stuck out" from the proposed roofline when viewed from the residences in Bourne Street.

In terms of whether a more skilful design could provide the same development potential and amenity and reduce the impact on the views of neighbours, the Applicant advised that numerous design options were explored and offered the following comments:

- More traditional roof pitches but these proved too high;
- Stepped floor levels but these did not provide the accessibility via a lift required by the landowner;
- Burying' the primary habitable rooms deeper into the hill however this was detrimental to the amenity afforded to the landowner and resulted in substantial retaining walls outside of the dwelling (and is poor design and completely undesirable in any case.);
- Reducing side setbacks and shifting the building mass towards Watonga Street – but this has a greater view impact to the southern edge of the proposed design;
- If floor areas were reduced then the building height would be unaffected as the main building volume would shift towards Watonga street this is a redundant point however as the floor area is a result of the required functional design brief (5 bedroom property, gym, two sitting rooms, lift access etc);
- Please note higher ceiling heights were originally proposed and shown to the neighbours prior the development application. Ceiling heights were reduced in an effort to maintain maximum height limits and improve the view sharing aspect to the proposal.



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# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

Having regard to compliance with the adopted maximum building height and floor space ratio controls it is considered that the development proposal is a realistic response to the site conditions and view impacts not unreasonable in this instance. While there is a minor variation to the rear setback standard of the development control plan this variation does not impact on the extent of view loss from the adjoining properties.

The proposal will not have any significant adverse view sharing impact that would warrant refusal of the application.

# Overshadowing

The application was supported by a set of shadow diagrams. The most impacted property being No 60 Watonga Street immediately adjoining to the south.

This dwelling has a couple of outdoor areas at the rear. The ground level outdoor area from the house is heavily excavated into the site, bordered by a significant retaining wall and currently covered by an awning structure. There is an upper rear yard area accessed via a pedestrian bridge from the upper level of the house. This is considered to be the secondary open space area of the dwelling. The shadow diagrams demonstrate that this yard area is not adversely overshadowed for more than 3 hours between 9am and 3pm on 22 June (winter solstice).

The primary living and outdoor balcony area of the house is located on the first floor with an eastern aspect taking advantage of the views. There are two north-facing windows on the dwelling. One located on the upper level which serves the master bedroom and one on the lower level, which appears to serve a bedroom or sitting room. Access to within the dwelling could not be obtained to confirm the lower room. Having regard to the elevated nature and east facing aspect of the primary living and outdoor balcony area there will be no adverse overshadowing impacts.

The proposal does not have significant adverse overshadowing impacts.

## **Privacy**

The design has had regard to positioning of the primary living and outdoor areas in relation to that of adjoining primary living and outdoor areas. Where appropriate privacy protection measures are proposed in the form of either privacy screening or highlight windows. There are no significant adverse privacy impacts identified that would warrant refusal of the application.

# **Bulk and Scale**

In response to the steep topography and commanding views in the area surrounding development is characterised by large two storey and to some extent three storey homes. While the proposed building height does extend slightly above those of the immediately adjoining dwellings, it does present of a similar bulk and scale. The design of the roof is lower at the rear, which aids in reducing the visual bulk of the dwelling when viewed from existing Bourne Street residents.

The building design also provides for various building elements and materials, which soften the visual impact and dominance of various parts and levels of the dwelling, pool edge and basement garage.

Having regard to the topography, compliance with the adopted planning controls, front and southern setback at ground and first floor, reduction in building width heading back into the block and response to the irregular lot shape the bulk and scale of the proposal is appropriate for the site.



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# Access, traffic and transport

The proposal will not have any significant adverse impacts in terms access, transport and traffic.

# Water supply connection

Water supply service is existing to the lot. Details of connection and associated plumbing will be provided with section 68 application under the Local Government Act. Appropriate condition recommended.

#### Sewer connection

Sewer service is existing to the lot. Details of connection and associated plumbing will be provided with section 68 application under the Local Government Act. Appropriate condition recommended.

## **Stormwater**

There is a stormwater pit and piped network in Watonga Street. The proposal is capable of connection to this network. Details of stormwater drainage and connection will be required with S.68 application. Appropriate standard condition recommended.

#### Other utilities

Telecommunication and electricity services are available to the site.

# Heritage

This site does not contain or adjoin any known heritage item or site of significance. The site is considered to be disturbed land.

### Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

## Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

#### Soils

The proposed development will not have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

### Air and microclimate

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

#### Flora and fauna

Construction of the proposed development will not require any removal/clearing of any significant native vegetation. The proposal does not trigger the biodiversity offsets scheme and part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

## **Waste**

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.



## **Energy**

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

#### Noise and vibration

The construction of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

#### **Bushfire**

The site is identified as being bushfire prone. The applicant has submitted a bushfire report. An assessment of bushfire risk having regard to Planning for Bushfire Protection including vegetation classification and slope concludes that a Bushfire Attack Level 12.5 shall be required.

Management of bushfire risk is acceptable subject to BAL construction levels being implemented and APZ being maintained. An appropriate condition is recommended.

# Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area.

# Social impacts in the locality

Given the nature of the proposed development and its location the proposal is not considered to have any significant adverse social impacts.

# **Economic impact in the locality**

The proposal is not considered to have any significant adverse economic impacts on the locality. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

# Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality.

# Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

## **Cumulative impacts**

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

# (c) The suitability of the site for the development

The proposal will fit into the locality. Site constraints of slope and bushfire have been adequately addressed and appropriate conditions of consent recommended.



# (d) Any submissions made in accordance with this Act or the Regulations

Four (4) written submissions were received following public exhibition of the application. Copies of the written submissions have been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:

Submission Issue/Summary	Planning Comment/Response	
Concerns over impacts to dwelling and its foundations at 56 Watonga Street given the extent of excavation proposed. No engineering details provided.	It is a prescribed condition of any development consent that possible damage from any excavation extending below the base of the footings of an adjoining building be protected and supported. Engineering details will form part of the Construction Certificate plans.	
Potential impact of construction traffic on recent road and infrastructure work in Watonga Street. Objection to relocation of power pole.	Any damage to Council infrastructure will be managed by Council. No relocation of power pole is proposed or noted on the plans.	
View sharing impacts.	Refer to view sharing assessment and analysis within this report.	
Overshadowing impacts.	Refer to overshadowing impact assessment section of this report.	
Privacy impacts.	Refer to DCP assessment table and privacy heading of this report.	
The open cut out in the front balcony above the barbeque area will impact on enjoyment of balcony at No 56 Watonga Street in the form of barbeque smoke.	The first floor balcony is open to the east and south. No adverse smoke or odour impacts are likely to result from the cut out in the northern wall of this balcony.	
The proposed front door lines up with a bedroom window at No 56 Watonga Street. Privacy and noise impacts.	Aluminium louvres are proposed alongside the boundary fence to maintain privacy to the entry. The use of this entry will be infrequent and not create any significant adverse noise or privacy impact.	
No consultation or prior plans discussed with No 56 Watonga Street.	Noted.	
The proposal is not consistent with the height of building objectives of the Port Macquarie-Hastings Local Environmental Plan 2011.	Refer to comments under Port Macquarie- Hastings Local Environmental Plan 2011 heading of this report. The proposal complies with the maximum building height limit.	
Advice from planning organisation suggests view loss could be minimised by reduction in garage height and	Noted. The application as lodged is subject to this assessment. Refer to comments under view sharing analysis indicating various design options that were investigated.	



Submission Issue/Summary	Planning Comment/Response
removal of mezzanine within.	
The height of the dwelling is excessive and leads to the impact upon views and outlook form Bourne Street residents.	Refer to view sharing and bulk and scale sections of this report. The proposal complies with the maximum building height limit.
The proximity of the lap pool to the boundary will result in noise, music, litter impacts.	Appropriate separation between adjoining primary living and outdoor areas is achieved. Privacy measures are proposed where appropriate. The swimming pool will be used by the residents and no adverse noise or litter impacts are identified.
The bulk and amenity impacts to Bourne Street residences from the rear facing wall.	The section of building facing the rear boundary is approximately 5.2m in width. The ground floor component contains no windows to the gym room. The first floor contains a 2.6m unarticulated wall section to the study room and 2.6m wide section of vertical louvres to the western elevation of the rear balcony. Having regard to the elevated nature of the Bourne Street properties and articulation proposed there are no adverse bulk and amenity impacts that would warrant refusal of the application.
The clerestory roof window could be redesigned similar to a skylight and be incorporated into the roof so as to minimise amenity and view impact.	Changes were made to the design and orientation of the rooftop window. Refer to view sharing assessment and analysis within this report.
The solar panels could be placed closer to the southern side of the roof and further minimise view impact.	Noted. The application as lodged is subject to this assessment.
The size of the dwelling lends itself to be used for the purposes of tourist and or visitor letting.	The proposal is for a residential use only. Recommended consent condition to reinforce this.

## (e) The Public Interest

The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

# (f) Ecologically Sustainable Development and Precautionary Principle

Ecologically sustainable development requires the effective integration of economic and environmental considerations in decision-making processes. The four principles of ecologically sustainable development are:

- the precautionary principle,
- intergenerational equity,
- · conservation of biological diversity and ecological integrity,
- improved valuation, pricing and incentive mechanisms.



The principles of ESD require that a balance needs to be struck between the manmade development and environmental impacts. Based on the assessment provided in the report and with recommended conditions of consent, it is considered an appropriate balance has been struck.

# (g) Climate change

The proposal is not considered to be vulnerable to any risks associated with climate change.

#### 4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

Development contributions will not be required under S64/S7.11 as the proposal is for a new residential dwelling on an approved residential lot.

# 5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section (**Attachment 1**) of this report.

### **Attachments**

1. DA2020 - 713.1 Recommended Conditions

2. DA2020 - 713.1 Plans.

31. DA2020 - 713.1 View Corridor, Height Pole Setout and Shadow Diagrams



# FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2020/713 DATE: 11/11/2020

#### PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the Environmental Planning & Assessment Regulation 2000.

#### A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Development Plans as stamped	Project No: 1906 Drawing No: DA02 to DA13 Revision B	Craig Teasdell Architect	26 October 2020
Statement of Environmental Effects	58 Watonga Street, Port Macquarie	Craig Teasdell Architect	2 September 2020
BASIX Certificate	11126445	Craig Teasdell Architect	1 September 2020
Bushfire Assessment Report	58 Watonga Street, Port Macquarie	Craig Teasdell Architect	Undated

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
  - a) the appointment of a Principal Certifying Authority and
  - b) the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

- (3) (A009) The development site is to be managed for the entirety of work in the following manner:
  - Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
  - 2. Appropriate dust control measures;
  - 3. Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work

- adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
- Building waste is to be managed via an appropriate receptacles into separate waste streams:
- Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
- Building work being limited to the following hours, unless otherwise permitted by Council:
  - Monday to Saturday from 7.00am to 6.00pm
  - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work

#### B - PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
  - Position and depth of the sewer (including junction)
  - Stormwater drainage termination point
  - Easements
  - Water main
  - Water meter location
- (2) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.

Such works include, but not be limited to:

- i. New functional vehicular access
- (3) (B039) Detailed drawings and specifications prepared by a professional engineer for all retaining walls supporting:
  - earthworks that are more than 600mm above or below ground level (existing);
  - ii. located within 1m of the property boundaries; or
  - earthworks that are more than 1m above or below ground level (existing) in any other location.

are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.

(4) (B046) The building shall be designed and constructed so as to comply with the Bushfire Attack Level (BAL) 12.5 and requirements of Australian Standard 3959 and the specifications and requirements of Planning for Bush Fire Protection. Details shall be submitted to the Principal Certifying Authority with the application for Construction Certificate demonstrating compliance with this requirement.

Please note: Compliance with the requirements of the current Planning for Bush Fire Protection Guidelines to prevail in the extent of any inconsistency with the Building Code of Australia.

#### C - PRIOR TO ANY WORK COMMENCING ON SITE

Nil

#### D - DURING CONSTRUCTION

- (1) (D015) The swimming pool shall not to be filled with water until a safety fence/barrier complying with the current Swimming Pools Act and Regulations has been installed and an inspection has been carried out and approval given by the Principal Certifying Authority.
- (2) (D016) Where depth of water in the pool exceeds 300mm during construction a temporary barrier or fence in accordance with the current Swimming Pools Act and Regulations is to be erected or other precaution taken so as to prevent entry of children into the pool.
- (3) (D017) In accordance with the Swimming Pool Regulation a sign is to be erected and maintained that:
  - (a) Bears a notice containing the words "This swimming pool is not to be occupied or used", and
  - (b) Is located in a prominent position in the immediate vicinity of that swimming pool, and
  - (c) Continues to be erected and maintained until an Occupation Certificate has been issued for the pool.
- (4) (D000) Any excess fill is to be disposed of at an approved location or taken to an approved waste management facility.
- (5) (D007) A survey certificate from a registered land surveyor is to be submitted to the Principal Certifying Authority at footings and/or formwork stage. Such certificate shall set out the boundaries of the site, the actual situation of the buildings and include certification that siting levels comply with the approved plans.
- (6) (D010) Reduced levels prepared by a registered Surveyor must be submitted to the Principal Certifying Authority at the completion of the roof framework and include certification that building heights comply with the plans approved with the development consent.

## E - PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (3) (E034) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (4) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (5) (E020) The provision of a suitable sign containing the details required by the current Swimming Pools Act and Regulations.
- (6) (E021) Pool to be fenced in accordance with the Swimming Pools Act, 1992.

## F - OCCUPATION OF THE SITE

- (1) (F004) The dwelling is approved for permanent residential use and not for short term tourist and visitor accommodation.
- (2) (F027) The swimming pool filtration motor shall be operated between the following hours only:

Monday to Friday (other than a public holiday) 7.00 am – 8.00 pm

Saturday to Sunday and Public Holidays 8.00 am - 8.00 pm

Should noise levels exceed 5dBA above the ambient noise level measured at the boundary, the pool filtration motor shall be enclosed with an effective soundproof unit

(3) (F035) The consent only permits the use of the building as a single dwelling and does not permit the adaption or use of the building so as to create a second occupancy.





# **DEVELOPMENT APPLICATION**

REITER - FRIEND RESIDENCE
58 WATONGA STREET LOT 33 DP31187 PORT MACQUARIE NSW 2444

REV B

26/10/2020

PRELIMINARY DRAWING ISSUE NOT FOR CONSTRUCTION



3/42 BULLER STREET PORT MACQUARIE NSW 2444 M: 0498 660 240 E: craig@craigteasdellarchitect.com.au Crain Leas del

The Builder shall check all dimensions and levels on site prior to construction. Notify any enous, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contrours subject to survey

REVISIONS
A 02/09/2020 DEVELOPMENT APPLICATION ISSUE
B 20/10/2020 DA - ROOF WINDOW AMENDMENT

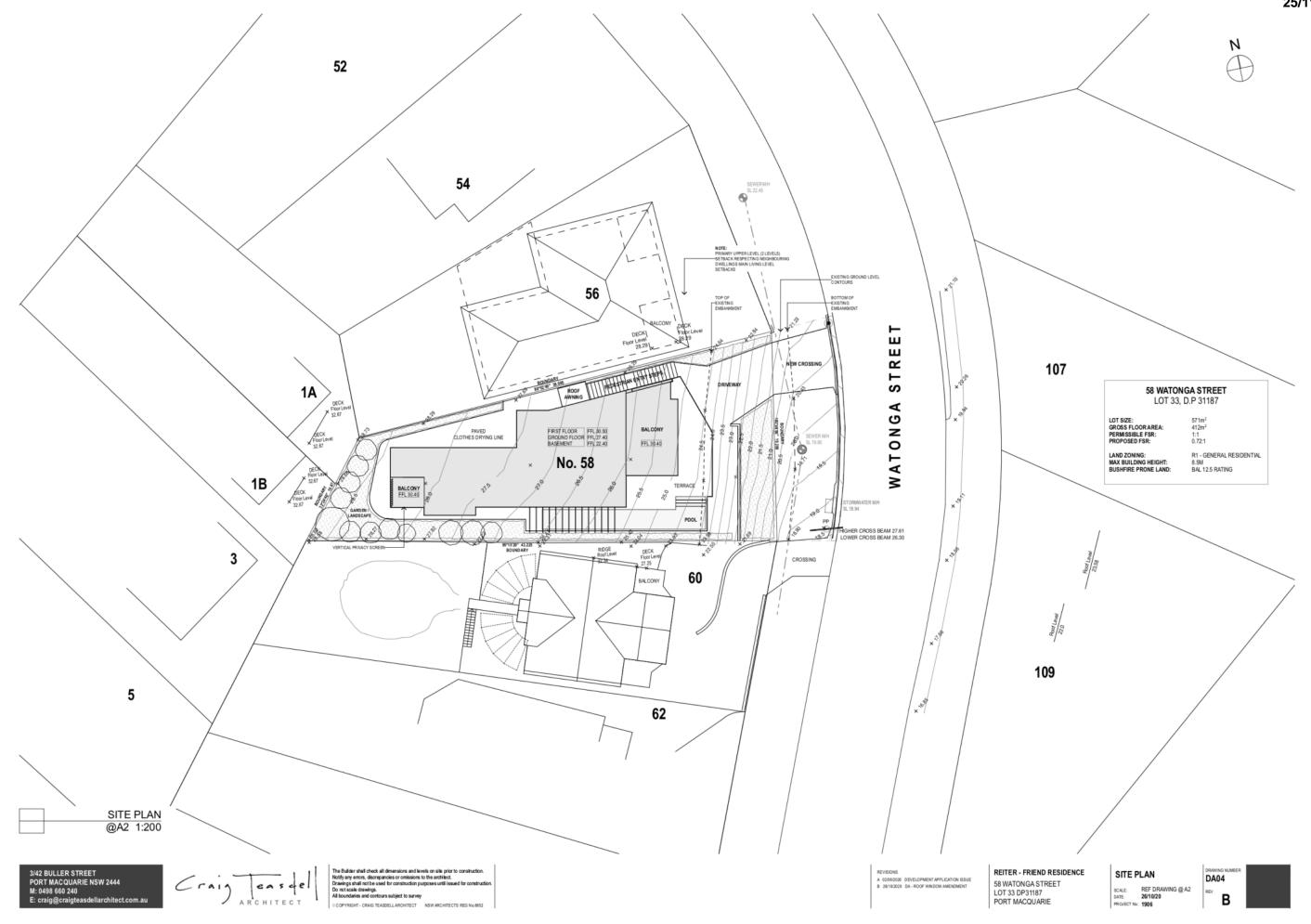
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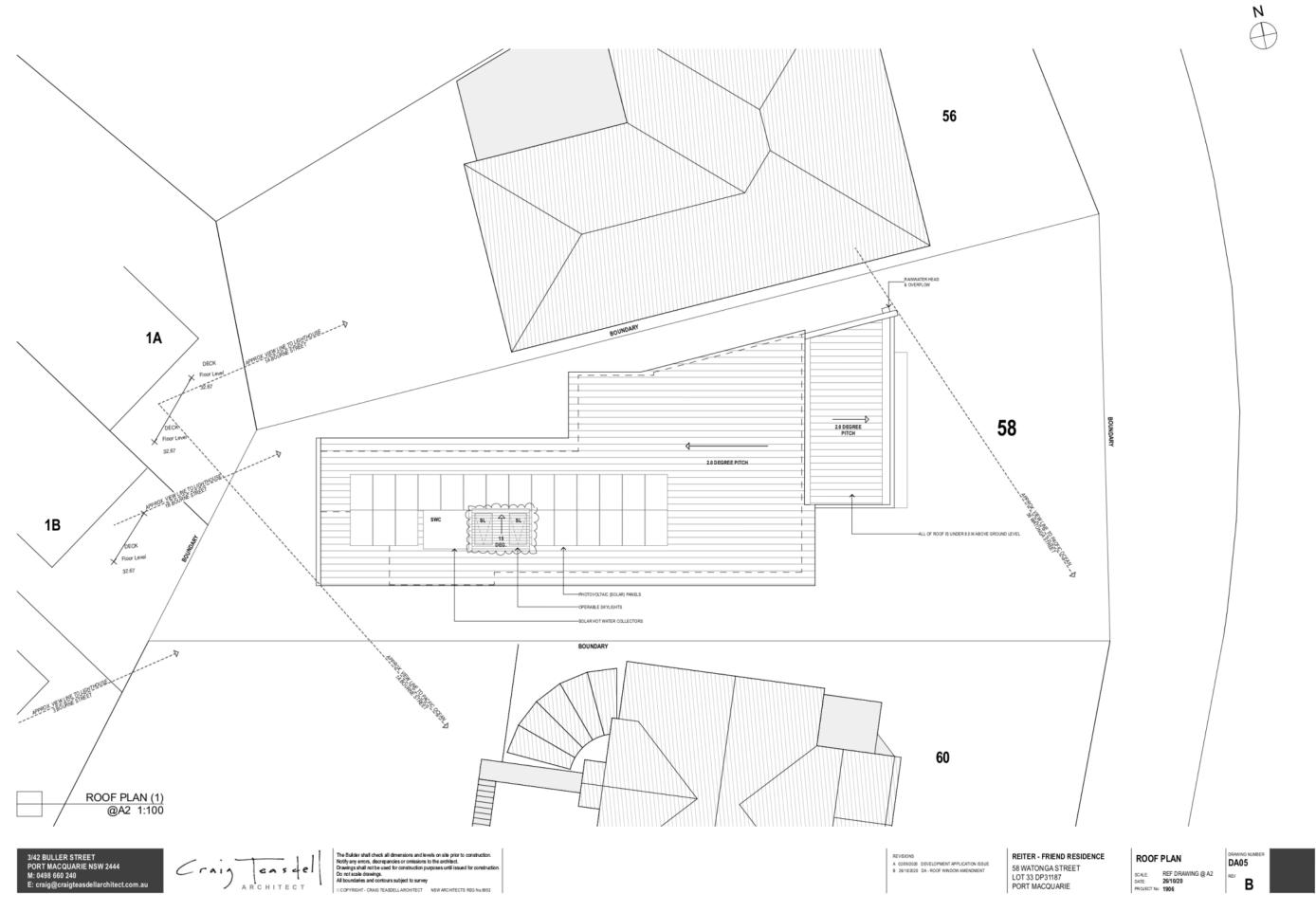
PHOTOMONTAGE 2

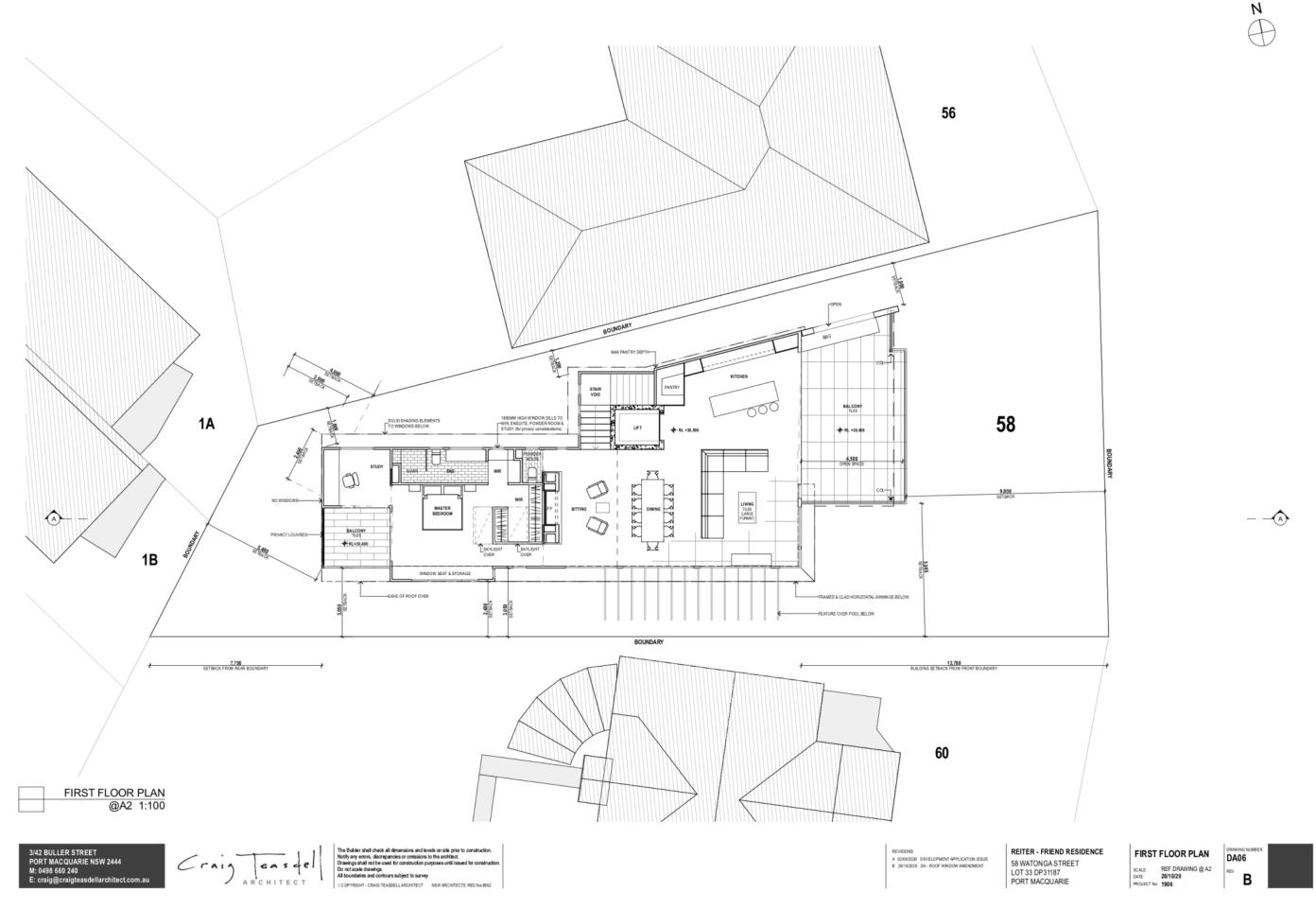
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DATE: 26/10/20
PROJECT No: 1906

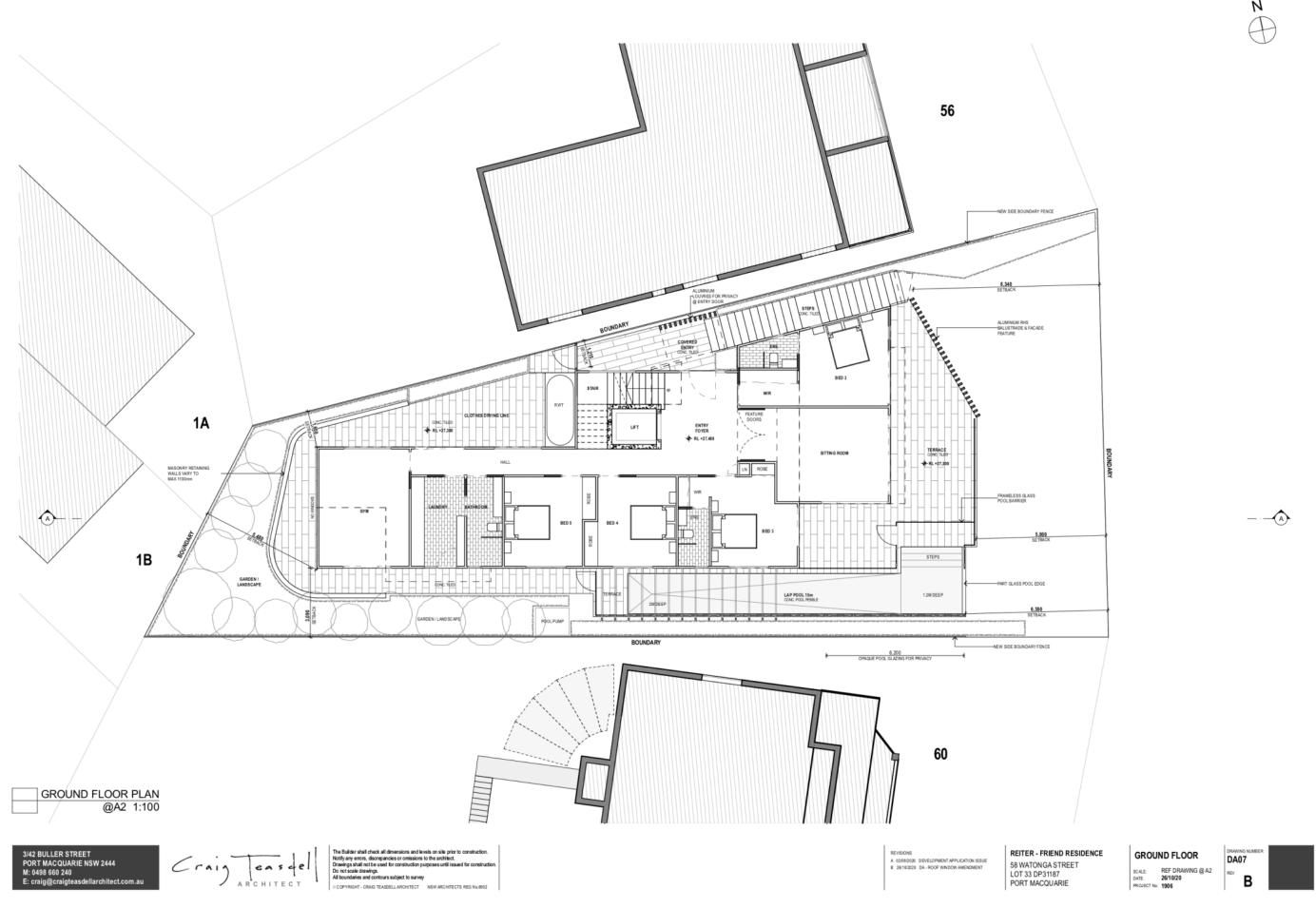
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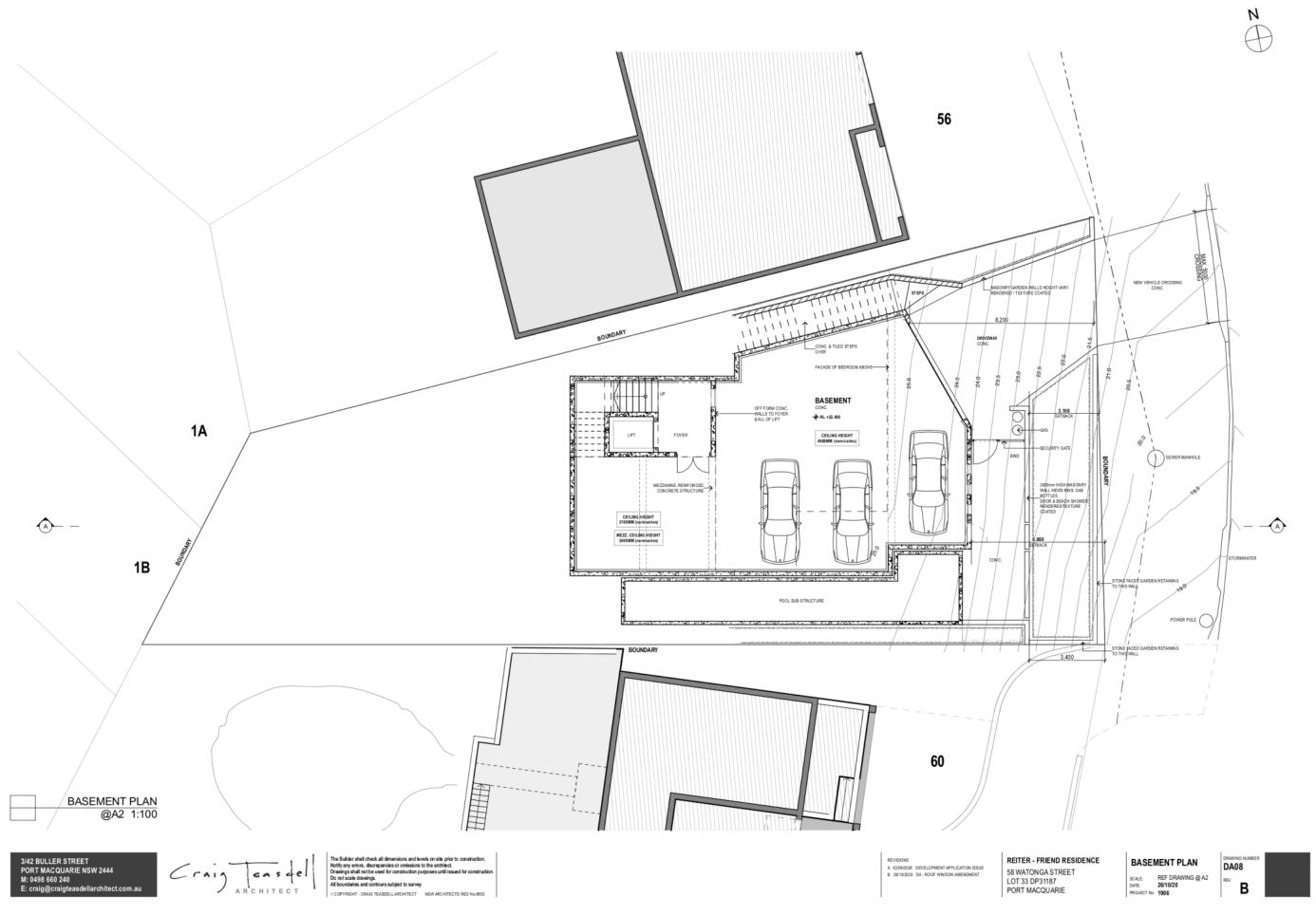


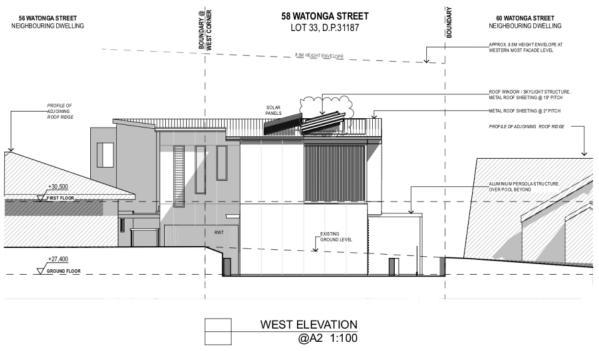


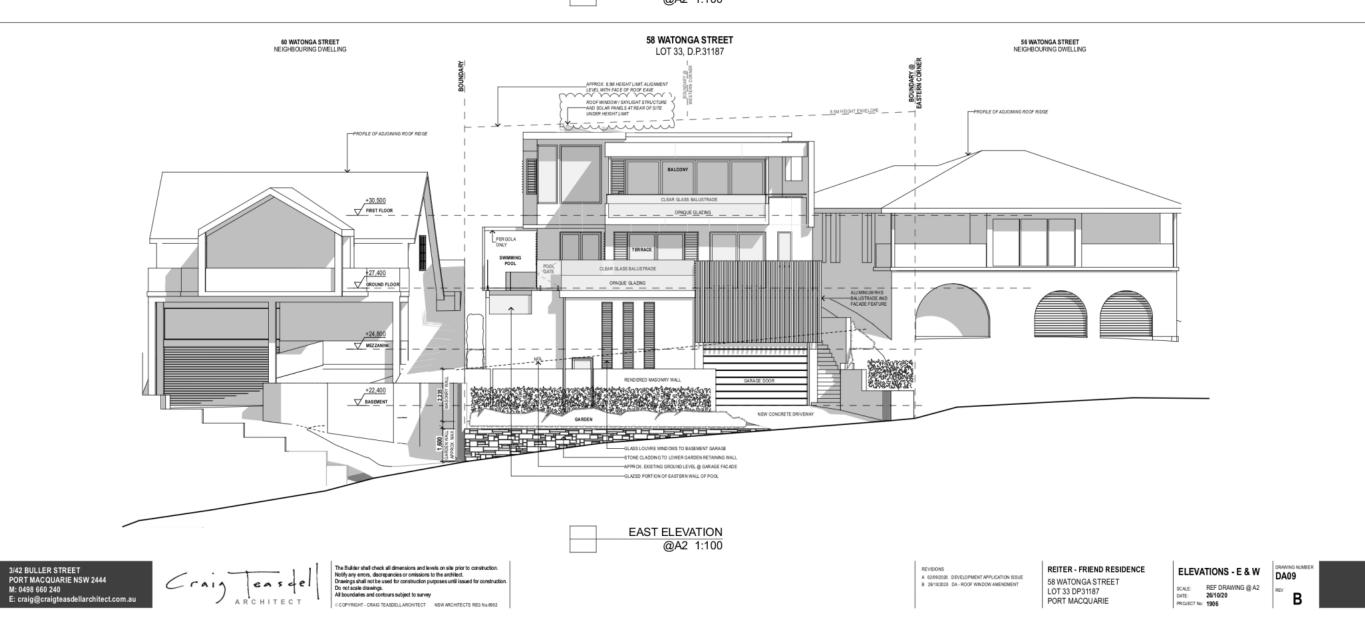


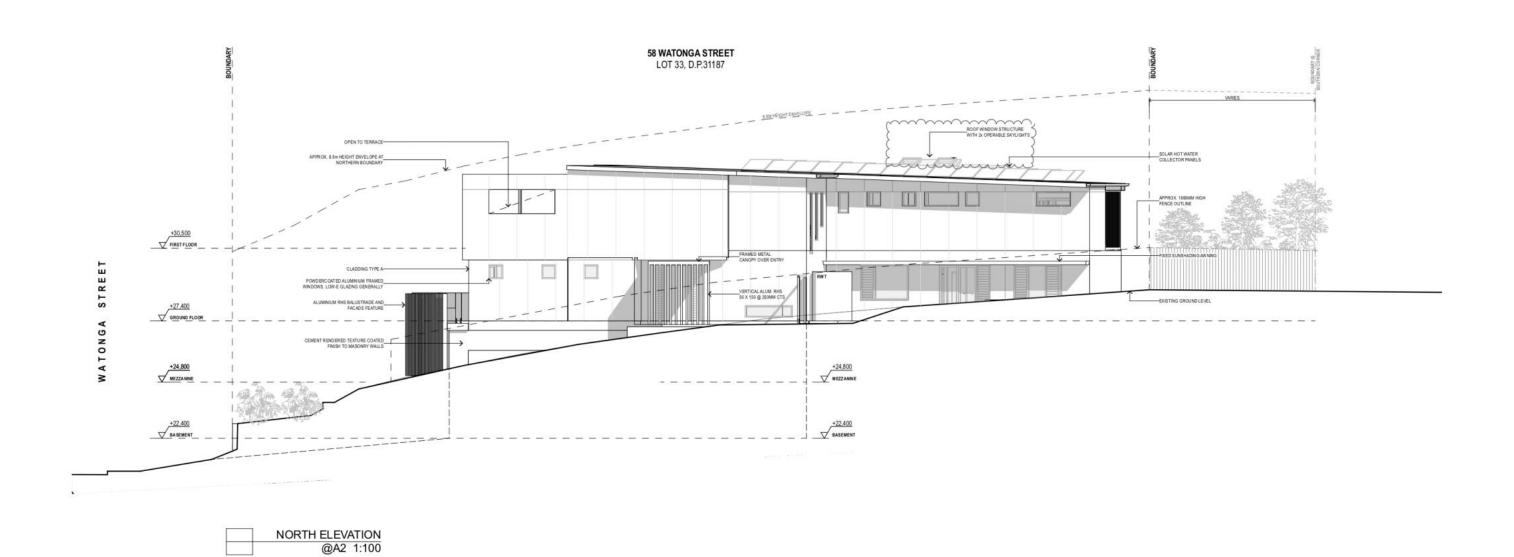












3/42 BULLER STREET PORT MACQUARIE NSW 2444 M: 0498 660 240 E: craig@craigteasdellarchitect.com.au

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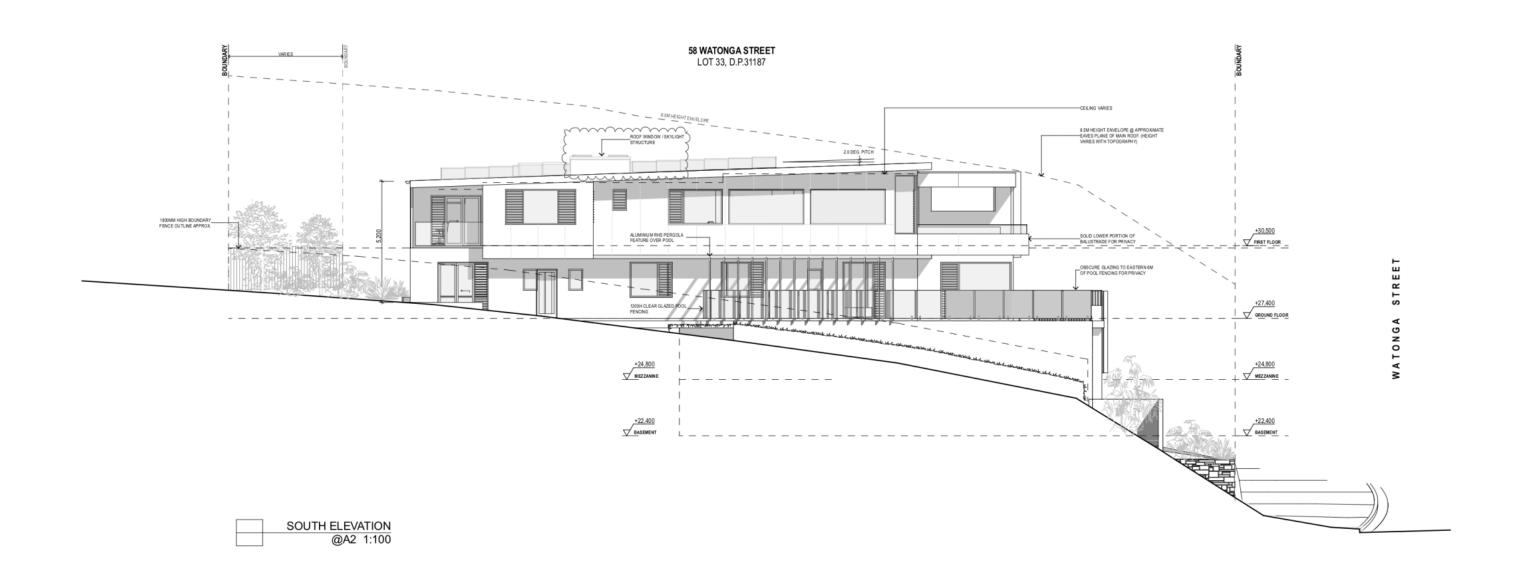
The Bullder shall check all dimensions and levels on sile prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale devantings. All boundaries and contours subject to survey

REVISIONS
A 02/09/2020 DEVELOPMENT APPLICATION ISSUE
B 26/10/2020 DA - ROOF WINDOW AMENDMENT

REITER - FRIEND RESIDENCE 58 WATONGA STREET LOT 33 DP31187 PORT MACQUARIE ELEVATION - NORTH

SCALE REF DRAWING @ A2
DATE: 26/10/20
PROJECT No: 1906

DA10
REV B



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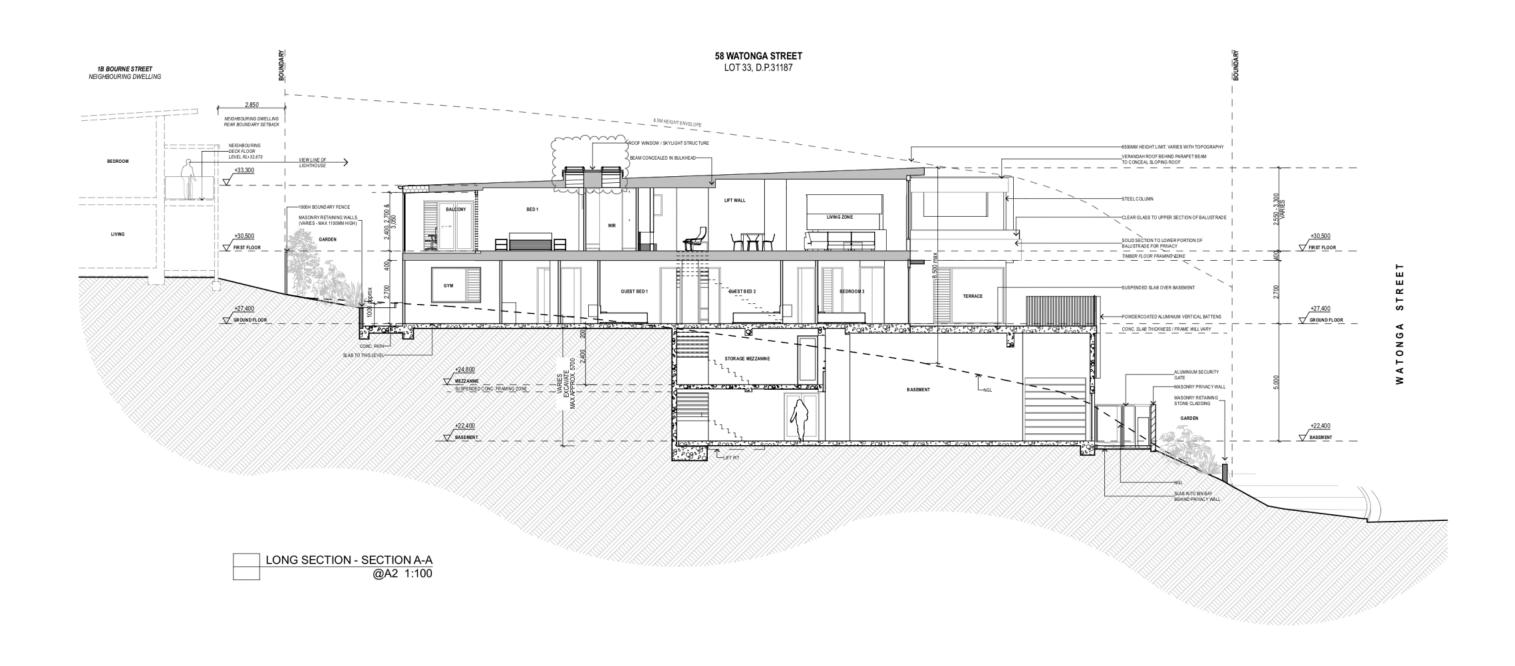
○ COPYRIGHT - CRAIG TEASDELL ARCHITECT NSW ARCHITECTS REG No. 695:

REVISIONS
A 02/09/2020 DEVELOPMENT APPLICATION ISSUE
B 26/10/2020 DA - ROOF WINDOW AMENDMENT

REITER - FRIEND RESIDENCE 58 WATONGA STREET LOT 33 DP31187 PORT MACQUARIE

ELEVATION - SOUTH

DA11



3/42 BULLER STREET PORT MACQUARIE NSW 2444 M: 0498 660 240 E: craig@craigteasdellarchitect.com.au Crain leasel

The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. On orticate drawings. All boundaries and contours subject to survey.

REVISIONS
A 02/09/2020 DEVELOPMENT APPLICATION ISSUE
B 26/19/2020 DA - ROOF WINDOW AMENDMENT

REITER - FRIEND RESIDENCE 58 WATONGA STREET LOT 33 DP31187 PORT MACQUARIE LONG SECTION

SCALE: REF DRAWING @ AZ
26/10/20
PROJECT No: 1906

DA41ING NUMBER DA12

REY

B

## CAMERA VIEW A



View from 1A Bourne Street FROM BEDROOM

VIEW FROM CENTRE OF UNIT 1 ABOURNE STREET BALCONY. STANDING EYE LEVEL 1500MM ABOVE DECK LEVEL.

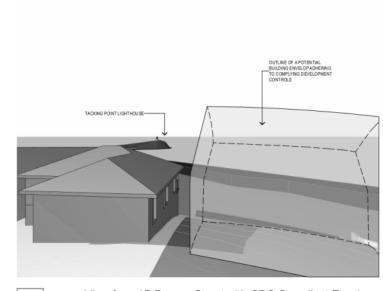
## CAMERA VIEW B



View from 1B Bourne Street FROM BEDROOM

STANDING EYE LEVEL 1500MM ABOVE DECK LEVEL. DECK LEVEL IS RL+32.67M

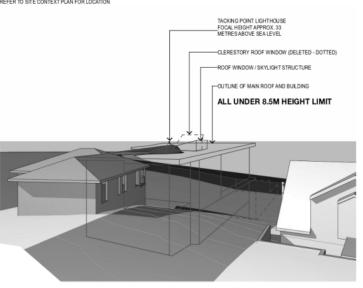
## CAMERA VIEW B



View from 1B Bourne Street with CDC Compliant Envelope FROM BEDROOM

STANDING EYE LEVEL 1500MM ABOVE DECK LEVEL. DECK LEVEL IS RL+32.67M

#### CAMERA VIEW C



View from Unit 2/3 Bourne Street with proposal outlined FROM LIVING

VIEW FROM CENTRE OF NO.3 BOURNE STREET BALCONY. STANDING EYE LEVEL 1500MM ABOVE DECK LEVEL. DECK LEVEL IS RL32.67M (ASSUMED SIMILAR TO UNIT 1B)

© COPYRIGHT - CRAIG TEASDELL ARCHITECT NSW ARCHITECTS REG No.6952

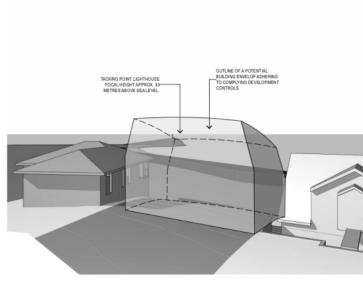
### CAMERA VIEW C



View from Unit 2/3 Bourne Street FROM LIVING

VIEW FROM CENTRE OF NO.3 BOURNE STREET BALCONY. STANDING EYE LEVEL 1500MM ABOVE DECK LEVEL. DECK LEVEL IS RL32.67M (ASSUMED SIMILAR TO UNIT 1B)

#### CAMERA VIEW C



View from Unit 2/3 Bourne Street with CDC Compliant Envelope FROM LIVING

VIEW FROM CENTRE OF NO.3 BOURNE STREET BALCONY. STANDING EYE LEVEL 1500MM ABOVE DECK LEVEL.

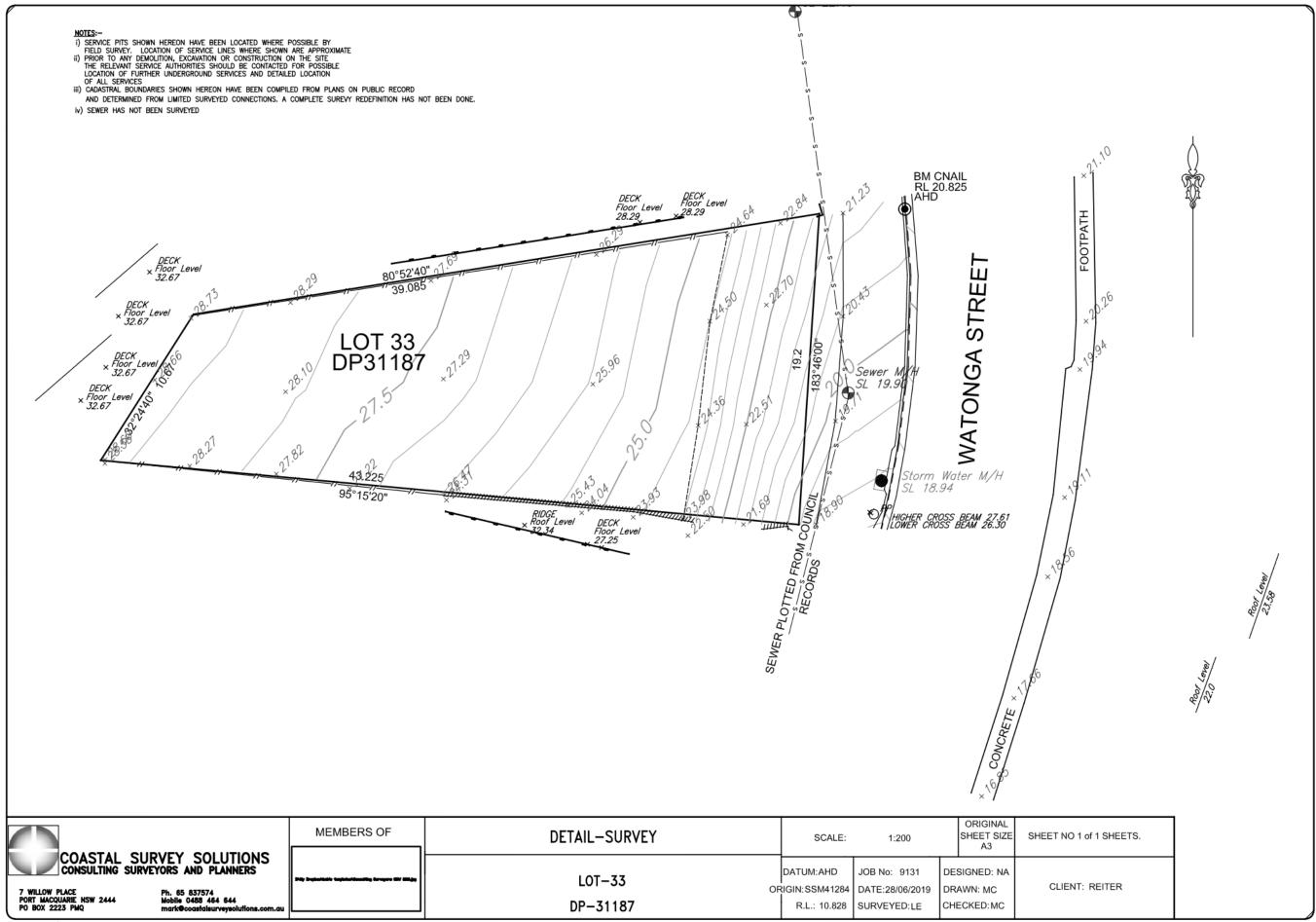
DECK LEVEL IS RL+32.67M (ASSUMED SIMILAR TO UNIT 1B) SETBACKS OF 900MM UP TO 4.5M AND TAPERING TO 1.9M AT 8.5M HEIGHT LIMIT

REITER - FRIEND RESIDENCE 58 WATONGA STREET LOT 33 DP31187 PORT MACQUARIE

NEIGHBOUR VIEWS

DA13



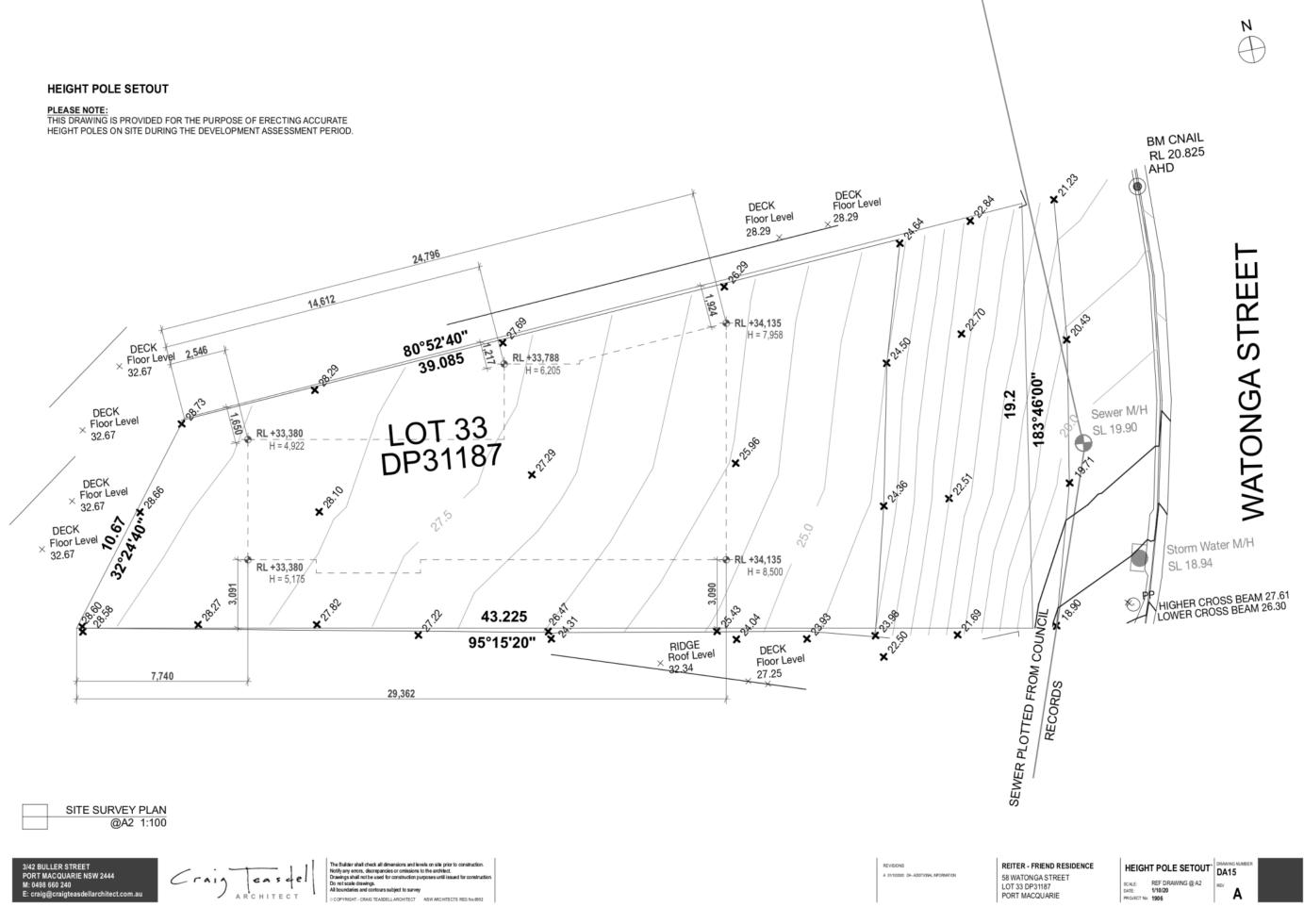


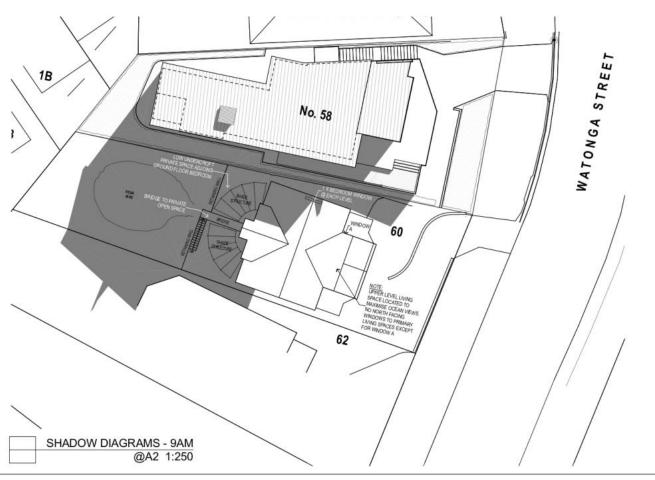
SURVEYOR'S REFERENCE:

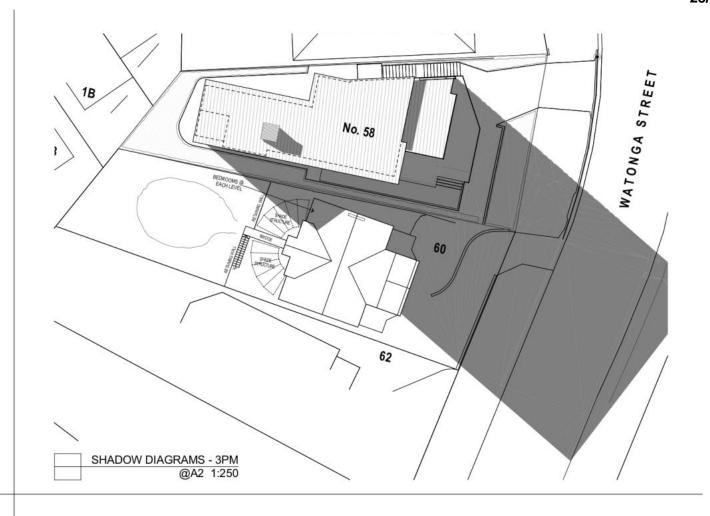


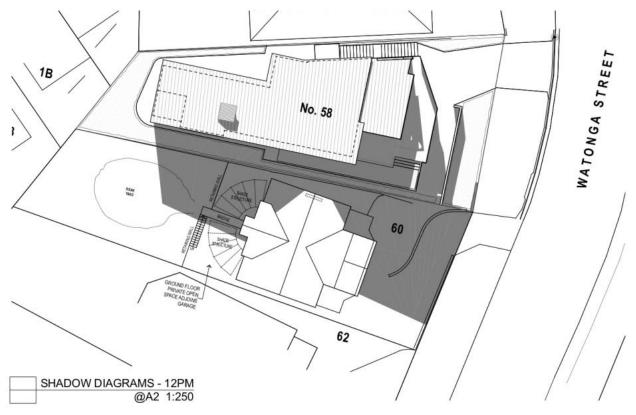
REITER - FRIEND RESIDENCE 58 WATONGA STREET LOT 33 DP31187 PORT MACQUARIE

NEIGHBOUR VIEWS









3/42 BULLER STREET PORT MACQUARIE NSW 2444 M: 0498 660 240 E: craig@craigteasdellarchitect N

SOLAR NORTH

SHADOW DIAGRAMS FOR THE WINTER SOLSTICE

22 JUNE AT 9AM, 12PM & 3PM

LOCATION - PORT MACQUARIE, NSW

LATITUDE 31.4612105 S, LONGITUDE 152.8586815 N

OVISIONS

OVISIONS

DA-ADDITIONAL INFORMATION

REITER - FRIEND RESIDENCE 58 WATONGA STREET LOT 33 DP31187 PORT MACQUARIE SHADOW DIAGRAMS

SCALE. REF DRAWING @ A2
DATE: 1/10/20
PROJECT NO: 1906

A

CRAMMING NAIM
DA16

REV



Item: 07

Subject: DA2020.746.1 CONTINUED USE OF SECONDARY DWELLING AT

LOT 3 DP 32942, NO. 5 CROSS STREET PORT MACQUARIE

Report Author: Development Assessment Planner, Steven Ford

Applicant: All About Planning

Owner: F M Barratt

Estimated Cost: \$0 Parcel no: 5417

# **Alignment with Delivery Program**

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

## **RECOMMENDATION**

That DA2020 - 746.1 for a Continued Use of Secondary Dwelling at Lot 3, DP 32942, No. 5 Cross Street, Port Macquarie, be determined by granting consent subject to the recommended.

## **Executive Summary**

This report considers a development application for a Secondary Dwelling at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, 2 submissions were received.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the attached conditions (**Attachment 1**).

#### 1. BACKGROUND

# **Existing Sites Features and Surrounding Development**

The site has an area of 694m<sup>2</sup>.

The site is zoned R1 General Residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:



# 2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

- Continued use of Secondary Dwelling
- Building previously approved as Home Business (Art Studio) (DA2013/93)

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

# **Application Chronology**

- 10 September 2020 Application Lodged
- 18 September until 1 October 2020 Notification Period 2 submissions received
- 21 October 2020 Request for Information
- 30 October 2020 Response to Submissions received

#### 3. STATUTORY ASSESSMENT

# **Section 4.15(1) Matters for Consideration**

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

# State Environmental Planning Policy (Koala Habitat Protection) 2019

Clause 5 - This SEPP applies to the Port Macquarie-Hastings Local Government Area.

Clause 10 - The site isn't identified under a Koala Plan of Management and the land has an area less than 1 hectare including adjoining land in the same ownership. The SEPP does not prevent the granting of consent on the land being less than 1 hectare in area. The application has also demonstrated that no habitat will be removed or modified therefore no further investigations are required.

# State Environmental Planning Policy No. 55 - Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

## State Environmental Planning Policy (Coastal Management) 2018

Clause 7, this SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.

The site is located within a coastal use area.

Having regard to clause 14 of the SEPP, the proposed development is not considered likely to result in any of the following:

a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

- any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on Aboriginal cultural heritage, practices and places;
- e) any adverse impacts on the cultural and built environment heritage;
- f) any adverse impacts the use of the surf zone;
- g) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands;
- h) overshadowing, wind funnelling and the loss of views from public places to foreshores; and
- i) any adverse impacts on existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability.

Clause 15 - The proposal is not likely to cause increased risk of coastal hazards on that land or other land.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is predominately cleared and located within an area zoned for residential purposes.

# State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate would ordinarily be required to have been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to submit a BASIX certificate with the application for Building Certificate process. A further condition to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

## State Environmental Planning Policy (Affordable Rental Housing) 2009

Clause 20 - The site is in a prescribed zone and secondary dwellings are permissible with consent pursuant to the SEPP.

Clause 22(2) - The development would not result in there being a dwelling other than the primary dwelling and the secondary dwelling.

Clause 22(3) - The proposed secondary dwelling would not have a floor area exceeding 60m<sup>2</sup> and the combined floor area of the primary and secondary dwelling would not exceed the maximum permitted under the Port Macquarie-Hastings Local Environmental Plan 2011 (see comments below under LEP).

Clause 22(4) - It is noted that consent cannot be refused on the grounds of site area or parking.

Clause 24 - It is noted that the consent authority must not consent to a development application that would result in any subdivision of a lot on which development for the purposes of a secondary dwelling has been carried out.

The requirements of this SEPP are therefore satisfied.

Port Macquarie-Hastings Local Environmental Plan 2011



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 The subject site is zoned R1 General Residential.
- Clause 2.3(1) and the R1 zone landuse table The secondary dwelling is a permissible landuse with consent.
- Clause 2.3(2) The objectives of the R1 zone are as follows:
  - o To provide for the housing needs of the community.
  - To provide for a variety of housing types and densities.
  - To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- The proposal is consistent with the zone objectives as it is a permissible landuse and sufficiently compatible with the established residential locality.
- Clause 4.4 The floor space ratio of the total development is approximately 0.3:1, therefore the proposal complies with the maximum 0.65:1 floor space ratio applying to the site. The building has been enlarged in floor area at the rear of the building without consent.
- Clause 5.10 The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.13 Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.

# (ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply to the site.

# (iii) Any Development Control Plan in force Port Macquarie-Hastings Development Control Plan 2013

DCP 2013: Part B - General Provisions - B2: Environmental Management			
DCP Objective	<b>Development Provisions</b>	Proposed	Complies
3	a) Development must comply with Council's Developments, Public Place & Events - Waste Minimisation and Management Policy.	Satisfactory arrangements can be put in place for storage and collection of waste.	Yes

DCP 2013: Part B- General Provisions- B4: Transport, Traffic Management, Access and Car Parking					
DCP Objective	Development Provisions	Proposed	Complies		
Parking Pr	Parking Provision				
24	<ul><li>a) Off-street Parking is provided in accordance with Table 3:</li><li>1 parking space per each dwelling for dwelling-house.</li></ul>	The existing primary dwelling has no off-street car parking as approved by DA2013/93 for a change of use of	Yes, see justification below		



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

garage to home business (art studio). See comments	
below.	

DCP 2013: Part B - General Provisions - B5: Social Impact Assessment and Crime Prevention				
DCP Objective	Development Provisions	Proposed	Complies	
Crime Prev	vention			
43	<ul> <li>a) The development addresses the generic principles of crime prevention:</li> <li>Casual surveillance and sightlines;</li> <li>Land use mix and activity generators;</li> <li>Definition of use and ownership;</li> <li>Basic exterior building design;</li> <li>Lighting;</li> <li>Way-finding; and</li> <li>Predictable routes and entrapment locations;</li> <li>as described in the Crime Prevention Through Environmental Design (CPTED) principles.</li> </ul>	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes	

DCP 2013: Part C - Development Specific Provisions - C1: Low Density Residential Development			
DCP Objective	Development Provisions	Proposed	Complies
Front Setb	acks		
44	<ul> <li>a) Dwellings may incorporate an articulation zone to a street frontage at no less than 3m from property boundary. The following building elements are permitted within the articulation zone: <ul> <li>an entry feature or portico;</li> <li>a balcony, deck, patio, pergola, terrace or verandah;</li> <li>a window box treatment;</li> <li>a bay window or similar feature;</li> </ul> </li> </ul>	The existing building previous approved within the articulation zone.  No changes to the front building line.	Acceptable



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

	<ul> <li>an awning or other feature over a window;</li> <li>a sun shading feature.</li> <li>b) These building elements should not extend above the eave gutter line, other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the dwelling house.</li> </ul>		
	c) The primary road front setback shall be: Classified road = any frontage 6.0m Primary frontage = 4.5m Secondary frontage = 3.0m Ancillary Lane = 2.0m Large lot residential and rural zones = 10.0m	Existing minimum front setback 3.84m to the existing building. This encroaches by 0.65m for approximately 1/5 of the street frontage. No changes proposed. No identifiable adverse impacts to the existing location and street amenity.	Yes, variation considered to have minimal impact due to the building being previously approved by Council.
Side and F	Rear Setbacks		
46	a) A minimum rear boundary setback of 4m is to be provided to dwellings (including verandahs, patios and decks).	No changes to existing rear setback, therefore considered to comply.	Yes
47	a) Ground floors (being <1m above existing ground level) should be setback a minimum of 900mm from side boundaries.	No change to existing side setbacks. Minimum 0.96m side setback.	Yes
Private Op	pen Space		
48.	<ul> <li>a) All dwellings should have a minimum area of private open space of 35m2, which includes a principal private open space area with:</li> <li>a minimum dimension of 4m x 4m, and</li> <li>a maximum grade of 5% for minimum 4m x 4m of the total open space requirement, and</li> <li>direct accessibility from a ground floor living area and orientated to maximise use.</li> </ul>	No defined private of space identified on plan, however, over 35m2 private open space available within the rear yard. There are no concerns with complying with this clause.	Yes



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

	b) Private open space may include clothes drying areas and garbage storage.	Capable of complying. There are no adverse concerns regarding appropriate locations.	Yes
Public Doi	main and Fencing		
49	a) Front fences built forward of the building line for the primary road frontage should be detailed on the development application plans.	No alterations to existing fences forward of the building line proposed.	
Bulk and S	Scale		
51	<ul> <li>a) Direct views between indoor living rooms and principal private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots, including possible dwellings on future lots, should be obscured or screened where: <ul> <li>Ground and first floor (and above) indoor living room windows are within a 9m radius.</li> <li>Direct views between principal private open space areas where within a 12m radius.</li> <li>Direct views between indoor living rooms of dwellings into the principal area of private open space of other dwellings within a 12m radius.</li> </ul> </li> </ul>	The existing building is adjacent to a shared driveway of an existing multi dwelling housing development. There are no adjoining living areas with direct views. There are no identifiable adverse impacts or privacy concerns. The proposal complies with the objectives of this clause.	Yes

The proposal seeks to vary the Development Provision relating to Clause 24 offstreet car parking.

The relevant objectives are:

- To ensure adequate provision is made for off-street parking commensurate with volume and turnover of traffic likely to be generated by the development.
- To ensure no adverse impacts on traffic and road function.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

 The primary dwelling has no off street car parking as approved by DA2013/97 change of use garage to home business (art studio).



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

- A development proposal to alter or redevelop an existing building, is subject to a
  credit for any existing deficiency of parking provision. In this case, being a
  shortfall of 1 car parking space for the primary dwelling behind the front building
  line.
- Clause 22 of the Affordable Housing SEPP, prevents the refusal of secondary dwellings on the basis of parking if no additional parking is to be provided onsite as is the case for this proposal.
- The applicant has offered to reinstate the previous driveway to provide a hardstand off street car parking space, which will provide more off street car parking than the current situation.
- There are no additional identifiable accumulative impacts on traffic and road function created by the secondary dwelling.

Based on the above assessment, the variation proposed to the provision of the DCP are considered acceptable and the relevant objectives have been satisfied. The variation does not amount to an adverse impact or a significance that would justify refusal of the application.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into relating to the site.

(iv) Any matters prescribed by the Regulations

Demolition of buildings AS 2601 - Clause 92

Demolition of the existing building on the site is capable of compliance with this Australian Standard and is recommended to be conditioned.

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

### **Context and Setting**

The proposal will not have any significant adverse impacts on existing adjoining properties or the public domain.

The proposal is considered to be sufficiently compatible with other residential development in the locality and adequately addresses planning controls.

The proposal does not have a significant adverse impact on existing view sharing.

The proposal does not have significant adverse lighting impacts.

There are no significant adverse privacy impacts.

There are no significant adverse overshadowing impacts. The proposal does not prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June.

**Access, Traffic and Transport** 



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

The proposal will not have any significant adverse impacts in terms access, transport and traffic to warrant refusing the application. The existing road network will satisfactorily cater for any increase in traffic generation as a result of the development.

# **Water Supply Connection**

Service available. Existing completing plumbing can be checked as part of the application for Building Certificate process.

## **Sewer Connection**

The existing completed building is well clear (>600mm) of the existing sewer junction and main traversing the site.

Service available. Existing completing plumbing can be checked as part of the application for Building Certificate process.

#### Stormwater

Service available. Existing completing plumbing can be checked as part of the application for Building Certificate process.

#### Other Utilities

Telecommunication and electricity services are available to the site.

# Heritage

This site does not contain or adjoin any known heritage item or site of significance. The site is considered to be disturbed land.

#### Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

#### Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

#### Soils

The proposed development will not have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

### Air and microclimate

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

#### Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

#### Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.



# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

# Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

#### Noise and vibration

The construction of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

# **Bushfire**

The site is not identified as being bushfire prone.

## Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area.

# Social impacts in the locality

Given the nature of the proposed development and its location the proposal is not considered to have any significant adverse social impacts.

# **Economic impact in the locality**

The proposal is not considered to have any significant adverse economic impacts on the locality.

# Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

#### Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

### **Cumulative impacts**

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

## (c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

## (d) Any submissions made in accordance with this Act or the Regulations

Two (2) written submissions were received following public exhibition of the application. Copies of the written submissions have been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:



Submission Issue/Summary	Planning Comment/Response
Unauthorised works.	Noted. Unauthorised works associated with the alterations and additions to the building to converted it from a Home Business to Secondary Dwelling will be resolved as part of the recommended conditions and the Building Information Certificate.
No additional car parking impacting existing street congestion.	Clause 22 of the Affordable Housing SEPP, prevents the refusal of secondary dwellings on the basis of parking if no additional parking is to be provided onsite as is the case for this proposal.
	The site has an existing off street car parking shortfall.
	As a response, the applicant has offered the original informal car parking space immediately in front of the existing studio / proposed secondary dwelling and the Cross St road boundary shall be reinstated and garden seating / table being relocated. This is capable of being managed through the recommended condition F(3).
The footpath in front of the garage of this residence is overgrown to the point it is impacting the street amenity.	It is noted that the existing street frontage, including part of the road reserve is heavily vegetated / landscaped. There is no formal footpath located along the frontage. As a response, the applicant has offered to clean up the road reserve and a 1.2m wide path of travel shall be maintained along the Cross Street road reserve outside the subject site to ensure adequate pedestrian access along the footpath reserve.

# (e) The Public Interest

The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

# (f) Ecologically Sustainable Development and Precautionary Principle

Ecologically sustainable development requires the effective integration of economic and environmental considerations in decision-making processes. The four principles of ecologically sustainable development are:

- the precautionary principle,
- intergenerational equity,
- conservation of biological diversity and ecological integrity,
- improved valuation, pricing and incentive mechanisms.

The principles of ESD require that a balance needs to be struck between the manmade development and the need to retain the natural vegetation. Based on the assessment provided in the report and with recommended conditions of consent, it is considered an appropriate balance has been struck.



# (g) Climate change

The proposal is not considered to be vulnerable to any risks associated with climate change.

#### 4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

#### **Section 7.11 Contributions**

In assessing s7.11 contributions, Council staff have reviewed the development in accordance with the Port Macquarie-Hastings Council Development Contributions Assessment Policy (DCAP) and applicable Contribution Plans.

As the secondary dwelling is 60m<sup>2</sup> or less in size, s7.11 contributions do not apply as per Clause 2.5 of the DCAP.

### **Section 7.12 Contributions**

The proposed development will comprise a secondary dwelling and does not contain any commercial/industrial component. As a result, s7.12 contributions do not apply.

## **Section 64 Water and Sewer Contributions**

In assessing s64 water and sewer contributions, Council staff have reviewed the development in accordance with the Port Macquarie-Hastings Council Development Contributions Assessment Policy (DCAP) and applicable Development Servicing Plans.

As the secondary dwelling is 60m<sup>2</sup> or less in size, s64 contributions do not apply as per Clause 2.5 of the DCAP.

A condition has been imposed on the consent to ensure any application for a separate water meter is charged s64 water contributions to account for the increase in demand.

Having considered the above, s64 contributions do not apply in this case as there is no increase in demand on water and sewer services.

# 5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.



# **DEVELOPMENT ASSESSMENT PANEL** 25/11/2020

# **Attachments**



# FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2020/746 DATE: 13/11/2020

#### PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

#### A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Plans	AAP 2020-022	All About Planning	03/09/2020
Statement of Environmental Effects		All About Planning	September 2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) An application shall be made to Port Macquarie-Hastings Council for a Building Information Certificate within three (3) months of the date of this consent for the building work undertaken without development consent. The application for a Building Information Certificate is to be supported by (but not necessarily limited to):
  - a fire safety upgrade report prepared by a suitably qualified professional;
  - written confirmation from any properly qualified person (eg the builder) stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (3) The proposed development shall drain all sewage to the existing sewer junction unless otherwise agreed by PMHC's Water & Sewer Planning Manager. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.
- (4) The secondary dwelling shall be provided with a water service from the same meter as the principal dwelling. Any additional water service will incur contributions for augmentation of the town water supply headworks in accordance with the provisions of the relevant Section 64 Development Servicing Plan.

#### B - PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

Nil

#### C - PRIOR TO ANY WORK COMMENCING ON SITE

Nil

## D - DURING CONSTRUCTION

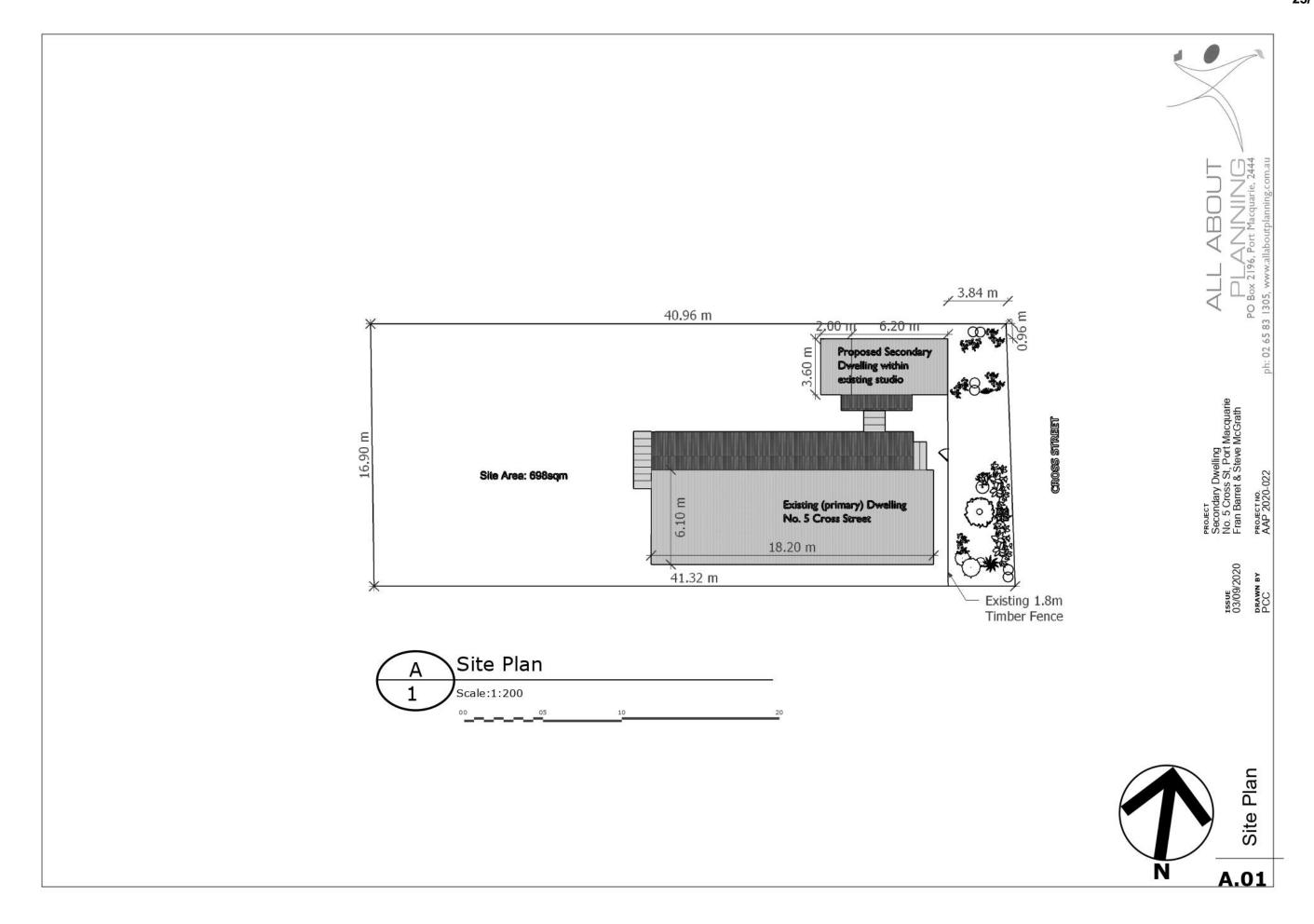
Nil

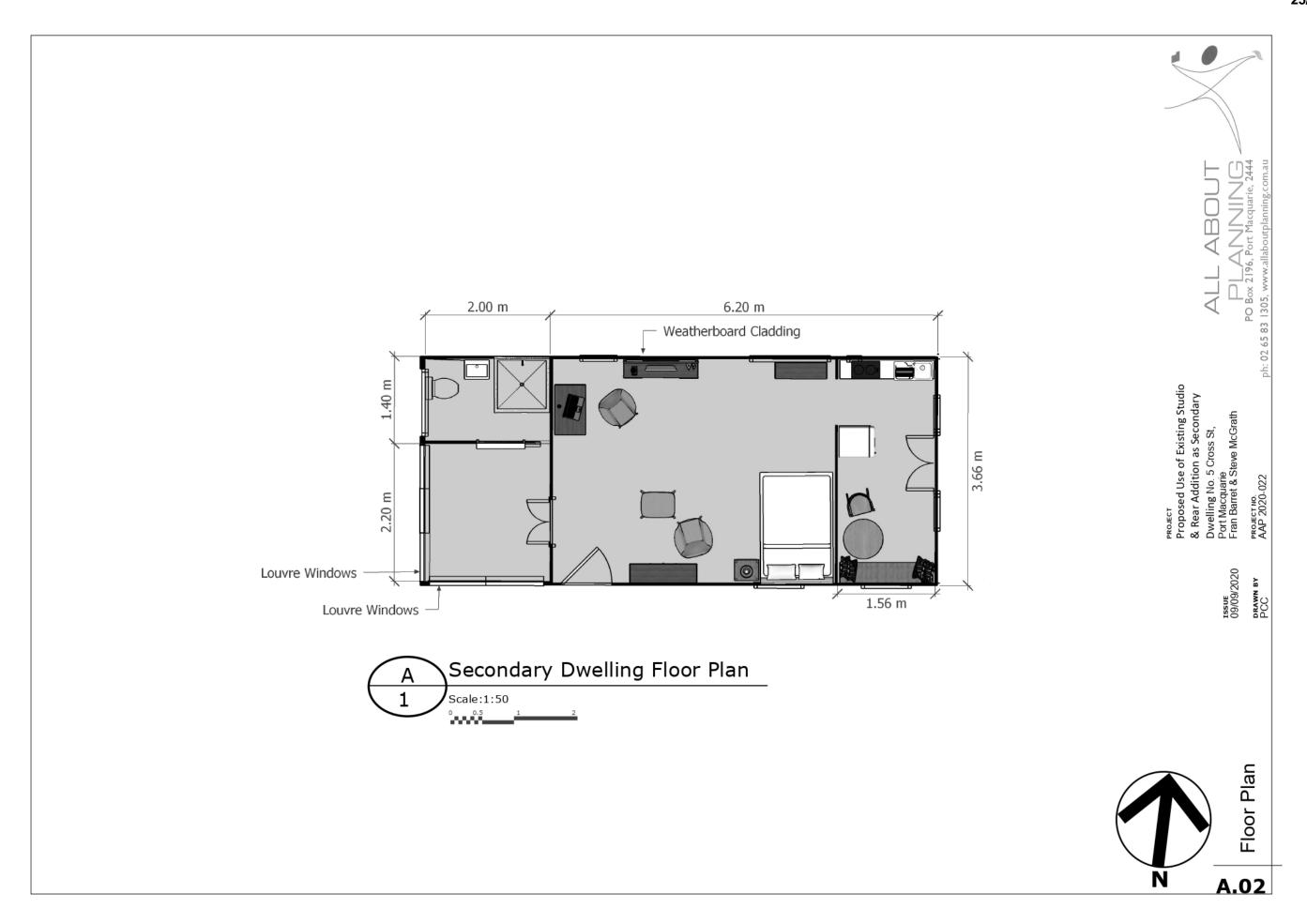
#### E - PRIOR TO OCCUPATION OR COMMENCEMENT OF USE

(1) The secondary dwelling shall not be occupied or used in whole or in part until a Building Information Certificate has been issued by Port Macquarie-Hastings Council.

## F - OCCUPATION OF THE SITE

- (1) (F004) The secondary dwelling is approved for permanent residential use and not for short term tourist and visitor accommodation.
- (2) A 1.2m wide path of travel shall be maintained along the Cross Street road reserve outside the subject site to ensure adequate pedestrian access along the footpath reserve.
- (3) A hardstand car parking space immediately in front of the proposed secondary dwelling and the Cross St road boundary shall be maintained and cleared of any obstructions that would otherwise restrict the ability of being used for off street car parking.







# Proposed Use of Existing Studio & Rear Addition as Secondary Dwelling

Lot 3 DP 32942, No 5 Cross Street, Port Macquarie NSW

For & on behalf of: Fran Barratt and Steve McGrath

September 2020

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# Proposed Use of Existing Studio & Rear Addition as Secondary Dwelling

Lot 3 DP 32942, No. 5 Cross Street, Port Macquarie

September 2020

AAP Reference: 2020 - 022

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PO BOX 2196 PORT MACQUARIE NSW 2444 PH 02 6583 1305 FAX 02 6583 1368

This report has been prepared in accordance with an agreement between All About Planning Pty Ltd, Fran Barratt and Steve McGrath.

In preparing this report, All About Planning Pty Ltd has used and relied on data, plans and information provided by Beukers & Ritter Consulting, Fran Barratt & Steve McGrath as detailed in this document. Except as otherwise stated, the accuracy and completeness of the information provided to All About Planning Pty Ltd for this assessment has not been independently verified.

This report by All About Planning Pty Ltd should be read in conjunction with the following documents:

Site and Floor Plans prepared by All About Planning Nos. A.01 & A.02, dated the 3<sup>rd</sup> and 9<sup>th</sup> September 2020

For and on behalf of All About Planning Pty Ltd.

Peter Chapman

Bachelor Urban & Regional Planning

Graduate Diploma Environmental & Local Government Law

Member Planning Institute Australia, Member ICTCS, Certified Practicing Planner

Director

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www.allaboutplanning.com.au
ABN 46 105 052 015

# 1.0 INTRODUCTION

This Statement of Environmental Effects (SEE) has been prepared in support of an application to Port Macquarie – Hastings Council for the Proposed Use of Existing Studio & Rear Addition as Secondary Dwelling at No. 5 Cross Street, Port Macquarie, legally described as Lot 3 DP 32942.

This Development Application is lodged concurrently with a Building Certificate application relating to the  $2m \times 3.6m$  rear, single storey addition that has been partially completed on the studio.

The subject site is zoned RI General Residential under the PMHC LEP 2011. The proposed use as a secondary dwelling will be located within the existing detached studio already on site.

This report addresses the nature of the development, the characteristics of the site and surrounding area and the impacts of using the existing studio as a secondary dwelling. Consideration has been given to Council's LEP and DCP 2013. An assessment of the proposed development under the provisions of Section 4.15 of the NSW Environmental Planning and Assessment Act, 1979 is also included.

#### 2.0 DESCRIPTION OF SITE AND LOCALITY

The site is located at 5 Cross Street, Port Macquarie on land legally described as Lot 3 DP 32942. The site is rectangular in shape with front (to Cross Street) and rear boundaries of 17m, and side boundaries of 41m. The site has a total area of approx. 698m² (see Error! Reference source not found. and 2).

The site is occupied by a single storey detached weatherboard cottage with corrugated iron roof facing Cross Street and ancillary structures, including a detached single storey studio Council approved for use as an art gallery in 2013. All services are available from the street frontage (ref to Figures 3 to 7 on following pages).

A copy of the site plan is at Figure 9 (refer to following pages).

The modified 1950's period dwelling at No.5 is set within a (predominantly native) attractively landscaped garden area which includes a number of mature established trees and shrubs. The existing (primary) dwelling has a floor area of approximately 111m<sup>2</sup>.

The subject existing detached single storey, weatherboard studio is located adjacent to the main dwelling (on it's northern side), setback approx. 3.8m from Cross Street and approx. 0.9m from the northern side boundary. The main studio sits on a concrete slab, has overall dimensions of 3.7m x 6.2m, a resultant floor area of 22.8m², with a kitchen in front of the main area behind. To the rear of the studio, off the main area is a 2m x 3.6m single storey building addition which is part way through construction. This is a piered weatherboard structure with a roof line matching the existing but sitting just below the main studio roof. The overall total floor area of the existing studio is thus 30m².



Figure 1: Location of Subject Site No. 5 Cross St, Port Macquarie (red highlighting)

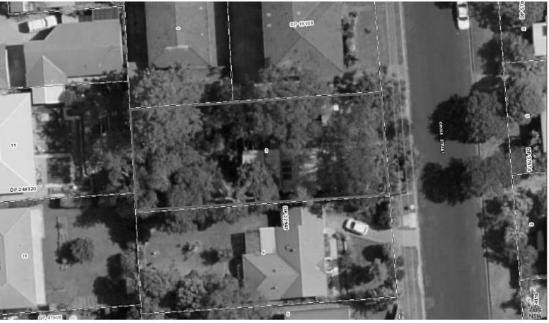


Figure 2: Detailed aerial view of subject site No. 5 Cross St, Port Macquarie and surrounds



Figure 3: Subject site viewed from Cross Street looking west with the studio on the right adjacent to the main dwelling on the left



Figure 4: Western front elevation of studio facing Cross St on subject site



Figure 5: Interior view of main Studio area



Figure 6: Interior view of partly completed rear addition on Studio



Figure 7: Exterior south western corner view of the partly completed rear addition on the Studio

## The Locality

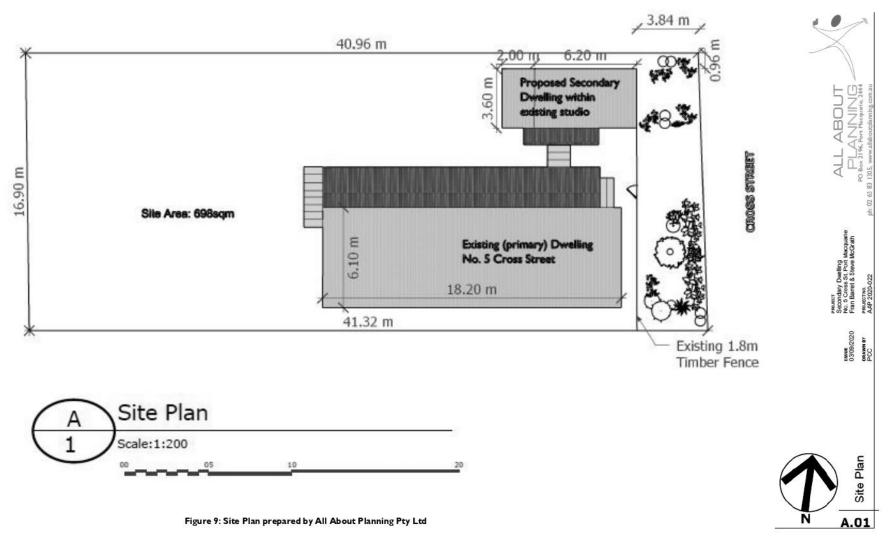
Cross Street is an entirely residential area with a mix of dwelling style, height and density. Residents of Cross Street enjoy excellent proximity to local beaches, the recently upgraded coastal walkway, Hastings Secondary College Eastport Campus, the CBD of Port Macquarie and key community facilities, including the local pool and library.

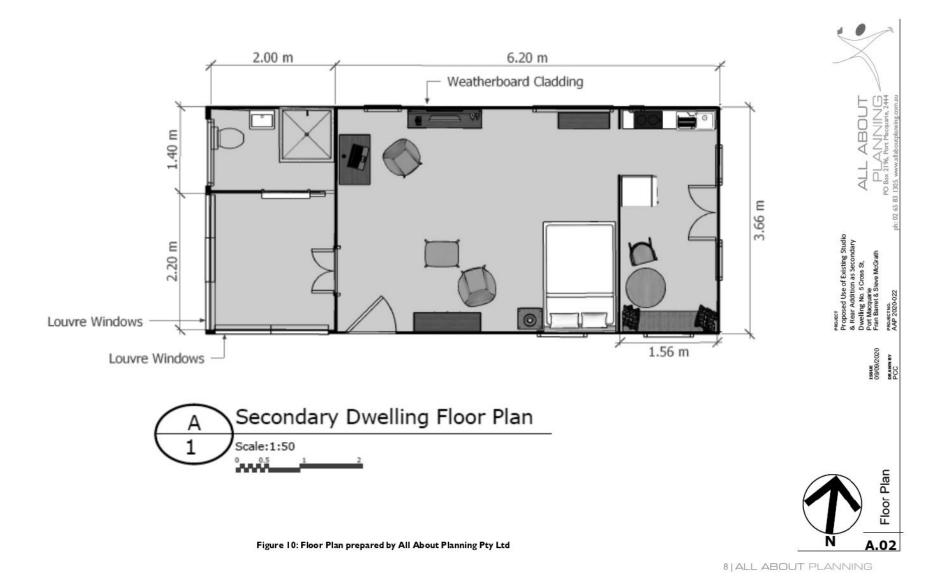
Cross Street includes a number of two and three storey residential flat buildings, including a couple of buildings located immediately to the north of the subject site at the intersection of Cross and Home Street and others further south intermixed with scattered single storey detached dwellings of various eras and a group of lower cost single storey units.

Immediately to the south of the site is one of a couple of more recently constructed single storey detached brick dwellings and opposite the site are more single storey detached weatherboard dwellings.



Figure 8: Adjoining residential flats immediately north of subject site, corner Cross Street and Home Street





Item 07 Attachment 3

# 3.0 DESCRIPTION OF PROPOSAL

The proposed development is the use of the existing studio & rear addition as a Secondary Dwelling as detailed on the submitted site & floor plans (ref Figures 9 and 10).

This Secondary Dwelling use is to include a partially completed  $2m \times 3.6m$  single storey rear addition that is the subject of a Building Certificate concurrently lodged with this DA to Council.

The Secondary Dwelling use is to include a front kitchen, a central living and bedroom area, and to the rear a secondary living area and bathroom (with shower, toilet and hand basin).

The Secondary Dwelling will maintain the existing boundary setbacks of the studio being 3.8m to the street and 900mm to the northern side boundary.

The Secondary Dwelling will have a total floor area of 30m<sup>2</sup> consisting of the main 22.8m<sup>2</sup> area + the 7.2m<sup>2</sup> rear addition with ceiling heights of 2.4m min.

The site does not currently have any onsite carparking and this situation will continue in the subject proposal.

# 4.0 PLANNING CONTROLS

The statutory and strategic planning instruments which guide this proposal are:

- Environmental Planning and Assessment Act 1979
- Environmental Planning and Assessment Regulation 2000
- State Environmental Planning Policy No. 55 Remediation of Land
- State Environmental Planning Policy (Exempt and Complying Codes) 2008
- State Environmental Planning Policy (Affordable Rental Housing) 2009
- Port Macquarie-Hastings Local Environmental Plan 2011
- Port Macquarie Hastings Development Control Plan 2013

# 4.1 Environmental Planning and Assessment Act 1979

This application is made under Part 4 of the Environmental Planning and Assessment Act 1979 (the Act). The proposal does not fall under any of the following classifications of the Act:

- Exempt or complying development (ref to assessment under the Exempt and Complying Codes SEPP later in this section)
- Integrated development
- Designated development

The proposal fully satisfies those matters raised under Section 4.15 of the EP&A Act as detailed later in this report in Section 5.

# 4.2 Environmental Planning and Assessment Regulation 2000

Clause 50 (How must a development application be made), of the Environmental Planning and Assessment Regulation 2000 (the Regulations) includes the following provisions:

- (I) A development application:
  - (a) Must contain the information, and be accompanied by the documents, specified in Part 1 of Schedule 1, and
  - (b) If the consent authority so requires, must be in the form approved by that authority, and
  - (c) Must be accompanied by the fee, not exceeding the fee prescribed by Part 15, determined by the consent authority, and
  - (d) Must be delivered by hand, sent by post or transmitted electronically to the principal office of the consent authority, but may not be sent by facsimile transmission.

The subject development application complies with the above provisions of the Environmental Planning and Assessment Act Regulation 2000.

Clause 92 (Additional matters that consent authority must consider), of the Regulations, includes the following provisions:

- (1) For the purposes of section 4.15(1) (a) (iv) of the Act, the following matters are prescribed as matters to be taken into consideration by a consent authority in determining a development application:
- (a) Repealed
- (b) in the case of a development application for the demolition of a building, the provisions of AS 260 I,

The subject site is located within the PMH LGA, and there is no building demolition proposed.

# 4.3 State Environmental Planning Policy No. 55 - Remediation of Land

Clause 7 (1)(a) of this planning instrument requires Council to consider whether land is contaminated in its assessment of a development application. Based on available information regarding the residential historical use of the site and it's location within an established area, it is considered that the subject site is unlikely to include any contaminated soil (or other contaminating agents) and it is considered suitable for the proposed Secondary Dwelling.

# 4.4 State Environmental Planning Policy (Exempt and Complying Codes) 2008

State Environmental Planning Policy (Exempt and Complying Codes) otherwise known as the Codes SEPP, outlines state wide provisions for minor development which are considered to have minor environmental impact and which can be carried out either as exempt or complying development. The Codes SEPP does not contain provisions for Secondary Dwellings as they are provided for under State Environmental Planning Policy (Affordable Rental Housing) 2009 – ref below.

# 4.5 State Environmental Planning Policy (Affordable Rental Housing) 2009

Division 2 (Secondary Dwellings) of State Environmental Planning Policy (Affordable Rental Housing) 2009 - (Affordable Housing SEPP) is applicable to the subject development.

The proposal as described, outlined and assessed in this SEE, demonstrably complies with the definition of a secondary dwelling as referenced in Division 2 being the following (from the standard instrument):

secondary dwelling means a self-contained dwelling that-

(a) is established in conjunction with another dwelling (the principal dwelling), and

- (b) is on the same lot of land (not being an individual lot in a strata plan or community title scheme) as the principal dwelling, and
- (c) is located within, or is attached to, or is separate from, the principal dwelling.

The site complies with the location requirements of both dause 20 and 21 of the Affordable Housing SEPP.

Clause 22 (Development may be carried out with consent), states that Secondary Dwellings may be carried out with consent of Council. The subject works will comply with Subclause 2 which prevents the issue of any such consent to development with more than a single primary and single secondary dwelling. Thus the permissibility of the proposal is established under the SEPP.

Subclause 22(3) limits the total floor area of the primary and secondary dwellings to the maximum permissible floor area under the PMH LEP 2011 and the secondary dwelling floor area to no more than 60m<sup>2</sup>. Under the PMH LEP 2011, the site has a permissible Floor Space Ratio of 0.65:1 which based on the site area of 698m<sup>2</sup> allows 453.7m<sup>2</sup> of total floorspace. With the Primary Dwelling having a floor area of approx 111m<sup>2</sup> and the Secondary Dwelling 30m<sup>2</sup> the total area of 141m<sup>2</sup> more than easily complies with the SEPP. The proposed area of the Secondary Dwelling being 30m<sup>2</sup> also complies with the 60m<sup>2</sup> subclause 3 maximum.

Subclause 22(4) prevents a consent authority from refusing a Secondary Dwelling proposal on the basis of site area if the land is at least 450m<sup>2</sup> which the subject site at 698m<sup>2</sup> complies with. Subclause 4 also prevents the refusal of subject applications on the basis of parking if no additional parking is to be provided onsite as is the case for this proposal.

Subclause 22(5), notes that a consent authority may consent to development to which this Division applies whether or not the development complies with the standards, (as it does in the subject development).

Further to the above Clause 22 of the Affordable Housing SEPP for Secondary Dwellings, it is noted that a Development Application has been lodged, not a Complying Development Application under the SEPP. Therefore, the other additional complying development standards within the SEPP are not directly applicable to the proposal other than being used as a guide to the assessment of the DA.

Clause 23 (Complying development), of the Rental Housing SEPP provides for in certain circumstances for Secondary Dwellings to be progressed as Complying Development (these include standards contained within Schedule I of the SEPP as called up by 23(I)(g). If any of the prerequisites for Complying Development are not met then a Development Application is required.

In the subject case the proposal meets the primary requirements being:

- zoned R I
- on a lot that has an area of at least 450 square metres,
- · it does not involve the erection of a basement or alterations or addition to an existing basement, and
- does not involve the erection of a roof terrace on the topmost roof of a building or alterations or addition to any such existing terrace.

In regard to the development standards of Schedule I of the SEPP the proposal meets those, with the exception of front setback as outlined in the following summary assessment table. As mentioned earlier these development standards for Complying Development are only indirectly applicable to the subject Development Application but are relevant inasmuch as they provide some resultant indication of impact assessment and Planning merit for the proposal.

Ohiostivos	Dovelonment Bussisians	Commiss	Comment
Objectives	Development Provisions	Complies Yes/No	Comment
2 Lot Requirements	(1) Development for the purposes of a secondary dwelling or ancillary development may only be carried out on a lot that—	Yes	The proposed development will only have a complying single primary and single secondary dwelling.
	<ul> <li>(a) at the completion of the development will have only one principal dwelling and one secondary dwelling, and</li> </ul>		The site has a complying width of 16.89m at the
	(b) if it is not a battle-axe lot, has a boundary with a primary road, measured at the building line, of at least the following—		front building line and has lawful access to Cross St being a public road.
	<ul> <li>(i) 12 metres, if the lot has an area of at least 450 square metres but not more than 900 square metres,</li> </ul>		
	<ul><li>(ii) 15 metres, if the lot has an area of more than 900 square metres but not more than 1500 square metres,</li></ul>		
	(iii) 18 metres, if the lot has an area of more than 1500 square metres, and		
	(c) if it is a battle-axe lot, has an access laneway of at least 3 metres in width and measuring at least 12 metres by 12 metres, excluding the access laneway.		
	(2) A lot on which a new secondary dwelling is erected must have lawful access to a public road.		
3 Maximum site coverage of all development	(1) The site coverage of the principal dwelling, secondary dwelling and all ancillary development on a lot must not be more than the following—  (a) 50 per cent of the area of the lot, if the lot has an area of at least	Yes	The subject proposal will have a complying site coverage of 141 m <sup>2</sup> which is less than the 50% site area figure of 349 m <sup>2</sup> .
	450 square metres but not more than 900 square metres,	.,	
4 Maximum floor area for principal and secondary dwelling	(1) The floor area of a secondary dwelling (excluding any ancillary development) must not be more than 60 square metres or, if a greater floor area is permitted in respect of a secondary dwelling on	Yes	The subject secondary dwelling will have a complying floor area of 30m <sup>2</sup> .

Schedule I Affordable Rental Housing SEPP 2009				
Objectives	Development Provisions	Complies Yes/No	Comment	
	the land under another environmental planning instrument, that greater floor area.			
	(2) The floor area of a principal dwelling, secondary dwelling and any carport, garage, balcony, deck, patio, pergola, terrace or verandah attached to either dwelling and enclosed by a wall (other than the external wall of a dwelling) higher than 1.4 metres above the floor level on a lot must not be more than the following—		The total floor area of the primary and secondary dwellings at 141 m <sup>2</sup> will comply with the 380 m <sup>2</sup> standard.	
	(b) 380 square metres, if the lot has an area of more than 600 square metres but not more than 900 square metres,			
5 Setbacks and maximum floor area for balconies, decks, patios, terraces and verandahs		N/A	The proposal does not have any decks within 6m of a side or rear boundary or level >2m above existing ground.	
6 Building height	(1) Development for the purposes of a secondary dwelling or ancillary development must not result in a new building or a new part of an existing building having a building height above ground level (existing) of more than 8.5 metres.	Yes	The existing studio proposed for use as a secondary dwelling has a complying single storey height of less than 8.5m.	
7 Setbacks from roads, other than classified roads	(I) Development for the purpose of a secondary dwelling or ancillary development on a lot must result in a new building or a new part of an existing building having a setback from a primary road that is not a classified road of at least—  (a) the average distance of the setbacks of the nearest 2 dwelling houses having the same primary road boundary and located within 40 metres of the lot on which the principal dwelling is erected, or  (b) if 2 dwelling houses are not located within 40 metres of the lot—  (i) in the case of a lot that has an area of at least 450 square metres but not more than 900 square metres—4.5 metres, or	No	The subject site has (immediately to the north) a residential flat building setback 6m from Cross Street and two adjoining detached dwellings setback 11m & 8m respectively (to the south) resulting in an average setback of 8.3m for the subject site. As the existing studio to be converted to the secondary dwelling is only setback 3.84m from Cross Street, this standard for Complying Development is not met and the subject Development Application is required to be lodged.  Nevertheless, the above 3.84m setback is supportable on the basis that no changes to the existing façade of the Studio are proposed and as the Studio's place and contribution to the streetscape is well established. In addition, the	

Schedule I Affordable Rental Housing SEPP 2009				
Objectives	Development Provisions	Complies Yes/No	Comment	
			entire frontage of the subject site is well landscaped providing greater than normal softening and screening to the street for both the Primary and proposed Secondary Dwellings.	
9 Setbacks from side boundaries	(I) Development for the purposes of a secondary dwelling or ancillary development must not result in a new building or a new part of an existing building or any new carport, garage, balcony, deck, patio, pergola, terrace or verandah having a setback from a side boundary of less than the following—  (a) 0.9 metres, if the lot has an area of at least 450 square metres but not more than 900 square metres,	Yes	The complying 900mm side setback of the existing Studio to be used as a Secondary Dwelling will be maintained.	
10 Setbacks from rear boundaries	(I) Development for the purposes of a secondary dwelling or ancillary development must not result in a new building or a new part of an existing building or any new carport, garage, balcony, deck, patio, pergola, terrace or verandah having a setback from a rear boundary of less than the following:  (a) 3 metres, if the lot has an area of at least 450 square metres but not more than 900 square metres,	Yes	The subject Secondary Dwelling will maintain a complying rear setback of 29m.	
13 Building articulation	(1) Development for the purpose of a secondary dwelling (other than development on a battle-axe lot) must result in either the principal dwelling or the secondary dwelling having a front door and a window to a habitable room in the building wall that faces a primary road.	Yes	Both the existing Principal Dwelling and the Secondary Dwelling use of the Studio will comply with the SEPP provisions.	
15 Privacy	(I) A window in a new secondary dwelling, or a new window in any alteration or addition to an existing principal dwelling for the purpose of a new secondary dwelling, must have a privacy screen for any part of the window that is less than 1.5 metres above the finished floor level if—  (a) the window—	N/A	None of the windows in the existing Studio proposed to be used as the Secondary Dwelling will be in a habitable room with a floor level > I m above existing ground.	
	(i) is in a habitable room that has a finished floor level that is more than I metre aboveground level (existing), and			

Schedule I Affordable Rental Housing SEPP 2009				
Objectives	Development Provisions	Complies Yes/No	Comment	
	(ii) has a sill height that is less than 1.5 metres above that floor level, and			
	(iii) faces a side or rear boundary and is less than 3 metres from that boundary, or			
	(b) the window—			
	(i) is in a habitable room that has a finished floor level that is more than 3 metres above ground level (existing), and			
	(ii) has a sill height that is less than 1.5 metres above that floor level, and			
	(iii) faces a side or rear and is at least 3 metres, but no more than 6 metres, from that boundary.			
16 Landscaped Area	(1) A lot on which development for the purposes of a secondary dwelling or ancillary development is carried out must have a landscaped area of at least the following—	Yes	The subject site will maintain an existing and complying landscaped area of 375m² with at least 50% is behind the building line	
	(b) 25 per cent, if the lot has an area of more than 600 square metres but not more than 900 square metres,		and complies with the 2.5m width requirement.	
	(2) At least 50 per cent of the landscaped area must be located behind the building line to the primary road boundary.			
	(3) The landscaped area must be at least 2.5 metres wide.			
17 Principal Private Open Space	(I) A lot on which development for the purposes of a secondary dwelling is carried out must have more than 24 square metres of principal private open space.	Yes	The subject site will maintain the existing approx. 375m² of rear private open space that will be available to both the	
	(1A) The principal private open space may be shared by both the principal dwelling and secondary dwelling and may be in the form of a balcony or deck.	Primary and Secondary Dwellings.	Primary and Secondary Dwellings.	

# 4.6 Port Macquarie Hastings Local Environmental Plan 2011

As indicated by the following map extract from the Port Macquarie Hastings Local Environmental Plan 2011, the subject site is zoned R1 General Residential under the PMH LEP 2011.

Statement of Environmental Effects – Proposed Secondary Dwelling in Existing Studio
No. 5, Cross Street, Port Macquarie



Figure 11: Extract from the PMHC LEP2011, Map LZN013FA. The site is highlighted in red.

The objectives of the RI General Residential Zone from the PMH LEP 2011 are as follows:

#### Zone RI General Residential

#### I Objectives of zone

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

The permissibility of the subject Secondary Dwelling proposal is primarily established under State Environmental Planning Policy (Affordable Rental Housing) 2009 – ref to the earlier section 4.5 of this SEE. Secondary Dwellings are also permissible with consent within the RI General Residential under the PMH LEP 2011. The proposal is also not inconsistent with the above objectives of the zone, is an appropriate form of development in the area, and will create no adverse impact on any adjacent residential use.

Clause 5.4 (Controls relating to miscellaneous permissible uses), subsection (9) of the PMH LEP 2011 manages the maximum floor area of Secondary Dwellings (as does clause 22(3) of the Affordable Housing SEPP) in stating the following:

- (9) Secondary dwellings If development for the purposes of a secondary dwelling is permitted under this Plan, the total floor area of the dwelling (excluding any area used for parking) must not exceed whichever of the following is the greater—
  - (a) 60 square metres,
  - (b) 33% of the total floor area of the principal dwelling.

The Secondary Dwelling will have a total floor area of 30m² consisting of the main (previous studio) 22.8m² area + the 7.2m² partially completed rear addition. The Primary/ Principal Dwelling has a floor area of approximately

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 $111 \, \text{m}^2$  of which 33% is 33.3  $\, \text{m}^2$ . As this is less than the  $60 \, \text{m}^2$  (above mentioned) maximum, the relevant standard is  $60 \, \text{m}^2$  which the proposal complies with.

#### 4.7 Port Macquarie - Hastings Council Development Control Plan 2013

Part B - General Provisions of the Port Macquarie Hastings Development Control Plan 2013 (PMHC DCP 2013) does not have specific provisions that apply to the subject Secondary Dwelling proposal.

Part C – Development Specific Provisions, C1 Low Density Residential Development does apply as assessed below.

#### Part C Development Specific Provisions

CI Low Density Develop	CI Low Density Development PMHC DCP 2013			
Objectives	Development Provisions	Complies Yes/No	Comment	
44. Front Setbacks Front setbacks should support an attractive streetscape.	Primary Frontage 4.5m	N/A	The front setback of the primary dwelling and the existing studio to be converted to a Secondary Dwelling are (respectively) 5m and 3.84m.  Please refer to the assessment of front setback provided earlier under the Affordable Housing SEPP, Schedule I, 7 Setbacks from roads, other than classified roads.  On the above basis it is submitted that this standard of the DCP does not apply to the proposal.	
46. Side and Rear Setbacks  • To ensure no adverse overshadowing or privacy impacts to neighbouring properties.  • To allow adequate natural light and ventilation between dwellings/buildings and to private open space areas.  • To provide useable yard areas and open space.  47.Objective  • To reduce overbearing and perceptions of building bulk on adjoining properties.  • To provide for visual and acoustic privacy between dwellings.	a) A minimum rear boundary setback of 4m is to be provided to dwellings (including verandahs, patios and decks).  a) Ground floors (being < 1m above existing ground level) should be setback a minimum of 900mm from side boundaries.	Yes	The subject Secondary Dwelling will maintain a complying rear setback of 29m.  The subject Secondary Dwelling will maintain the existing complying side setbacks of 0.9m.	

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Statement of Environmental Effects – Proposed Secondary Dwelling in Existing Studio No. 5, Cross Street, Port Macquarie

CI Low Density Development PMHC DCP 2013			
Objectives	Development Provisions	Complies Yes/No	Comment
48 Private Open Space To encourage useable private open space for dwellings to meet the occupants' requirements for privacy, safety, access, outdoor activities and landscaping.	All dwellings should have a minimum area of private open space of 35m2, which includes a principal private open space area with:  - a minimum dimension of 4m x 4m, and - a maximum grade of 5% for minimum 4m x 4m of the total open space requirement, and - direct accessibility from a ground floor living area and orientated to maximise use.	Yes	Further to the assessment under the Affordable Housing SEPP Schedule I, I7 Principal Private Open Space, the subject site will maintain the existing approx. 375m² of rear private open space that will be available to both the Primary and Secondary Dwellings.  As allowed for under the Affordable Housing SEPP the Primary & Secondary Dwellings can share this space.
51 Bulk and Scale To protect the visual privacy of on-site and nearby residents	a) Direct views between indoor living rooms and principal private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots, including possible dwellings on future lots, should be obscured or screened where:  - Ground and first floor (and above) indoor living room windows are within a 9m radius.  - Direct views between principal private open space areas where within a 12m radius.  - Direct views between indoor living rooms of dwellings into the principal area of private open space of other dwellings within a 12m radius.	N/A	Please refer to the assessment of privacy under Schedule I, 15 Privacy, of the Affordable Rental Housing SEPP 2009.  Nonetheless the adjoining property immediately to the north being the residential flat building at No. 24 Home Street does not have any principal private open space or living rooms adjacent to the proposed Secondary Dwelling use.

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# 5.0 MATTERS WHICH A CONSENT AUTHORITY MUST CONSIDER WHEN DETERMINING A DEVELOPMENT APPLICATION

# 5.1 s.4.15 (1)(a)(1) the provision of any Environmental Planning Instrument (EPI)

This Statement of Environmental Effects has included specific consideration of the following Environmental Planning Instruments:

- Environmental Planning and Assessment Act 1979
- Environmental Planning and Assessment Regulation 2000
- State Environmental Planning Policy No. 55 Remediation of Land
- State Environmental Planning Policy (Exempt and Complying Codes) 2008
- State Environmental Planning Policy (Affordable Rental Housing) 2009
- Port Macquarie-Hastings Local Environmental Plan 2011

### 5.2 s.4.15 (1)(a)(ii) the provision of any draft Environmental Planning Instruments

Not applicable.

#### 5.3 s.4.15 (1)(a)(iii) any Development Control Plan

The Port Macquarie – Hastings Development Control Plan 2013 has been considered in the assessment of this application.

#### 5.4 s.4.15 (1)(a)(iv) any matters prescribed by the regulations

Not applicable.

# 5.5 s.4.15 (1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

#### Context and Setting

The proposed secondary dwelling use of the existing studio is of an appropriate scale and size that is consistent with its context of residential development and the existing structures on the site.

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#### Access, Transport and Traffic

The subject site does not currently have any onsite parking which is proposed to continue to be the situation in the subject application.

#### Public Domain

The secondary dwelling use will not have an adverse impact on the public domain.

#### Utilities

The site is currently serviced by all utilities. The proposed development will not place any unreasonable burden on utilities in the area.

#### **Heritage**

Not applicable.

#### Flora and Fauna

There is no flora or fauna that will be affected by the proposal. The proposal will not involve the removal of any vegetation or other habitat within the site.

#### Noise and Vibration

Not Applicable

#### Social Impact in the Locality

Not applicable

#### Economic Impact in the Locality

Not applicable.

#### Construction

The proposed development is to be located within the existing studio, with no Construction proposed other than that required to complete the small rear addition.

#### Cumulative Impacts

The proposed development will not create any perceptible cumulative impact in the locality.

#### 5.6 s.4.15 (1)(c) suitability of the site for development

Having regard to the location of the subject site and the preceding assessment of the proposal, the site will adequately accommodate the proposed secondary dwelling use in that:

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Statement of Environmental Effects – Proposed Secondary Dwelling in Existing Studio

- The proposal is in context and scale with surrounding development and the existing structures on the site.
- As assessed in this SEE, the proposal will not create any detrimental environmental impacts on any of
  the adjoining properties in the form of (for example) an inappropriate bulk and scale, overshadowing or
  privacy.
- The proposal in almost all capacities (other than front setback) complies with the Complying
   Development requirements for Secondary Dwellings of the Affordable Rental Housing SEPP which
   points to the reasonableness and planning merits of the proposal, in addition to the compliance with the
   development standards.
- The proposal will only be used in conjunction with the ongoing occupancy of the existing dwelling
- The adjacent residential developments do not pose any prohibitive constraints and will not be detrimentally affected by the proposal; and
- The site is not subject to any natural hazards that may inhibit its operation in the proposed form.

# 5.7 s.4.15 (1)(d) submissions made in accordance with the Act or the Regulations

Port Macquarie - Hastings Council as the Consent Authority will need to consider any submissions received in response to the public exhibition of the proposed development. If it is helpful a review and response to any submissions made can be provided by the applicants.

#### 5.8 s.4.15 (1)(e) the public interest

There are no known Federal and/or State Government policy statements and/or strategies other than those discussed in this report that are of relevance to this particular case. We are not aware of any other circumstances that are relevant to the consideration of this development application.

The proposed development is in the public interest.

Statement of Environmental Effects – Proposed Secondary Dwelling in Existing Studio
No. 5, Cross Street, Port Macquarie

#### 6.0 CONCLUSION

The proposed Use of Existing Studio & Rear Addition as Secondary Dwelling is a relatively minor additional use of the site, which is permissible in the RI General Residential Zone.

The proposal is consistent with the adopted zone objectives and has planning merit. The proposed use of the studio will not result in any impacts on adjoining properties or environmental harm and will be consistent with the residential character and nature of the area.

The proposal is appropriate for its location and is recommended for Council's approval.

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Item: 08

Subject: DA2020 - 566.1 ALTERATIONS AND ADDITIONS TO DWELLING AND

CONSTRUCTION OF FRONT FENCE AT LOT 90 DP 246284, NO 5

CORNWALLIS CLOSE, PORT MACQUARIE

Report Author: Building Surveyor, Anna Sticker

Applicant: B R Development Consulting Pty Ltd

Owner: M A Howard Estimated Cost: \$250 000 Parcel no: 5173

#### **Alignment with Delivery Program**

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

#### RECOMMENDATION

That DA 2020 - 566.1 for alterations and additions and construction of front fence at Lot 90, DP 246284, No. 5 Cornwallis Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.

#### **Executive Summary**

This report considers a development application for alterations and additions to dwelling and construction of a front fence at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, two (2) submissions were received.

The site is considered to be suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the attached conditions (**Attachment 1**).

#### 1. BACKGROUND

#### **Existing Sites Features and Surrounding Development**

The site has an area of 758 m<sup>2</sup>.



The site is zoned R1 General Residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:





#### 2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Alterations and additions to dwelling;
- Construction of a new front fence.

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

#### **Application Chronology**

- 20 July 2020 Application lodged.
- 30 July 2020 12 August 2020 Neighbour notification.
- 4 August 2020 1 submission received.
- 5 August 2020 1 additional submission received.
- 30 September 2020 Additional information requested from applicant.
- 4 November 2020 Revised plans submitted.
- 5 November 2020 Revised plans forwarded to objectors.
- 12 November 2020 Additional shadow diagrams submitted.
- 13 November 2020 Concerns remain for objectors.

#### 3. STATUTORY ASSESSMENT

#### Section 4.15(1) Matters for Consideration

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

#### State Environmental Planning Policy (Koala Habitat Protection) 2019

Clause 10 - The site isn't identified on the Koala Development Application Map or under a Koala Plan of Management and the land has an area less than 1 hectare including adjoining land in the same ownership. The SEPP does not prevent the granting of consent on the land being less than 1 hectare in area. The application has also demonstrated that no habitat will be removed or modified therefore no further investigations are required.

#### State Environmental Planning Policy No. 44 - Koala Habitat Protection

There is no Koala Plan of Management on the site. Additionally, the site is less than that in area therefore no further investigations are required.

#### State Environmental Planning Policy No. 55 - Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.



#### State Environmental Planning Policy (Coastal Management) 2018

The site is located within a coastal use area / coastal environment area.

Clause 7 - This SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.

Having regard to clauses 13 and 14 of the SEPP the proposed development is not considered likely to result in any of the following:

- a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;
- b) any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on Aboriginal cultural heritage, practices and places;
- e) any adverse impacts on the cultural and built environment heritage;
- f) any adverse impacts the use of the surf zone;
- g) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands;
- h) overshadowing, wind funneling and the loss of views from public places to foreshores;
- any adverse impacts on existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability;

Clause 15 - The proposal is not likely to cause increased risk of coastal hazards on the land or other land.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is predominately cleared and located within an area zoned for residential purposes.

### State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate number A383721 has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

#### Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 The subject site is zoned R1 General Residential.
- Clause 2.3(1) and the R1 zone landuse table, the (dwelling or ancillary structure to a dwelling) is a permissible landuse with consent.
- Clause 2.3(2) The objectives of the R1 zone are as follows:
  - To provide for the housing needs of the community.
  - To provide for a variety of housing types and densities.



 To enable other land uses that provide facilities or services to meet the day to day needs of residents

The proposal is consistent with the zone objectives as it is a permissible landuse and consistent with the established residential locality. The proposal contributes to the range of housing options in the locality.

- Clause 2.7 The demolition requires consent as it does not fit within the provisions of SEPP (Exempt and Complying Development Codes) 2008.
- Clause 4.3 The maximum overall height of the building above ground level (existing) is 6.335 m, which complies with the standard height limit of 8.5 m applying to the site.
- Clause 4.4 The floor space ratio of the proposal is 0.57:1 which complies with the maximum 0.65:1 floor space ratio applying to the site.
- Clause 7.1 The site is mapped as potentially containing class 3 acid sulphate soils. The proposed development does not include excavation extending 1m below the natural surface level. No adverse impacts are expected to occur to the acid sulphate soils found on site.
- Clause 7.3 The site is land within a mapped "flood planning area" (Land subject to flood discharge of 1:100 annual recurrence interval flood event (plus the applicable climate change allowance and relevant freeboard) In this regard the following comments are provided which incorporate consideration of the objectives of Clause 7.3, Council's Flood Policy 2015, the NSW Government's Flood Prone Lands Policy and the NSW Government's Floodplain Development Manual (2005):
  - The proposal is compatible with the flood hazard of the land taking into account projected changes as a result of climate change;
  - The proposal will not result in a significant adverse effect on flood behaviour that would result in detrimental increases in the potential flood affectation of other development or properties;
  - The proposal incorporates measures to minimise and manage the flood risk to life and property associated with the use of land;
  - The proposal is not likely to significantly adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses;
  - The proposal is not likely to result in unsustainable social and economic costs to the community as a consequence of flooding.
    - 1. Referral to Councils flood officer was undertaken and comments provided that the proposal complies with Council's Flood Policy 2018. Two standard conditions relating to the building material and structural requirements of the new components of the building have been added.
- Clause 7.13 Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.
- (ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply to the site.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013



	DCP 2013: Part B - General Provisions - B2: Environmental Management			
DCP Objective	<b>Development Provisions</b>	Proposed	Complies	
3	a) Development must comply with Council's Developments, Public Place and Events - Waste Minimisation and Management Policy.	Satisfactory arrangements can be put in place for storage and collection of waste. A standard condition is recommended for construction waste management.	Yes	
Cut and Fi	II Regrading			
4	a) Development shall not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building (This does not apply to buildings where such cut and fill is fully retained within or by the external walls of the building).	Cut and fill <1.0m change 1m outside the perimeter of the external building walls - minimal site levelling only.	Yes	
5	a) A certified practicing structural engineer must certify any retaining wall greater than 1.0m.	No retaining wall proposed	N/A	

DCP 2013:	Part B - General Provision - B	3: Hazards Management	
Bushfire H	azard Management		
18	a) APZs are to be located outside of environmental protection zones and wholly provided within private land. Note perimeter roads provided as part of a residential subdivision are classified as being part of the subdivision and not a separate permissible land use within environment protection zones.	The site is not bushfire affected	N/A
Flooding			
19	a) Development must comply with Council's Floodplain Management Plan and Flood Policies.	The proposed works comply with Councils Flood Policy. The consent has been conditioned accordingly	Yes



DCP 2013: Part B- General Provisions- B4: Transport, Traffic Management, Access and Car Parking			
DCP Objective	Development Provisions	Proposed	Complies
Road Hiera	archy		
Parking Pr	rovision		
24	<ul><li>a) Off-street Parking is provided in accordance with Table 3:</li><li>1 parking space per each dwelling for dwelling-house.</li></ul>	1 or capacity for more than 1 parking space behind the building line has been provided for.	Yes
Parking La	ayout		
28	c) Parking spaces shall generally be behind the building line but may be located between the building line and the street when:  - it is stacked parking in the driveway; or  - it can be demonstrated that improvements to the open space provided will result; and  - the spaces are screened (densely landscaped or similar) from the street by a landscaping with a minimum width of 3.0m for the entire length of the parking area.	Parking space behind the building line has been provided for.	Yes
	d) Parking design and layout is provided in accordance with AS/NZS 2890.1 - Parking facilities - Off-street car parking.	Driveway grades capable of complying with AS/NZS 2890.1. Section 138 Roads Act approval required for crossover. A standard condition is recommended.	Yes
34	a) All parking and manoeuvring spaces must be designed to avoid concentrations of water runoff on the surface.	Single dwelling only with 1 domestic driveway. Stormwater drainage is capable of being managed on site as part of Section 68 and Construction Certificate approval.	Yes



DCP 2013: Part B - General Provisions - B5: Social Impact Assessment and Crime Prevention			
DCP Objective	Development Provisions	Proposed	Complies
Crime Prev	vention		
43	<ul> <li>a) The development addresses the generic principles of crime prevention:</li> <li>Casual surveillance and sightlines;</li> <li>Land use mix and activity generators;</li> <li>Definition of use and ownership;</li> <li>Basic exterior building design;</li> <li>Lighting;</li> <li>Way-finding; and</li> <li>Predictable routes and entrapment locations;</li> <li>as described in the Crime Prevention Through Environmental Design (CPTED) principles.</li> </ul>	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes

DCP 2013: Part C - Development Specific Provisions - C1: Low Density Residential Development						
DCP Objective	Development Provisions	Proposed	Complies			
Front Setb	Front Setbacks					
44	<ul> <li>a) Dwellings may incorporate an articulation zone to a street frontage at no less than 3m from property boundary. The following building elements are permitted within the articulation zone: <ul> <li>an entry feature or portico;</li> <li>a balcony, deck, patio, pergola, terrace or verandah;</li> <li>a window box treatment;</li> <li>a bay window or similar feature;</li> <li>an awning or other feature over a window;</li> <li>a sun shading feature.</li> </ul> </li> </ul>	No elements are proposed within the articulation zone.	N/A			



	b) These building elements should not extend above the eave gutter line, other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the dwelling house. c) The primary road front setback shall be: Classified road = any frontage 6.0m Primary frontage = 4.5m	Front building line setback is compliant with the minimum 4.5m front setback requirements - 5.5m proposed.	Yes
45	a) A garage, carport or car parking space should:  - be at least 1m behind the building line, where the dwelling(s) has a setback from a front boundary of 4.5m or more, or  - be at least 5.5m from a front boundary, where the dwelling(s) has a setback of less than 4.5m.	Garage door setback is compliant with the minimum front setback requirements - 5.5m proposed. Garage door recessed.	Yes
	b) The total width of the garage/carport openings should not be more than 6m and not more than 50 per cent of the width of the building.	Width of garage door/s are compliant with the maximum width requirements - 4.8m proposed.	Yes
	c) Driveway crossovers are no greater than 5.0m in width.	The proposed extension of the existing driveway crossover to 5m, is compliant with the maximum width requirements	Yes
Side and F	Rear Setbacks		
46	a) A minimum rear boundary setback of 4m is to be provided to dwellings (including verandahs, patios and decks).	Rear setbacks are compliant. 15.5m proposed	Yes
	b) A minimum rear boundary setback of 900mm applies to sheds and swimming pools subject to achieving minimum required private open space area.	Swimming pool existing	N/A
47	a) Ground floors (being <1m above existing ground level) should be setback a	The minimum side setback requirements for ground floors are	Yes



		l' ( 4.405	
	minimum of 900mm from	compliant - 1.125m on	
	side boundaries.	western boundary and	
		4.65m on eastern	
		boundary.	
	b) First floors and above	There is an existing 2	Yes
	(including single storey with	storey dwelling on the site	165
	floor level >1m) should be	and the proposal is for an	
	setback a minimum of 3m	extension to the front and	
	from the side boundary, or	rear of the dwelling.	
	reduced down to 900mm	Existing side boundary	
	where it can be	setbacks for the upper	
	demonstrated that the	level of 4.65m for the	
	adjoining property's primary	eastern boundary and	
	living rooms and principal	1.125m for the western	
	private open space areas	boundary will be	
	are not adversely	maintained.	
	overshadowed for more		
	than 3hrs between 9am -	Shadow diagrams have	
	3pm on 21 June.	been provided which	
		demonstrate that principal	
		private open spaces for	
		the adjoining properties	
		will not be adversely	
		overshadowed for more	
		than 3 hours between	
		9am - 3pm on 21 June.	
	c) First floors and above	The building wall	No but
	should have building walls	articulation on the eastern	deemed
	that step in and out at least	boundary is compliant as	satisfactory.
	every 12m by a minimum of	with a setback greater	See
	500mm articulation. Where	than 3m (4.65m	justification
	first floors and above are	proposed). The building	below.
	setback >3m, wall	wall articulation on the	
	articulation is not required.	western boundary is a	
		total length of 13.97m,	
		which exceeds the 12m	
		requirement, however is	
		deemed satisfactory to	
		address the intent of the	
		development provision.	
Private Op	pen Space		
48.	a) All dwellings should have	The dwelling contains	Yes
	a minimum area of private	35m <sup>2</sup> open space in one	
	open space of 35m2, which	area including a useable	
	includes a principal private	4m x 4m space.	
	open space area with:	x iiii opado.	
	a minimum dimension		
	of 4m x 4m, and		
	-		
	<ul> <li>a maximum grade of</li> <li>5% for minimum 4m x</li> </ul>		
	4m of the total open		
Ī	space requirement, and		



	<ul> <li>direct accessibility from a ground floor living area and orientated to maximise use.</li> </ul>		
	b) Private open space may include clothes drying areas and garbage storage.	Noted	
Public Do	main and Fencing		
49	a) Front fences built forward of the building line for the primary road frontage should be detailed on the development application plans.	The proposed front fence design is considered to meet the fencing provisions and objectives of DCP 2013. No adverse impacts will occur.	Yes
	<ul> <li>b) Solid Front fences up to</li> <li>1.2m high should be:</li> <li>Setback 1.0m from the front boundary, and</li> <li>Suitably landscaped to reduce visual impact, and</li> <li>Provide a 3m x 3m splay for corner sites.</li> </ul>	Solid front fence is not proposed.	N/A
	b) Front fences proposed to be more than 1.2m high should be a maximum of 1.8m in height, above existing front property boundary level, and either:  - Include landscaped recesses having minimum dimensions of 1.8m long x 900mm deep which occupy no less than 50% of the total length of the fence, or  - be erected up to the front boundary for a maximum length of 6.0m or 50% of the street frontage,	1.8m maximum height proposed. Fence construction to be of a combination of timber and metal slat fencing. Landscaped recesses meeting the fencing provisions and objectives of DCP 2013 have been provided.	Yes
	c) have openings which make it not less than 25% transparent (no individual opening more than 30mm wide);	Proposed slat fencing complies with this requirement.	Yes
	e) provide a 900mm x 900mm splay for vehicle driveway entrances.	1.8m x 900mm splay proposed at driveway entrance.	Yes



51	a) Direct views between indoor living rooms and principal private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots, including possible dwellings on future lots, should be obscured or screened where:  - Ground and first floor (and above) indoor living room windows are within a 9m radius.  - Direct views between principal private open space areas where within a 12m radius.  - Direct views between indoor living rooms of dwellings into the principal area of private open space of other dwellings within a 12m radius.	The window in the living area is existing. The 2 new windows on the western boundary are proposed to be obscured and frosted.  The development will not compromise privacy in the area due to a combination of lack of windows on side/rear boundaries, limiting living areas that face adjoining living areas/open space.	Yes
	b) A balcony, deck, patio, pergola, terrace or verandah should have a privacy screen where there are direct views of:  Indoor living room windows of adjacent dwellings, including proposed dwellings approved on adjoining lots within 9m radius; or  Principal areas of private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots within a 12m radius.	The proposal includes a front deck with no proposed screening. This is deemed adequate as the deck faces the public open space of the street frontage.  The application also includes a first storey rear deck which has no screening proposed.  Similar to the street frontage, the deck at the rear faces the public open space of the canal. All rear private open spaces along the canals are overlooked by adjoining properties. A privacy screen is not considered necessary.	Yes
	d) Direct views described above may be reduced or obscured by one of the following measures (details to be submitted with the development application):	Upper level windows on the western side of the dwelling are proposed to be obscured and frosted. Potential direct views from the lower level	



#### **AGENDA**

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<ul> <li>1.8m high fence or wall between ground-floor level windows or between a dwelling and principal private open space</li> <li>Screening of minimum 1.7m height, that has 25% openings (max), with no individual opening more than 30mm wide, is permanently fixed and is made of durable materials.</li> <li>A window, the whole of which has translucent glass and is not able to</li> </ul>	garage window and patio areas additions are obscured by an existing boundary fence.	
which has translucent glass and is not able to be opened.		

The proposal seeks to vary the Development Provision relating to 47 c)

"First floors and above should have a building walls that step in and out at least every 12m by a minimum of 500mm articulation. Where first floors and above are setback >3m, wall articulation is not required."

The relevant objectives are:

- To reduce overbearing and perceptions of building bulk on adjoining properties.
- To provide for visual and acoustic privacy between dwellings.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The proposal includes a first storey building wall on the western boundary that has a setback of 1.125m and is a total length of 13.97m. This exceeds the desired unarticulated wall by 1.97m but is deemed minimal.
- The adjoining property on the western boundary has a minimal setback and has no windows within the adjoining wall ensuring the overbearing perception of building bulk is reduced.

2.



#### **AGENDA**

# DEVELOPMENT ASSESSMENT PANEL 25/11/2020





Based on the above assessment, the variation proposed to the provision of the DCP are considered acceptable and the relevant objectives have been satisfied. The variation does not amount to an adverse impact or a significance that would justify refusal of the application.



(iiia) Any planning agreement that has been entered into under section 7.4 or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into relating to the site.

(iv) Any matters prescribed by the Regulations

#### Demolition of buildings AS 2601 - Clause 92

Demolition of the existing building on the site is capable of compliance with this Australian Standard and is recommended to be conditioned.

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality:

#### **Context and Setting**

The proposal will not have any significant adverse impacts on existing adjoining properties and satisfactorily addresses the public domain.

The proposal is considered to be compatible with other residential development in the locality and adequately addresses planning controls for the area.

The proposal does not have a significant adverse impact on existing view sharing.

The proposal does not have significant adverse lighting impacts.

There are no significant adverse privacy impacts.

There are no significant adverse overshadowing impacts. The proposal does not prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June.

#### **Access, Traffic and Transport**

The proposal will not have any significant adverse impacts in terms access, transport and traffic. The existing road network will satisfactorily cater for any increase in traffic generation as a result of the development.

#### **Water Supply Connection**

Service available – details required with S.68 application.

#### **Sewer Connection**

Service available – details required with S.68 application.

#### Stormwater

Service available – details required with S.68 application.

#### Other Utilities

Telecommunication and electricity services are available to the site.

#### Heritage

This site does not contain or adjoin any known heritage item or site of significance. The site is considered to be disturbed land.



#### **AGENDA**

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#### Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

#### Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

#### Soils

The proposed development will not have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

#### Air and microclimate

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

#### Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

#### Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.

#### **Energy**

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

#### Noise and vibration

The construction of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

#### **Bushfire**

The site is not identified as being bushfire prone.

#### Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The increase in housing density will improve natural surveillance within the locality and openings from each dwelling overlook common and private areas.

#### Social impacts in the locality

Given the nature of the proposed development and its location, the proposal is not considered to have any significant adverse social impacts.

#### **Economic impact in the locality**

The proposal is not considered to have any significant adverse economic impacts on the locality. A likely positive impact is that the development will maintain employment



#### **AGENDA**

# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

in the construction industry, which will lead to flow impacts such as expenditure in the area.

#### Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality.

#### Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

#### **Cumulative impacts**

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

#### (c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

Site constraints of bushfire/flooding have been adequately addressed and appropriate conditions of consent recommended.

#### (d) Any submissions made in accordance with this Act or the Regulations

Following exhibition of the application in accordance with DCP 2013, 2 submissions were received. Copies of the written submissions have been provided separately to members of the DAP. Details of the issues raised are assessed below.



Submission Issue/Summary	Planning Comment/Response
Overshadowing concerns	Concerns were raised in both submissions relating to the overshadowing that the proposal may create. The applicant has provided shadow diagrams which satisfactorily demonstrate that the primary living rooms and principal private open space areas of both adjoining properties will not be adversely overshadowed for greater than 3 hours between the hours of 9am - 3pm.
Loss of Privacy	There is an existing first storey deck adjoining the eastern boundary which has no screening. Privacy impacts from the proposed new rear deck to the adjoining neighbour on the eastern side are considered to be no greater than what already exists.
	The original plans submitted proposed a deck that extended the entire length of the rear of the dwelling. Revised plans were submitted, reducing the deck size so that it no longer adjoins the western boundary.
	The potential privacy impacts from the proposed new decks is considered to be similar in nature to what is existing. The rear private open spaces along the canals are overlooked by adjoining properties and are open to the public open space of the canal.
	The loss of privacy concerns raised by the property to the east is in relation to overlooking of bedrooms, bathrooms and laundry, which are not considered to be primary living areas.  Overall, it is considered that the design of the proposal has had sufficient regard to managing privacy impacts - refer to DCP comments.
Non application related concerns	Concerns have been raised in the submission relating to a previous compliance issue with the subject property. This issue is not relevant to the proposed development assessment that forms part of this report. The objector has been advised accordingly.

#### (e) The Public Interest

The proposed development will be in the wider public interest with provision of appropriate additional housing.

The proposed development satisfies relevant planning controls and will not have any significant adverse impacts on the wider public interest.

#### (f) Ecologically Sustainable Development and Precautionary Principle



#### **AGENDA**

# DEVELOPMENT ASSESSMENT PANEL 25/11/2020

Ecologically sustainable development requires the effective integration of economic and environmental considerations in decision-making processes.

The four principles of ecologically sustainable development are:

- the precautionary principle,
- intergenerational equity,
- · conservation of biological diversity and ecological integrity,
- improved valuation, pricing and incentive mechanisms.

The principles of ESD require that a balance needs to be struck between the manmade development and the impact on the environment. Based on the assessment provided in the report and with recommended conditions of consent, it is considered that an appropriate balance has been struck.

#### (g) Climate change

The proposal is not considered to be vulnerable to any risks associated with climate change.

#### 4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

Development contributions will not be required under S64/S7.11 as the proposal is for a single dwelling only on an existing residentially zoned lot.

#### 5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment (Attachment 1) section of this report.

#### **Attachments**

1<u>↓</u>. □DA2020 - 566.1 Recommended Conditions 2↓. □DA2020 - 566.1 Plans



# FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2020/566 DATE: 16/11/2020

#### PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

#### A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Plan Set	Drawing No 10694-2 Site Existing Floor Proposed Floor Elevations Section	B.R. Development Consulting	11/11/2020 17/07/2020 22/10/2020 20/10/2020 20/10/2020
SOEE	-	Applicant	17/07/2020
BASIX Certificate	A383721	Beukers & Ritter Consulting	21/07/2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
  - a) the appointment of a Principal Certifying Authority and
  - b) the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

(3) (A009) The development site is to be managed for the entirety of work in the following manner:

- Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
- 2. Appropriate dust control measures;
- Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
- Building waste is to be managed via an appropriate receptacles into separate waste streams;
- Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
- Building work being limited to the following hours, unless otherwise permitted by Council;
  - Monday to Saturday from 7.00am to 6.00pm
  - No work to be carried out on Sunday or public holidays

The builder is to be responsible to instruct and control his subcontractors regarding the hours of work.

(4) (A091) All parts of the new structure below the applicable Flood Planning Level (1 in 100 flood level including climate change plus the relevant freeboard) shall be constructed from flood compatible materials compliant with the ABCB Standard for Construction of Buildings in Flood Hazard Areas. Consideration should also be given to the relevant provisions contained with the Hawkesbury-Nepean Floodplain Management Steering Committee document Reducing Vulnerability of Buildings to Flood Damage (2007). For the purpose of this requirement, the 1 in 100 year flood level including climate change may be assumed to be RL 3.64m AHD.

#### **B-PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE**

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
  - Position and depth of the sewer (including junction)
  - · Stormwater drainage termination point
  - Easements
  - Water main
  - Proposed water meter location.
- (2) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.

Such works include, but not be limited to:

- i. Footway and gutter crossing
- ii. Functional vehicular access.

(3) (B071) Prior to release of the Construction Certificate a practising chartered professional structural engineer is to provide certification to the PCA that the building is designed so that all new structural members are capable of withstanding flood forces and the impact of any debris (carried by floodwaters) likely to occur for a range of floods up to and including the 1 in 100 year flood including climate change and the relevant freeboard level of 500mm.

For the purpose of this requirement, the 1 in 100 year flood level including climate change may be assumed to be RL 3.64m AHD. Velocities to be adopted for the calculation of forces created by flood waters and debris loading shall be at least <a href="three">three</a> (3) times</a> the velocities for a 1 in 100 year flood including climate change plus freeboard. For the purpose of this requirement, the velocity for the 1 in 100 flood including climate change may be assumed to be 0.11m/s.

#### C - PRIOR TO ANY WORK COMMENCING ON SITE

Nil

#### **D - DURING CONSTRUCTION**

- (4) (D003) The Port Macquarie-Hastings area is known to contain rock that may contain naturally occurring asbestos (NOA). Should potential NOA be located on site notification shall be provided to Council and Workcover prior to works proceeding. No work shall recommence until a NOA management plan has been approved by Council or Workcover.
- (5) (D029) The demolition of any existing structure shall be carried out in accordance with Australian Standard AS 2601: The Demolition of Structures. No demolition materials shall be burnt or buried on site. The person responsible for the demolition works shall ensure that all vehicles leaving the site carrying demolition materials have their loads covered and do not track soil or waste materials onto the road. Should the demolition works obstruct or inconvenience pedestrian or vehicular traffic on an adjoining public road or reserve, separate application shall be made to Council to enclose the public place with a hoarding fence.

Should asbestos be present, its removal shall be carried out in accordance with the National OH&S Committee – Code of Practice for Safe Removal of Asbestos and Code of Practice for the Management and Control of Asbestos in Workplaces.

#### E - PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (3) (E034) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that

- all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (4) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.

#### F - OCCUPATION OF THE SITE

- (1) (F004) The dwelling is approved for permanent residential use and not for short term tourist and visitor accommodation.
- (2) (F035) The consent only permits the use of the building as a single dwelling and does not permit the adaption or use of the building so as to create a second occupancy.

# PROPOSED ADDITIONS 5 CORNWALLIS CL PORT MACQUARIE

FOR: HOWARD

### **BUILDING DETAILS**

DRAWING No 10694-2 REV E - 22/10/2020

DRAWING SCHEDULE		
SHEET No	TITLE	
1 2 3 4	COVER SHEET SITE PLAN EX FLOOR PLAN FLOOR PLAN	
5 6 7	ELEVATIONS SECTION & SPECIFICATIONS OH&S	



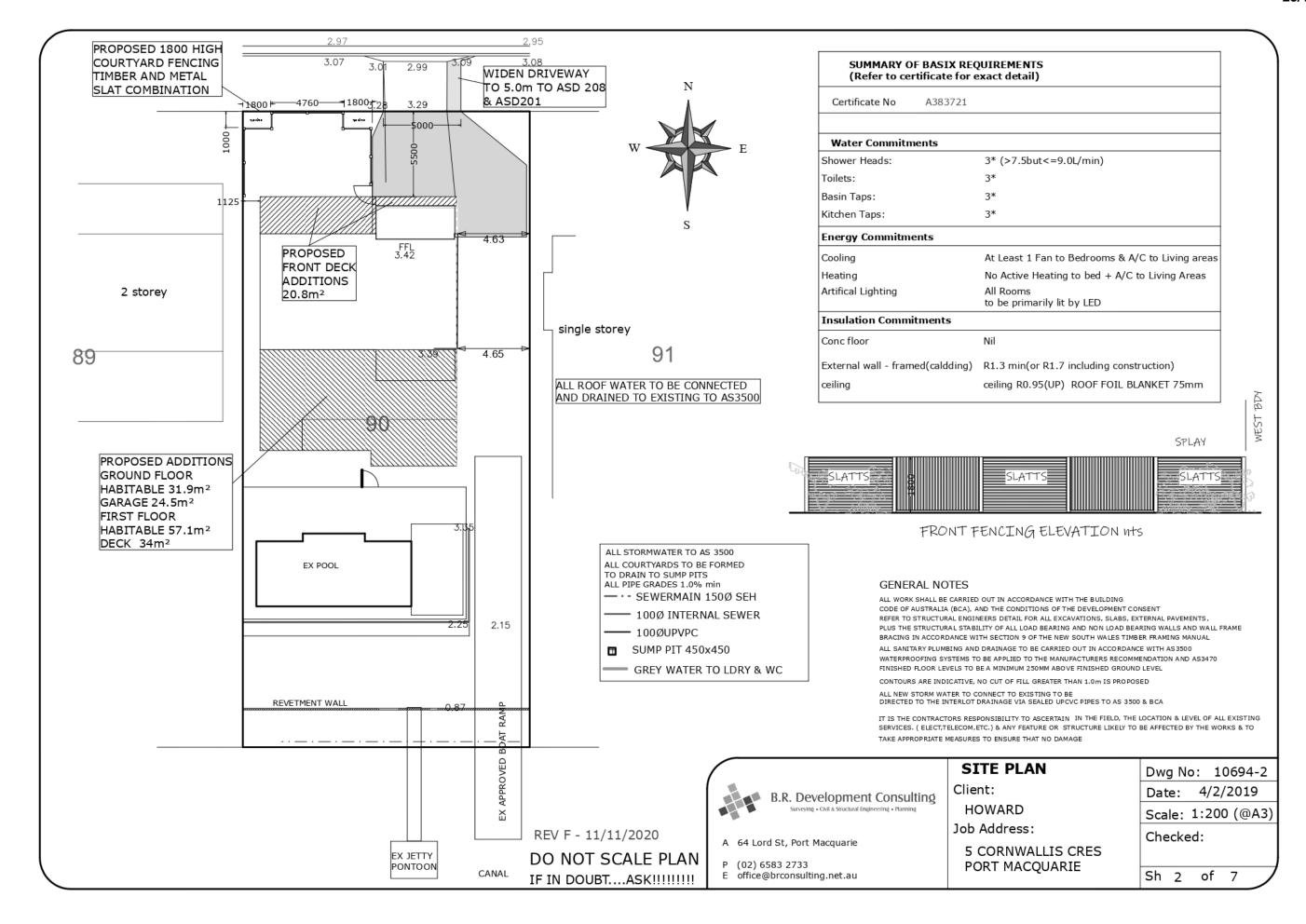
A 64 Lord St, Port Macquarie

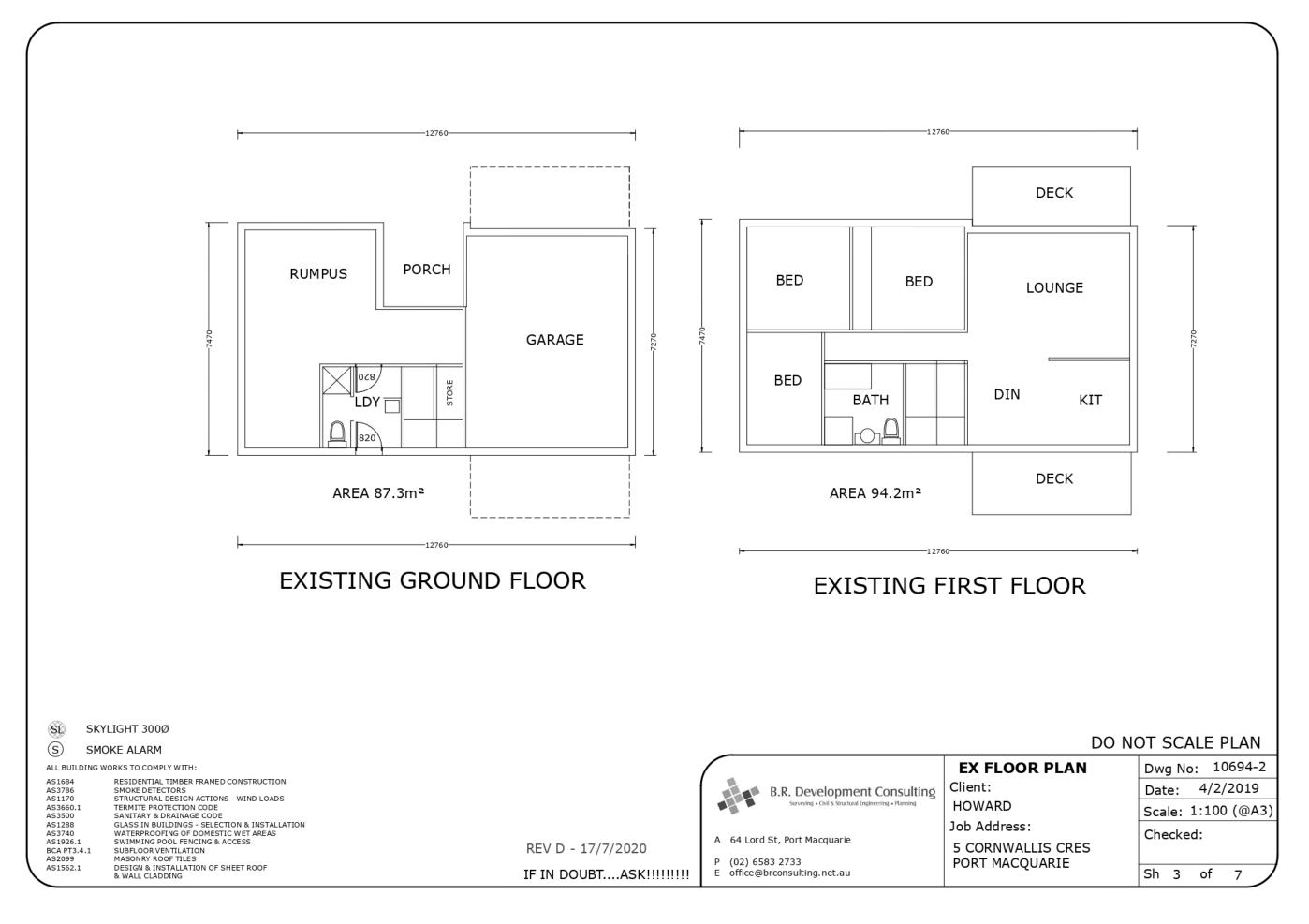
P (02) 6583 2733

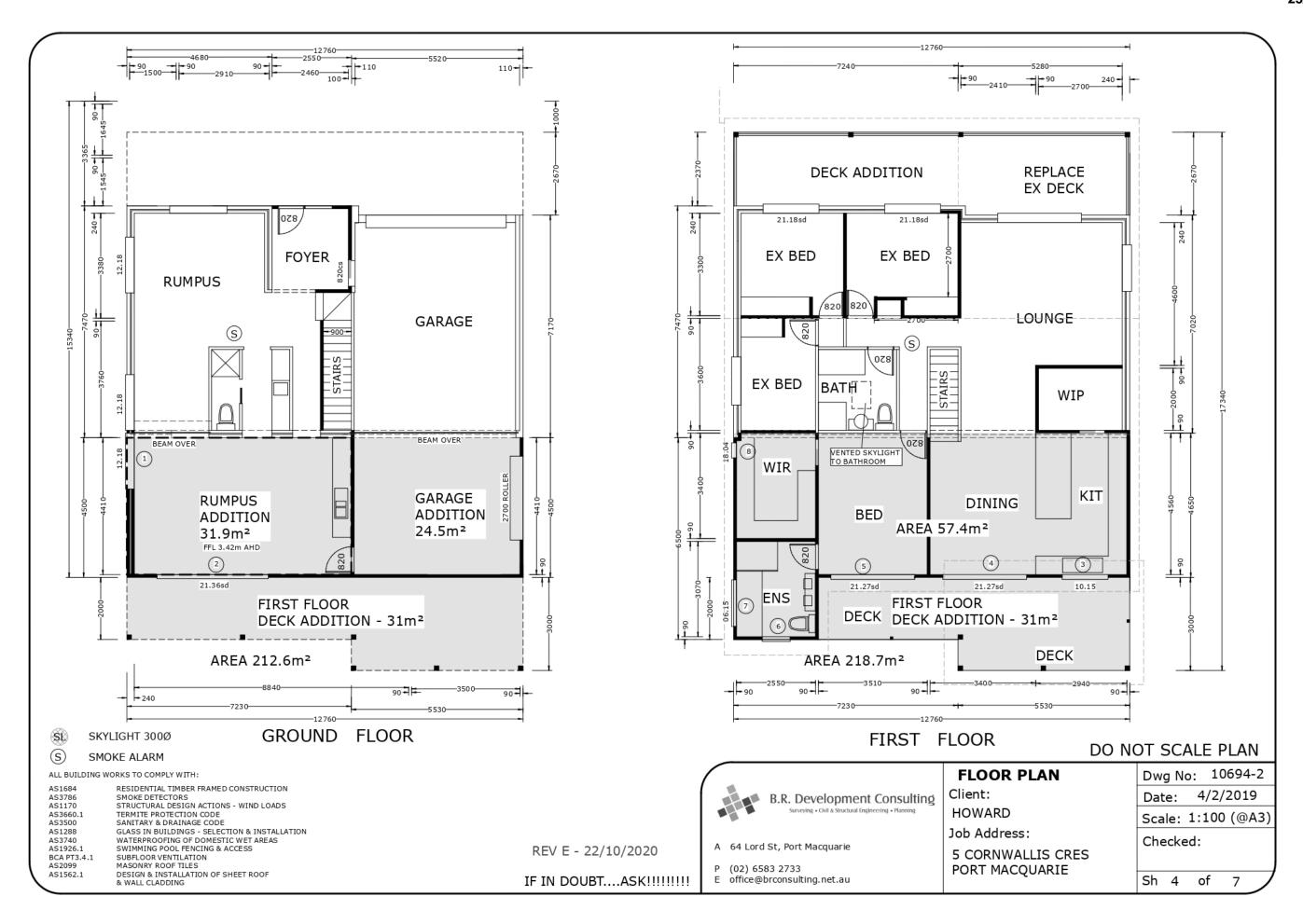
F (02) 6583 7808

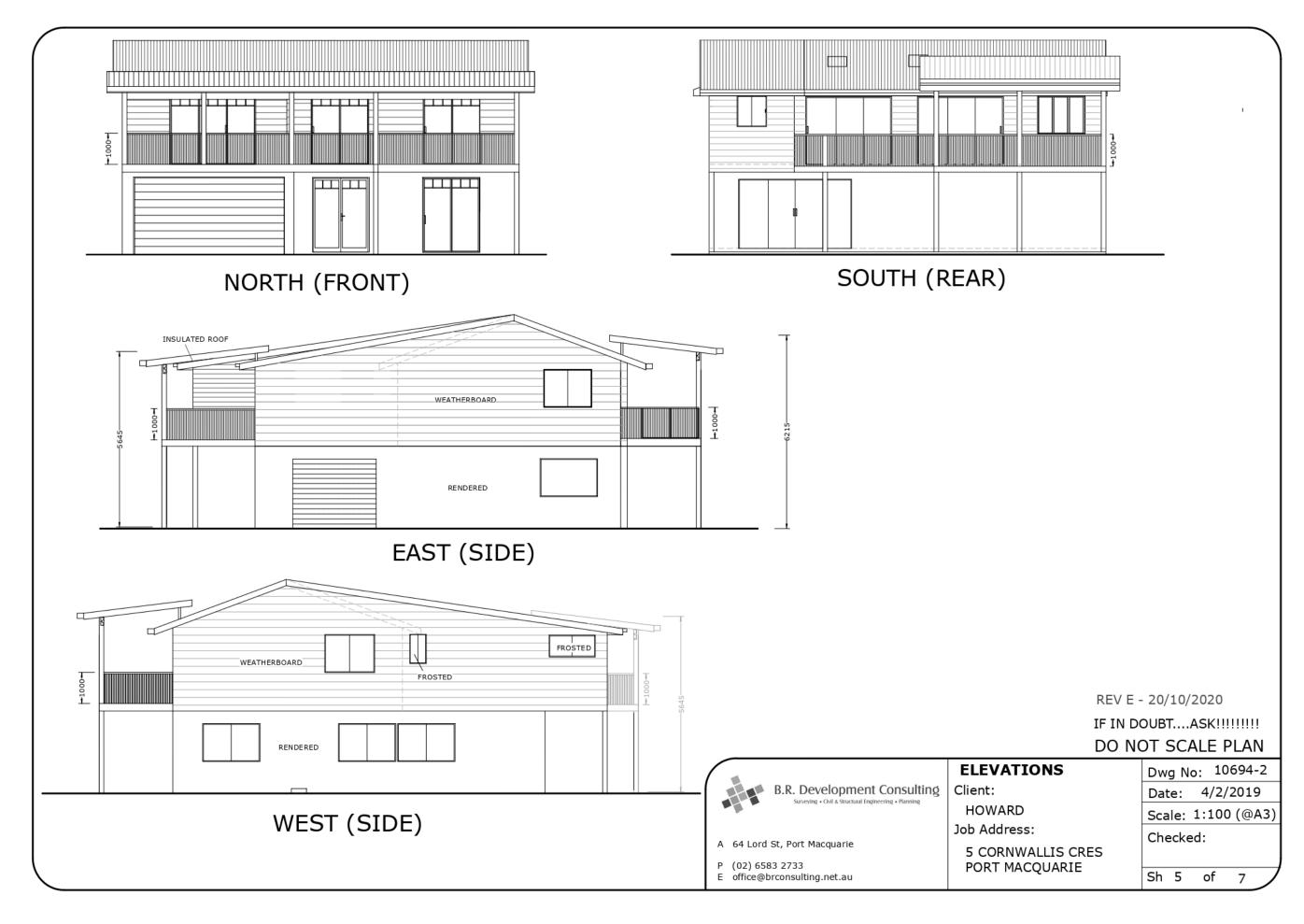
E office@brconsulting.net.au

SH 1 OF 7









#### TIMBER WALL FRAMING

IN ACCORDANCE WITH AS1684.2 TIMBER WALL FRAMING GENERALLY 70/90\*35 MGP 10 PINE WITH 70/90\*45 TOP PLATES TO LOADBEARING WALLS AND STUDS AT 600 CENTRES WITH ONE ROW NOGGINGS.

STUDS AT 600 CENTRES WITH ONE ROW NOGGINGS

#### WALL & CEILING LININGS

WALL AND CEILING LINING 10mm PLASTERBOARD FIXED AND FINISHED TO MANUFACTURERS RECOMMENDATIONS.

WET AREA WALL LININGS 6mm VILLABOARD OR WR PLASTERBOARD FIXED AND FINISHED TO MANUFACTURERS INSTRUCTIONS.

WET AREA WATERPROOFING IN ACCORDANCE WITH BCA 3.8.1 & AS3740 AND COMPLETED BY AN APPROVED INSTALLER.

#### **GENERAL**

ALL SITE CONTOURS AND FINISHED LEVELS TO BE VERIFIED BY BUILDER ON SITE.

BOUNDARY DIMENSIONS BORDERING ON MINIMAL LOCAL COUNCIL SETBACKS TO BE VERIFIED BY SURVEYOR ON INITAL SETOUT STAGE

ALL CUT AND FILL BATTERS WHERE NOT RETAINED TO BE NO GREATER GRADIENT WHERE PRACTICAL OF 1:4 BATTERED EMBANKMENT.

WHERE RETAINING IS REQUIRED ANY WALL EXCEEDING 1.0m IN HEIGHT ARE TO BE DESIGNED BY A CERTIFIED ENGINEER.

#### INSULATION

THERMAL PERFORMANCE TO EQUAL R1.5 TO WALLS & R2.5 TO CEILINGS INSULATION SHOULD MEET THE LEVELS SPECIFIED IN AS2627.1 FOR BULK INSULATIONS & AS 4200.2 FOR PLIABLE BUILDING MEMBRANES

FIBREGLASS BATTS TO COMPLY WITH AS 3742
INSTALLATION OF ALL INSULATION MATERIALS TO COMPLY WITH AS 3999

#### TERMITE PROTECTION

THE PROCTECTION OF BUILDINGS FROM TERMITE AS REQUIRED BY AS 3660.1 TERMITE MANAGEMENT NEW BUILDING WORKS

BCA 3.1.3.1 B. ACCEPTABLE CONSTRUCTION PRACTICES REQUIRES COMPLIANCE TO SATISFY THE PERFORMANCE REQUIREMENT P2.1 A DURABLE NOTICE IS TO BE PERMANENTLY FIXED TO THE BUILDING TO BCA 3.1.3.2

THE INTENT IS TO PROVIDE FOR A TERMITE BARRIER THAT WILL ENSURE THAT TERMITE WILL NOT ENTER A BUILDING BY A CONCEALED ROUTE REFER TO TABLE 3.1.3.1 ACCEPTABLE TERMITE SOLUTIONS TABLE

TERMIMESH SYSTEMS BY APPROVED INSTALLER TO CONCRETE SLAB TERMIGUARD CHEMICAL SYSTEM BY APPROVED INSTALLER CONTINUOUS ANTCAP TO FLOOR FRAME PERIMETER WALLS, ISOLATED ANTCAPS TO PIERS

#### BALCONY ROOFING

ROOFING TO COMPLY WITH BCA PART 3.5.1 ROOF CLADDING

COLOURBOND ZINCALUME CUSTOM ORB ROOFING FIXED TO TIMBER BATTENS 900 END SPAN 1200 INTERMEDIATE SPAN REFER TO 'USING LYSAGHT ROOFING & WALLING' FOR DETAILED INSTALLATION RECOMMENDATIONS

#### **GUTTERS AND DOWNPIPES**

FASCIA, GUTTERS & DOWNPIPES TO BE COLOURBOND FIXED TO MANUFACTURERS INSTRUCTIONS & IN ACCORDANCE WITH BCA PART 3.5.2 & AS 2179

REFER TO 'USING LYSAGHT ROOFING & WALLS' FOR DETAILED INSTALLATION RECOMMENDATIONS

BCA 3.5.2 REQUIRES & DOWNPIPESTO BE BASED ON ROOF CATCHMENT AREAS AND 5 MINUTE RAINFALL INTENSITIES/20 YEAR AVERAGE

GUTTERS TO BE SLOTTED TO ALLOW OVERFLOW 100\*75mm DOWNPIPES COMPLY WITH BCA TABLE 3.5.2.2

GUTTER & DOWNPIPES TO BE COLOURBOND TO MANUFACTURERS INSTRUCTIONS AND IN ACCORDANCE WITH BCA PART 3.5.2 & AS 2179 REFER TO 'USING LYSAGHT ROOFING & WALLING' FOR DETAILED INSTALLATION INSTRUCTIONS

#### ROOF FRAMING

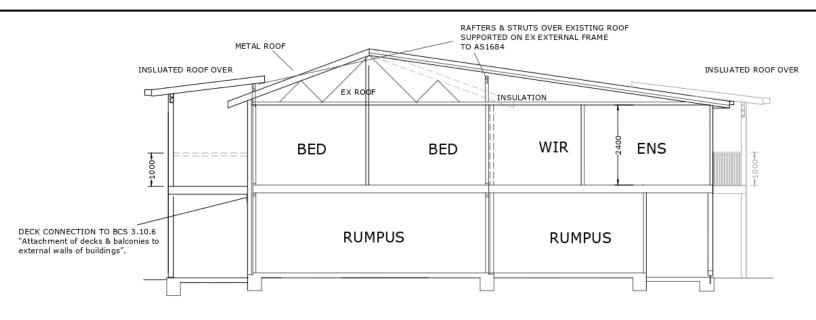
ENGINEERED TIMBER ROOF TRUSSES DESIGNED TO AS 1720.1 REFER TO MANUFACTURES DETAILS & SPECIFICATIONS

#### EAVE LININGS

EAVE LINING 4.5mm HARDI-FLEX OR SIMILAR FIXED

#### ELECTRICAL

TO MAIN POWER TO BCA 3.7.2.3 & AS 3786



FOOTINGS TO ENG DETAILS

### SECTION DETAIL 1:100

#### EXTERNAL WALL CLADDING

SELECTED WALL CLADDING FIXED TO STUD FRAME TO MANUFACTURERS INSTRUCTIONS AND BCA PART 3.5.3

#### WINDOWS

WINDOWS TO BE ALUMINIUM POWERCOATED FINISH MANUFACTURED & INSTALLED IN ACCORDANCE WITH NCC VOL 1 cl BP1.4 & FP1.4

- \* AS 2047-1996 AUSTRALIAN WINDOW CODE \* AS 4055-1995 STANDARD WIND LOADS FOR HOUSING
- \* AS 1288 ALL WINDOWS WITH FELABOVE 2000 AND A SILL HEIGHT
- LESS THAN 1700 MUST HAVE EITHER A BARRIER SCREEN TO WITHSTAND 250N OF OUTWARDS FORCE OR A RESTRICED OPENING UP TO 125mm ABLE TO WITHSTAND 250N FORCE
- \* AS 1770-PART 2 & AS 2048 AUSTRALIAN INSTALLATION STANDARDS REFER TO WINDOW SCHEDULES.

#### STAIRS & BALUSTRADES

RISER AND GOING TO COMPLY TO NCC VOL 1 d DP2 & BCA TB3.9.1.2 HEIGHT OF BALUSTRADE TO COMPLY WITH NCC VOL 1 d DP3 TO BE MIN 1000mm TO LANDINGS AND BALCONIES AND MIN 865mm ABOVE THE NOSING OF THE STAIR TREADS NOTE: A TRANSITTION ZONE IS ALLOWED WHERE THE BALUSTRADE HEIGHT

A SUITABLE SLIP RESISTANCE LEVEL IS TO BE ACHIEVED IN ACCORDANCE WITH AS4586

#### STORMWATER DRAINAGE

STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH AS 3500 BCA 3.1.2.5 REQUIRES MIN COVER TO PIPES

\* UNDER SIOL 100mm \* PAVED AREAS -50mm \* TRAFFIC LIGHT REINF CONCRETE -75mm \* LIGHT TRAFFIC PAVED AREAS -100mm MEASURED TO UNDERSIDE OF CONCRETE OR PAVING

#### SANITARY DRAINAGE

SANITARY DRAINAGE TO BE IN ACCORDANCE WITH AS3500

#### **BRICKWORK**

BRICKWORK TO BE ARTICULATED IN ACCORDANCE WITH AS 3700

#### ROOFING

ROOFING TO COMPLY WITH BCA PART 3.5.1 ROOF CLADDING

TERRACOTTA ROOF TILES FIXED IN ACCORDANCE WITH MANUFACTURING INSTRUCTIONS AND TO COMPLY WITH BCA 3.5.1.2

ROOF TILE BATTENS 38\*50mm UNSEASONED HARDWOOD FIXED TO AUSTRALIAN STANDARD AS 1684 SARKING LOCATED DIRECTLY YNDER BATTENS WITH A FLAMMABILITY INDEX NOT MORE THAN 5.

#### LINTELS

TRUSS MANUFACTURER TO CHECK ALL LINTEL SIZES

#### SANITARY COMPARTMENTS

BCA 3.8.3.3 REQUIRES THE DOOR TO A FULLY CLOSED SANITARY COMPARTMENT (WC) TO ; (A) OPEN OUTWARDS

(B) SLIDE OR

(C) BE READILY REMOVABLE FROM THE OUTSIDE UNLESS THERE IS A CLEAR SPACE OF A LEAST 1.2m BETWEEN THE PAN AND THE NEAREST PART OF THE DOORWAY

#### SLAB FOOTING CONSTRUCTION NOTES

CONCRETE SLAB & FOOTINGS TO ENGINEERS DETAILS

REFER TO BCA 3.2.3 CONCRETE & REINFORCEMENT REFER TO BCA 3.2 FOOTINGS AND SLABS FOOTINGS & SLABS TO BE IN ACCORDANCE WITH AS 2870

STRIP UNDERSLAB AREA OF ALL TOPSOIL, DEBRIS & ORGANIC MATTER IF EARTHWORKS REVEAL GROUND ANOMALIES INCLUDING ROCK OR QUESTIONABLE MATERIAL, AN ENGINEER INSPECTION MUST BE CARRIED

ALL AUSTRALIAN STANDARDS REFERRENCED ARE THE VERSION OF THE RELEVANT STANDARD ADOPTED BY THE BCA AT THE TIME THE CONSTRUCTION CERTIFICATE APPLICATION OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS LODGED ( WHICH EVER IS FIRST)

#### (S) SMOKE DETECTOR

ALL BUILDING WORKS TO COMPLY WITH:

AS1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION SMOKE DETECTORS AS3786

AS1170 STRUCTURAL DESIGN ACTIONS - WIND LOADS TERMITE PROTECTION CODE AS3660.1

AS3500 SANITARY & DRAINAGE CODE AS1288 GLASS IN BUILDINGS - SELECTION & INSTALLATION

AS3740 WATERPROOFING OF DOMESTIC WET AREAS AS1926.1 SWIMMING POOL FENCING & ACCESS

BCA PT3.4.1 SUBFLOOR VENTILATION

**AS2099** DESIGN & INSTALLATION OF SHEET ROOF& WALL CLADDING AS1562.1

ALL BUILDING WORK TO BE COMPLIANT WITH BAL 12.5 - AS 3959 SECT 5

REV E - 20/10/2020

DO NOT SCALE PLAN



A 64 Lord St, Port Macquarie

P (02) 6583 2733 E office@brconsulting.net.au

### SPEC/SECTION

**HOWARD** Job Address:

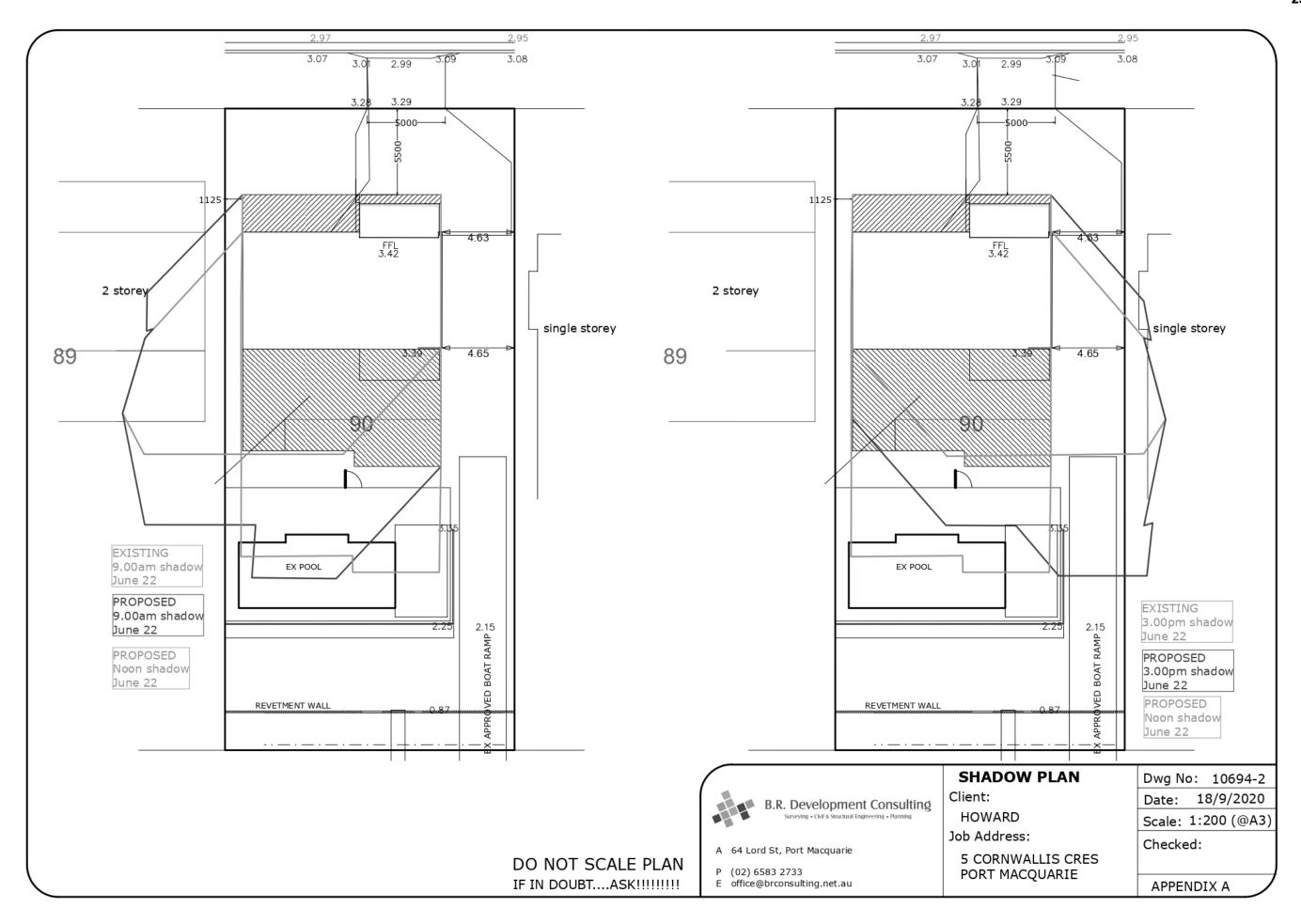
Client:

5 CORNWALLIS CRES PORT MACQUARIE

Dwg No: 10694-2 Date: 4/2/2019

Scale: 1:100 (@A3) Checked:

Sh 6 of



Item: 09

Subject: DA2020 - 457.1 MULTI DWELLING HOUSING AND STRATA

SUBDIVISION AT LOT 14 DP 1219811, NO. 91 THE RUINS WAY,

**PORT MACQUARIE** 

Report Author: Development Assessment Planner, Fiona Tierney

Applicant: B R Development Consulting

Owner: Hibbards Pty Ltd

Estimated Cost: \$4,200,000 Parcel no: 65359

## **Alignment with Delivery Program**

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

#### RECOMMENDATION

That DA 2020 - 457.1 for a Multi Dwelling Housing and Strata Subdivision at Lot 14, DP 1219811, No. 91 The Ruins Way, Port Macquarie, be determined by granting consent subject to the recommended conditions.

### **Executive Summary**

This report considers a development application for a Multi Dwelling Housing and Strata Subdivision at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, 33 submissions were received.

Amended plans were received during the assessment process.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the attached conditions (**Attachment 1**).

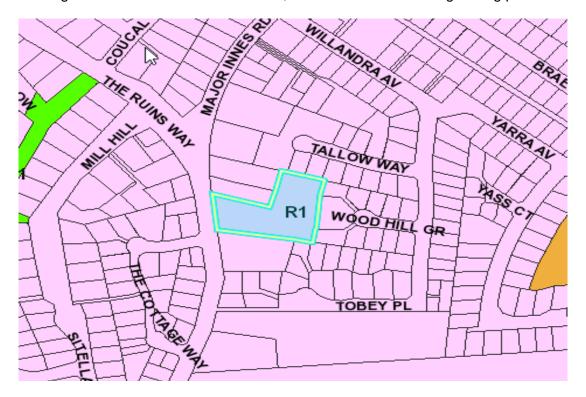
## 1. BACKGROUND

## **Existing Sites Features and Surrounding Development**

The site has an area of 7489m<sup>2</sup>.



The site is zoned R1- General residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:





## 2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Construction of 16 x 3 bedroom dwellings and associated earthworks, driveways and parking.
- Strata Subdivision.
- Retention of Tallowwoods on site under the Koala Plan of Management.

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

## **Application Chronology**

- 11 June 2020 Application lodged.
- 19 June 2020 to 2 July 2020 Neighbour notification.
- 16 June 2020 Additional information requested from Applicant in relation to stormwater.
- 12 August 2020 Additional information requested increased setbacks
- 19 October 2020 amended plans with increased setbacks to units 14,15 & 16
- 2 November 2020- Additional information amended plans submitted stormwater.

## 3. STATUTORY ASSESSMENT

## **Section 4.15(1) Matters for Consideration**

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:
- (i) Any Environmental Planning Instrument

## State Environmental Planning Policy (Koala Habitat Protection) 2019

Clause 5 - This SEPP applies to the Port Macquarie-Hastings Local Government Area.

Clause 8 - The site is subject to an existing Koala Plan of Management (KPoM) and is less than 1 hectare in area. The subject KPoM is Koala Plan of Management DA1999 - 1155 Willandra Ave, Tallow Way and Wood Hill Gr, Port Macquarie - 40 Lot Subdivision and Cluster Housing 33 Willandra Avenue PORT MACQUARIE (Attachment 6)

The Applicant has submitted an Arborist report (**Attachment 5**) to support the application for development of the site and the proposal has been assessed by Council's Arborist and Ecologist. Conditions are included to ensure compliance with the approved KPoM including restrictions as to the user, site signage and fencing to be applied to support the long term retention and protection of the existing Tallowwoods on site. It is considered that the trees are a valuable part of the linkages throughout the precinct. Trees on the site are to be assessed regularly for maintenance by a qualified Arborist to ensure safety of occupants of the dwellings and so the trees are maintained in good condition. Appropriate consent conditions are recommended to ensure compliance with these requirements.



The proposal does not contravene applicable requirements of the KPoM. No further investigations are required under this SEPP.

## State Environmental Planning Policy No. 55 - Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

## State Environmental Planning Policy (Infrastructure) 2007

Clause 45 – Development in proximity to electricity infrastructure – referral to Essential Energy is not required having regard to any of the following triggers for referral:

- (a) the penetration of ground within 2m of an underground electricity power line or an electricity distribution pole or within 10m of any part of an electricity tower,
- (b) development carried out:
  - (i) within or immediately adjacent to an easement for electricity purposes (whether or not the electricity infrastructure exists), or
  - (ii) immediately adjacent to an electricity substation, or
  - (iii) within 5m of an exposed overhead electricity power line,
- (c) installation of a swimming pool any part of which is:
  - (i) within 30m of a structure supporting an overhead electricity transmission line, measured horizontally from the top of the pool to the bottom of the structure at ground level, or
  - (ii) within 5m of an overhead electricity power line, measured vertically upwards from the top of the pool

Clause 100 of the SEPP refers to certain development on a classified road. In this case, there is no work proposed on the classified road.

Clause 101 refers to development with frontage to a classified road. In this case, the development does not create any additional crossovers onto the classified road or substantial increase in traffic. Therefore, no adverse impact on the road network will occur.

The development does not trigger any of the traffic generating development thresholds of Clause 104. Referral to the NSW Roads and Maritime Services (RMS) is not required.

Based on the above, the proposed development is consistent with the relevant clauses in the SEPP.

## State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.



## Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 The subject site is zoned R1 General Residential.
- Clause 2.3(1) and the R1 zone landuse table The proposed development for multi dwelling housing is a permissible landuse with consent.
- Clause 2.3(2) The objectives of the R1 zone are as follows:
  - o To provide for the housing needs of the community.
  - o To provide for a variety of housing types and densities.
  - To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- 3. The proposal is consistent with the zone objectives having regard to the fact that the development would provide for a variety of housing types and densities in the locality and contribute to meeting the housing needs of the community.
- Clause 4.1(4) The minimum subdivision lot size does not apply to the registration of a strata plan of subdivision.
- Clause 4.3 The maximum overall height of the buildings above ground level (existing) is 7m which complies with the standard height limit of 8.5m applying to the site.
- Clause 4.4 The site has a land area of 7481.15m<sup>2</sup>. There are 16 dwellings proposed with a total gross floor area (GFA) of approximately 3,248m<sup>2</sup>. The floor space ratio of the proposal is 0.43:1.0 which complies with the maximum 0.65:1 floor space ratio applying to the site.
- Clause 5.10 The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.13 Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development. Provision of electricity will be subject to obtaining satisfactory arrangements certification prior to the issue of a Strata Certificate as recommended by a condition of consent.

## (ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply to the site.

## (iii) Any Development Control Plan in force

## Port Macquarie-Hastings Development Control Plan 2013

DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development			
	Requirements	Proposed	Complies
3.2.2.1	Ancillary development:  • 4.8m max. height  • Single storey  • 60m² max. area  • 100m² for lots >900m²  • 24-degree max. roof pitch  • Not located in front setback	Water tanks have been suitability located onsite for each dwelling.	Yes
3.2.2.2	Articulation zone	No elements within the articulation zone.	N/A



	& Ancillary development Requirements	Proposed	Complies
	Front setback (Residential not R5 zone):  • Min. 4.5m local road	Front building line setback requirements are complied with. Minimum 4.5m setback to The Ruins Way for Units 1 and 16. All other units face internal driveway.	Yes
3.2.2.3	Garage 5.5m min. and 1m behind front façade. Garage door recessed behind building line or eaves/overhangs provided	Garage door setback requirements are complied with. Garages face internal driveways and are located behind the front facade.	Yes
	6m max. width of garage door/s and 50% max. width of building	N/A garages face internal	N/A
	Driveway crossover 1/3 max. of site frontage and max. 5.0m width	Main common driveway crossing width requirements are complied with.	Yes
3.2.2.4	4m min. rear setback. Variation subject to site analysis and provision of private open space	The site is irregular in shape so side and rear boundaries are not atypical. However, it is considered that the rear setback is assumed to be on the eastern rear of the lot. This setback relates to Units 6 to 10 proposed along the rear eastern boundary.  The minimum setbacks are as follows: Unit 6 = Min.2.6m setback Unit 7 = Min. 3m setback Unit 8 = Min. 3m Unit 9 = Min. 3m Unit 10 = Min. 2.015m	No* see further discussior below this table
3.2.2.5	Side setbacks:     Ground floor = min. 0.9m     First floors & above = min.     3m setback or where it can be demonstrated that overshadowing not adverse = 0.9m min.	The side boundaries which are considered to side boundaries are all boundaries other that the east rear and west front boundary.	Yes



ouse	s & Ancillary development	Dranacad	Complies
	Requirements	Proposed The ground floor side	Complies
	<ul> <li>Building wall set in and out every 12m by 0.5m</li> </ul>	The ground floor side setbacks are as follows:	
	every 12111 by 0.5111	Selbacks are as follows.	
		Units 1, 2 and 3 = 3m	
		south side setback.	
		Unit $4 = 9.42$ m south	
		side setback.	
		Units 5 & 6 = 4.8m south side setback.	
		Unit 10 = 2.06m north	
		side setback.	
		Unit 11 = 2.07m north	
		side setback.	
		Unit 13 = 1.05m west	
		side setback.	
		Unit 14 = 1.7m north	
		side setback. Unit 15 = 1.67m north	
		side setback.	
		Unit 16 = 2.9m north	
		side setback.	
		The first floor side	
		setbacks are as follows:	
		Units 1, 2 and 3 = 4.4m	
		south side setback.	
		Unit $4 = 10.8$ m south	
		side setback.	
		Units 5 & 6 = 3.5m	
		south side setback. Unit 10 = 3.36m north	
		side setback.	
		Unit 11 = 3.36m north	
		side setback.	
		Unit 13 = 1.05m west	
		side setback.	
		Unit 14 = 3.0m north	
		side setback. Unit 15 = 3.0m north	
		side setback.	
		Unit 16 = 5.1m north	
		side setback.	
		T. C. (0)	
		The first floor setbacks	
		referred to above for Unis 13 has a setback	
		less than 3m however it	
		will not result in any	
		adverse overshadowing	
		impacts to the	1



nouses	& Ancillary development	Dunnand	O
	Requirements	Proposed  neighbouring properties and therefore comply with the DCP. Note: Rear setback to the east are addressed separately.  The wall articulation of all dwellings is compliant and satisfies the objectives of the development provision.	Complies
3.2.2.6	35m² min. private open space area including a useable 4x4m min. area which has 5% max. grade	Each occupancy contains various configurations of 35m² open space in one area including a useable 4m x 4m area in combination with alfresco. Significant additional common area/open space areas exist throughout the site.	Yes
3.2.2.7	<ul> <li>Front fences:</li> <li>If solid 1.2m max height and front setback 1.0m with landscaping</li> <li>3x3m min. splay for corner sites</li> <li>Fences &gt;1.2m to be 1.8m max. height for 50% or 6.0m max. length of street frontage with 25% openings</li> <li>0.9x0.9m splays adjoining driveway entrances</li> </ul>	1.8m height colourbond fence proposed along front of Units 1 and 16 which is contrary to the DCP provisions and KPoM. Landscaping proposed however in the front of the Unit 1 front fence.  Internal courtyard fencing proposed also.	No* Condition recommended to require Units 1 and 16 front fences to be compliant with the DCP and be lapped and capped timber construction.
3.2.2.8	Front fences and walls to have complimentary materials to context No chain wire, solid timber, masonry or solid steel front fences		
3.2.2.10	Privacy:  • Direct views between living areas of adjacent dwellings screened when within 9m radius of any part of window of adjacent dwelling and within 12m of private open space areas of adjacent	The development will not compromise privacy in the area due to a combination of building design, setbacks and fencing. In particular primary living spaces	Yes



DCP 2013: Dwellings, Dual occupancies, Dwelling houses, Multi dwelling houses & Ancillary development			
Requirements	Proposed	Complies	
dwellings. ie. 1.8m fence or privacy screening which has 25% max. openings and is permanently fixed  • Privacy screen required if floor level > 1m height, window side/rear setback (other than bedroom) is less than 3m and sill height less than 1.5m  • Privacy screens provided to balconies/verandahs etc which have <3m side/rear setback and floor level height >1m	are located at ground floor level.  Sill heights are 1.4m for the upper rooms consisting of bedrooms and multipurpose rooms which meets the objectives. The MPRs in particular are not considered to be a main living area, or the principal area of private open space for the purpose of considering the DCP privacy provisions.		

DCP 20	DCP 2013: General Provisions			
	Requirements	Proposed	Complies	
2.7.2.2	Design addresses generic principles of Crime Prevention Through Environmental Design guideline	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes	
2.3.3.1	Cut and fill 1.0m max. 1m outside the perimeter of the external building walls	Cut and fill <1.0m change 1m outside the perimeter of the external building walls	Yes	
2.3.3.2	1m max. height retaining walls along road frontage	None proposed	N/A	
	Any retaining wall >1.0 in height to be certified by structure engineer	No retaining wall likely >1m.	Yes	
	Combination of retaining wall and front fence height max 1.8m, max length 6.0m or 30% of frontage, fence component 25% transparent, and splay at corners and adjacent to driveway		N/A	
2.3.3.8	Removal of hollow bearing trees	No trees proposed to be removed	N/A	
2.6.3.1	Tree removal (3m or higher with 100m diameter trunk at 1m above ground level and 3m from external wall of existing dwelling)	No trees proposed to be removed	N/A	
2.4.3	Bushfire risk, Acid sulphate soils, Flooding, Contamination, Airspace protection, Noise and Stormwater	Refer to main body of report.		

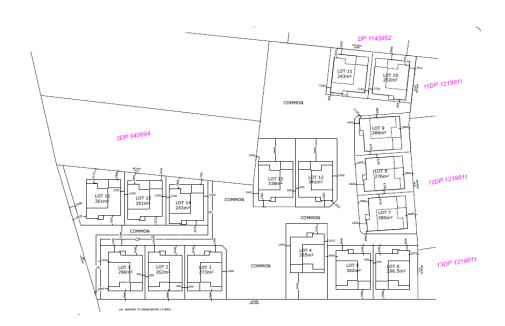


	Requirements	Proposed	Complies
2.5.3.2	New accesses not permitted from arterial or distributor roads	No new access proposed to arterial or distributor road.	N/A
	Driveway crossing/s minimal in number and width including maximising street parking	New common driveway crossing is minimal in width.	Yes
2.5.3.3	Parking in accordance with Table 2.5.1.  Multi dwelling 1 space per 1 & 2 bedroom occupancies 1.5 spaces per 3+ bedroom occupancies 0.25 spaces per occupancy for visitor parking.	Proposal involves 16 x4 bedroom units (The MPRs are considered to be bedrooms). Therefore, 16 x 1.5 space = 24 + 16 x 0.25 = 4 visitor spaces = 28 spaces in total required. The development proposes a double garage for each unit (32 spaces). 7 visitor parking spaces are available throughout the site on common property.	Yes
2.5.3.11	Developer contributions	Contributions apply - refer to ET calc and NOP.	Yes
2.5.3.12 and 2.5.3.13	Landscaping of parking areas	Suitable landscaping proposed around driveway/parking locations.	Yes
2.5.3.14	Sealed driveway surfaces unless justified	Sealed driveway areas proposed.	Yes
2.5.3.15 and 2.5.3.16	Driveway grades first 6m or 'parking area' shall be 5% grade with transitions of 2m length	Driveway grade crossing the road reserve to access the common driveway proposed is capable of satisfying Council standard driveway crossover requirements. Condition recommended for section 138 Roads Act permit.	Yes
2.5.3.17	Parking areas to be designed to avoid concentrations of water runoff on the surface.	Stormwater drainage is capable of being managed as part of plumbing construction.	Yes



The proposal includes Units 6 to 10 proposed at the rear setback distances specified in the above table. The rear setbacks proposed are proposed within the 4m setback Development Provision.

The proposed site layout is identified below.



The relevant objectives are:

## 3.2.2.4 Objective

To allow adequate natural light and ventilation between dwellings/buildings and to private open space areas. To provide usable yard areas and open space.

Comments: Having regard for the development provisions and relevant objectives, the variation to the rear setback provision is considered acceptable for the following reasons:

- The applicant has proposed a total of 16 units at a density consistent with accepted density within a low Density Residential Development area at a rate of 1 dwelling per 468m<sup>2</sup>.
- The site is not atypical in configuration (being a large L shaped site with generally rear yard setbacks to adjoining properties) and therefore it is considered that there is scope for consideration of rear and side setbacks on merit if there is not adverse privacy or overshadowing impacts to neighbouring properties.
- The site is somewhat constrained by the presence of significant and large Tallowwoods that are the subject of a Koala Plan of Management. The applicant has placed the dwellings to allow for buffer areas around these trees to allow the retention of these trees. In facilitating this retention this has resulted in dwellings being clustered in closer proximity to the other dwellings on the site and adjoining dwellings.
- Unit 6 has a minimum 2.6m rear setback to the eastern boundary. The upper floor level has limited windows facing towards the east. The existing rear



- setbacks of the neighbouring dwellings to the east and south-east are setback greater than 4m from the common boundary.
- Units 7, 8 and 9 have a minimum 3m rear setback to the eastern boundary. The upper floor level is set in further than the ground floor level at approximately 4.5m setback and has limited windows facing towards the east. Dwellings adjoin properties in Wood Hill Grove which were part of the first stage of subdivision of a larger block that contained the subject property. The adjoining dwellings are set back approximately 7m from the rear fence. The pool area is located at the front of the site.
- Unit 10 has a minimum 2.015m rear setback to the eastern boundary. The
  upper floor level has limited windows facing towards the east. The existing
  neighbouring dwelling to the east has its primary private open space located
  adjacent to the vehicle turnaround area near Unit 10.
- All dwellings have compliant areas of private open space provision.
- Discussions have also been held with the Applicant to consider any possible increase in setbacks given the concerns raised by adjoining owners. Some minor increases were provided and amended plans submitted. Given the minor nature of these increases, the application was not further notified.

Based on the above assessment, the variations proposed to the provision of the DCP are considered acceptable and the relevant objectives have been satisfied. Cumulatively, the variations do not amount to an adverse impact or a significance that would justify refusal of the application.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into relating to the site.

iv) Any matters prescribed by the Regulations

Nil

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

## **Context and setting**

- The site has a general westerly street frontage orientation to The Ruins Way.
- Adjoining the site to the east and west are single dwellings of various densities.
- The proposal will not have any significant adverse impacts to existing adjoining properties and satisfactorily addresses the public domain.
- The proposal will result in a change of character with a different clustering of dwellings balanced with large open space areas to accommodate the significant trees on site. There is however a variety of housing densities and styles that include densities not dissimilar to this proposal in the immediate locality. This is considered to be an acceptable physical and visual impact change given the proposal satisfactorily addresses the planning controls applying to the site. The proposal has acceptable setback requirements, is within the building height limit and is below the maximum floor space ratio. There are also no precinct specific local character controls applying to the subject locality.



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- The proposal is considered to be compatible with other residential development in the locality and adequately addresses planning controls for the area.
- There are no adverse impacts on existing view sharing.
- There are no adverse overshadowing impacts. The proposal does not prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June. The applicant has provided shadow diagrams to support their application that demonstrates the orientation and placement of the dwellings will allow satisfactory solar access to adjoin dwellings and north facing areas for solar access to the subject dwellings.

#### Roads

The site has road frontage to The Ruins Way, Port Macquarie.

Adjacent to the site, The Ruins Way is a sealed public road under the care and control of Council. The Ruins Way is a Collector road with a carriageway width of 7m within a 20m road reserve. Immediately adjacent to the site, there is a swale drain with no kerb and gutter or footpath. SE profile kerb and gutter is present along western side of The Ruins Way, however, the kerb and gutter on the eastern side of the road ceases outside the neighbouring property to the north of the site (89 The Ruins Way).

There currently plans within Council to upgrade this section of The Ruins Way to a Collector Road standard (including the construction of kerb and gutter). However, the development consent has been conditioned so that the developer is responsible for the upgrade of their immediate frontage (in accordance with Council's future plans) should this development proceed prior to Council's planned works.

## **Traffic and Transport**

The site is currently approved for residential use permitted to generate 9 daily trips. This development proposes to generate approximately 144 daily trips. However, once the upgrade works of The Ruins Way to Collector Road standard are complete, the addition in traffic associated with the development is unlikely to have any adverse impacts to the existing road network within the immediate locality.

#### **Site Frontage and Access**

Vehicle access to the site is proposed though an individual driveway with direct frontage to The Ruins Way, being a Council-owned public road. Access shall comply with Council AUSPEC and Australian Standards, and conditions have been imposed to reflect these requirements.

Due to the type and size of development, additional works are required to include:

- kerb and gutter along the full road frontage; and
- concrete footpath paving (minimum 1.2m wide) along the full frontage

### **Parking and Manoeuvring**

A total of 32 parking spaces have been provided on-site within garages with an additional 7 visitor parking spaces provided within the driveway. Parking and driveway widths on site can comply with relevant Australian Standards (AS 2890) and conditions have been imposed to reflect these requirements.

Due to the type of development, car park circulation is required to enable vehicles to enter and exit the site in a forward manner. Site plans show adequate area is available and conditions have been imposed to reflect these requirements.



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Appropriate consent conditions are recommended to address these requirements.

## Water supply connection

Council records indicate that the site is fronted by a 200mm PVC water main on the same side of The Ruins Way.

Final water service sizing will need to be determined by a hydraulic consultant to suit the domestic and commercial components of the development, as well as fire service and backflow protection requirements in accordance with AS 2419.

Each proposed dwelling will need to be separately metered for water, meters may be either located at the road frontage or internally with a master meter at the boundary. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.

Detailed plans will be required to be submitted for assessment with the Section 68 application.

### **Sewer connection**

Council records indicate that the site is serviced for sewer by a main which runs outside the eastern boundary of the development lot. Due to the scale of the development and the increased load on sewer infrastructure, it is necessary to discharge all sewage to an existing manhole.

Any works-in-kind (WIK) agreement will need to be negotiated with Council's contributions section and will only be considered on the basis of material public benefit (i.e. cost difference between private sewer infrastructure required to service development and cost to install pipe work to Aus-Spec sewer main standard). The DA may be conditioned and approved regardless of whether a WIK has been executed.

Detailed plans will be required to be submitted for assessment with the Section 68 application.

## Stormwater

The site naturally grades towards both its southwest and southeast corners, with a ridge down the middle. Stormwater discharge from the natural site and development shall be managed in accordance with this natural topography and is required to be discharged to the existing points of discharge in those locations:

- Discharge to the southwest corner of the site shall be connected to the existing piped stormwater drainage system at the site's frontage to The Ruins Way.
- Discharge to the southeast corner of the site shall be directed to the existing interallotment drainage system at this location.

The stormwater drainage plan submitted in support of the proposed development indicates that stormwater is planned to be disposed via the above means. Furthermore, the stormwater plan submitted includes the provision of on-site stormwater detention facilities designed generally in accordance with Council's AUSPEC Requirements. These facilities will function to ensure that the development results in no detrimental impacts on downstream development and drainage systems by limiting the rate of discharge of stormwater to the lesser of; pre development flow rates (i.e no increase as a result of the development), OR the available capacity of the existing points of discharge from the site (to ensure that any existing downstream capacity issues are improved and not worsened as a result of the development). The



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stormwater drainage plan submitted in support of the DA proposal conceptually demonstrates compliance with the above.

A detailed site stormwater management plan will be required to be submitted for assessment with the Section 68 application and prior to the issue of a Construction Certificate.

In accordance with Councils AUSPEC requirements, the following must be incorporated into the stormwater drainage plan:

- On site stormwater detention facilities
- Water quality controls

Appropriate consent conditions are recommended to address these requirements.

### Other utilities

Telecommunication and electricity services are available to the site. Evidence of satisfactory arrangements with the relevant utility authorities for provision to each proposed lot will be required prior to Strata Certificate approval.

## Heritage

No known items of Aboriginal or European heritage significance exist on the property. No adverse impacts anticipated. The site is in a residential context and considered to be disturbed land.

### Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

### Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

#### Soils

The proposed development will not have any significant adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

#### Air and microclimate

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

## Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied. The trees on site have been assessed for their suitability for retention within an urban environment and appropriate setbacks and recommended conditions have been imposed to suitably manage and maintain the trees. It is considered a whole of site tree management plan will provide a more suitable outcome that a site under a Torrens subdivision.

#### Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Sufficient bin collection area



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available on street and strata subdivision is proposed. Standard precautionary site management condition recommended.

## **Energy**

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

#### Noise and vibration

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

### **Bushfire**

The site is identified as being bushfire prone.

In accordance with Section 100B - *Rural Fires Act 1997* - The application proposes subdivision of bush fire prone land that could lawfully be used for residential purposes. As a result, the applicant has submitted a bushfire report prepared by a Certified Consultant. The report was forwarded to the NSW Rural Fire Service who have since issued a Bushfire Safety Authority subject to condition, which will be incorporated into the consent.

## Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. The increase in housing density will improve natural surveillance within the locality and openings from each dwelling overlook common and private areas.

## Social impacts in the locality

Given the nature of the proposed development and its location the proposal is not considered to have any significant adverse social impacts.

## **Economic impact in the locality**

The proposal is not considered to have any significant adverse economic impacts on the locality. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

## Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

#### Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

## **Cumulative Impacts**

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

## (c) The suitability of the site for the development



The proposal will fit into the locality and the site attributes are conducive to the proposed development

## (d) Any submissions made in accordance with this Act or the Regulations

33 written submissions were received following public exhibition of the application. Many of the submissions received relate to ongoing traffic issues within the roads on a broader scale.

Copies of the written submissions have been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:

Submission Issue/Summary	Planning Comment/Response
Development is out of character with predominantly single storey precinct	The development is located within an R1 General residential area which permits building heights up to 8.5m. The dwellings are proposed at a height of approximately 7 metres to the topmost roof heights with the upper level footprint setback from the ground floor level footprint. There are also a number of 2 storey dwellings within the immediate locality and the proposal is considered to be sufficiently compatible with the permissible desired future character of the area.
Reduced light and sunlight to neighbouring properties	The site is oriented north-south with second storey elements being generally less than 50% of the ground floor building footprint. This has resulted in a design that has been sensitive to potential for any overshadowing of dwellings on adjoining lots. The minimum standards for overshadowing at midwinter are satisfied to not warrant refusal of the application.
Loss of privacy to neighbouring properties	No upper decks are proposed for any of the dwellings and rear facing windows are proposed at 1.4m floor to sill height that restricts casual overlooking in normal use of the room as either a bedroom or MPR. The primary living areas are all located on the ground floor level.
Houses located too close to fence lines	Houses have been designed to provide larger areas within the central areas of the site to retain the existing significant trees. The Applicant has increased the side setbacks during assessment of the application for Units 14, 15 and 16 to provide a minor additional setback to 89 The Ruins Way.
Impacts on wildlife	The site is a general residential zone that has been the subject of a number of reports from



Submission Issue/Summary	Planning Comment/Response
	the initial rezoning of the original subdivision. The development proposes to retain the significant trees on the site which will in turn retain significant open space areas for wildlife not dissimilar to surrounding residential development and densities.
Traffic congestion	Council's Traffic Engineer has reviewed the proposal and advised that following the upgrade works being completed to The Ruins Way that the immediate local road network will be suitable to cater for the increased demand. Broader scale traffic concerns raised are not the subject of this application and would need to be addressed in larger view traffic planning for the region.
Noise pollution	The proposed site is zoned for use as a residential development. Whilst it is expected that there will be increased noise and activity associated with normal use of the site, the use is a reasonable utilisation of the site. The consent authority can only consider the use of the buildings and has no control over who occupies them. A standard condition has been recommended preventing the use of the dwellings for short-term holiday accommodation without subsequent development consent.
Development not permitted in R1 zone - density too high	Some perception has existed in the community that the use is not permissible. The site is zoned R1 General Residential and multidwelling housing is a permissible landuse within the zoning. The objectives of this zone are particularly noted to encourage and allow for a variety of housing types and densities.
	It has also been identified during assessment of the application that the permissible vacant subdivision lot size for standalone subdivision within an R1 is 450m² which in comparison to the density proposed for this development is 1 dwelling per 468m². The floor space ratio of the proposal is 0.43:1.0 which complies with the maximum 0.65:1 floor space ratio applying to the site.
Light pollution to neighbouring properties	Normal residential lighting is anticipated to be installed. No undue or unreasonable impacts are expected.
Developers had originally designated area as golf course	The site has been zoned for General residential use for a considerable amount of time. A golf course may have been conceptual in nature but no consent has been sought for such a



Submission Issue/Summary	Planning Comment/Response
	development. Given the size of the allotment it is not reasonable to anticipate a continued concept or use as a golf course.
Damage to trees - Arborist report inadequate	The Arborist report has been reviewed by Council's Arborist and ecologist who have considered the content and provided additional conditions that will be required to be satisfied, including a tree management plan and restrictions as to user within the 88B restrictions attached to the properties.

## (e) The Public Interest

The proposed development will be in the wider public interest with provision of appropriate additional housing. The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

## (f) Ecologically Sustainable Development and Precautionary Principle

Ecologically sustainable development requires the effective integration of economic and environmental considerations in decision-making processes.

The four principles of ecologically sustainable development are:

- the precautionary principle,
- intergenerational equity,
- conservation of biological diversity and ecological integrity,
- improved valuation, pricing and incentive mechanisms.

The principles of ESD require that a balance needs to be struck between the manmade development and the environmental impact. Based on the assessment provided in the report and with recommended conditions of consent, it is considered an appropriate balance has been struck.

## (g) Climate change

The proposal is not considered to be vulnerable to any risks associated with climate change.

## 4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- Development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- Development contributions will be required in accordance with Section 7.11 of the Environmental Planning and Assessment Act 1979 towards roads, open space, community cultural services, emergency services and administration buildings.
- A copy of the contributions estimate is included as Attachment 3.

## 5. CONCLUSION AND STATEMENT OF REASON



## DEVELOPMENT ASSESSMENT PANEL 25/11/2020

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

## **Attachments**

- 1. DA2020 457.1 Recommended Conditions
- 2. DA2020 457.1 Plans
- 3. DA2020 457.1 Contributions Estimate
- 4. DA2020 457.1 Service Plans
- 5. DA2020 457.1 Arborist Report
- 61. DA1999 1155.1 Major Innes Drive Koala Plan of Management NSW Department of Urban Affairs & Planning & Council Approved May 2000



## FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF PROPOSED CONDITIONS - 2011

NOTE: THESE ARE DRAFT ONLY

DA NO: 2020/457 DATE: 25 November 2020

#### PRESCRIBED CONDITIONS

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

#### A - GENERAL MATTERS

(1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
SOEE		B R Development	1/6/2020
Architectural Plans and Specifications	Job No 10469 Townhouse 217 LHG Lots 1-13 Rev E Job No 10559 Lots 14-16	Think Hibbards	26/05/202 0 2/9/2020
BASIX	10969552M_02	Concept Designs Australia	10 June 2020
Bushfire Assessment		Krisann Johnson	27 April 2020
Arborist Report		Accomplished Tree Management	19 April 2020
Koala Plan of Management Major Innes Drive and the Ruins Way Port Macquarie	Tree retention and replacement, signs and restrictions on users.	King and Campbell Pty Ltd	May 2000

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No building or subdivision work shall commence until a Construction Certificate or Subdivision Works Certificate has been issued and the applicant has notified Council of:
  - a. the appointment of a Principal Certifying Authority; and
  - b. the date on which work will commence.

- Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.
- (3) (A005) This consent allows the strata-subdivision of the units, subject to the submission of an application for a Strata Certificate.
- (4) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
- (5) (A009) The development site is to be managed for the entirety of work in the following manner:
  - Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
  - 2. Appropriate dust control measures;
  - Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
  - 4. Building waste is to be managed via an appropriate receptacle;
  - 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
  - 6. Building work being limited to the following hours, unless otherwise permitted by Council;
    - Monday to Saturday from 7.00am to 6.00pm
    - No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

- (6) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (7) (A013) The general terms of approval from the following authorities, as referred to in section 4.50 of the Environmental Planning and Assessment Act 1979, and referenced below, are attached and form part of the consent conditions for this approval.
  - NSW Rural Fire Service The General Terms of Approval, Reference DA20200629002294 and dated 20 July 2020, are attached and form part of this consent.
- (8) (A033) The applicant shall provide security to the Council for the payment of the cost of the following:
  - a. making good any damage caused to any property of the Council as a consequence of doing anything to which the consent relates,
  - completing any public work (such as road work, kerbing and guttering, footway construction, utility services, stormwater drainage and environmental controls) required in connection with the consent,
  - c. remedying any defects in any such public work that arise within twelve (12) months after the work is completed.

Such security is to be provided to Council prior to the issue of the Subdivision Certificate/Construction Certificate or Section 138 of the Roads Act, 1993.

The security is to be for such reasonable amount as is determined by the consent authority, being an amount that is 10% of the contracted works for Torrens Title subdivision development/the estimated cost plus 30% for building development of public works or \$5000, whichever is the greater of carrying out the development by way of:

i. deposit with the Council, or

ii.an unconditional bank guarantee in favour of the Council.

The security may be used to meet any costs referred to above and on application being made to the Council by the person who provided the security any balance remaining is to be refunded to, or at the direction of, that person. Should Council have to call up the bond and the repair costs exceed the bond amount, a separate invoice will be issued. If no application is made to the Council for a refund of any balance remaining of the security within 6 years after the work to which the security relates has been completed the Council may pay the balance to the Chief Commissioner of State Revenue under the Unclaimed Money Act 1995.

- (9) (A069) Trees on the subject land, numbered T1, T2, T3, T4, T5 and T6 in the Aboricultural Impact Assessment Report (19 April 2020) by Accomplished Tree Management Pty Ltd, shall be retained.
- (10) (A015) All fencing to be lapped and capped paling with posts interspersed on either side of the fences to ensure that fencing does not become a barrier to koala movement throughout the property.

## B – PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE OR SUBDIVISION WORKS CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
  - Position and depth of the sewer (including junction)
  - Stormwater drainage termination point
  - Easements
  - Water main
  - · Proposed water meter location
- (2) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.

Such works include, but not be limited to:

- Civil works
- · Traffic management
- Work zone areas
- Hoardings
- Concrete foot paving
- Footway and gutter crossing
- · Functional vehicular access

Where works are proposed on an RMS classified facility, the Road Authority shall obtain RMS concurrence prior to any approval.

- (3) (B003) Submission to the Principal Certifying Authority prior to the issue of a Construction Certificate or Subdivision Works Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
  - 1. Road works along the frontage of the development.
  - 2. Public parking areas including;
    - a. Driveways and access aisles;
    - b. Parking bays;
    - c. Turning areas; in accordance with AS2890.
  - Sewerage reticulation.
  - 4. Water supply reticulation.
  - Retaining walls.
  - 6. Stormwater systems.
  - Erosion & Sedimentation controls.
  - 8. Landscaping/waste management facilities.
- (4) Payment to Council, prior to the issue of a Construction or Subdivision Certificate (whichever occurs first) of the Section 7.11 contributions set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied, pursuant to the Environmental Planning and Assessment Act 1979 as amended, and in accordance with either the provisions of the following plans (as amended) or a Planning Agreement:
  - Port Macquarie-Hastings Administration Building Contributions Plan 2007
  - Hastings S94 Administration Levy Contributions Plan 2003
  - Port Macquarie-Hastings Open Space Contributions Plan 2018
  - Hastings S94 Major Roads Contributions Plan 2004
  - Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005
  - Port Macquarie-Hastings Section 94 Local Roads Contributions Plan Areas 13, 14 and 15 2014

The plans may be viewed on Council's website or during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.

(5) Prior to the issue of Construction or Subdivision Certificate (whichever occurs first), a Compliance Certificate under Section 307 of the Water Management Act 2000 must be obtained from the Water Authority.

- Note1: Port Macquarie-Hastings Council is defined as a Water Supply Authority under section 64 of the Local Government Act 1993. As part of the Notice of Requirements of the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution is required, prior to the issue of a Construction or Subdivision Certificate (whichever occurs first), of the Section 64 contributions, as set out in the "Notice of Payment Developer Charges" schedule attached to and included as part of this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with either the provisions of the relevant Section 64 Development Servicing Plan or a Planning Agreement.
- Note 2: A Section 307 Compliance Certificate issued by the Water Authority at the construction certificate stage only relates to the payment of contributions in accordance with the Development Servicing Plan or a Planning Agreement. A further Compliance Certificate may be required for other water management works prior to occupation or the issue of an Occupation or Subdivision Certificate relating to the development.
- Note 3: The Water Authority will accept payment of the equivalent amount of contributions under Section 608 of the Local Government Act 1993.
- (6) (B016) Provision to each lot of a separate sewer line to Council's main. All work will need to comply with the requirements of Council's adopted AUSPEC Design and Construction Guidelines and Policies. Any abandoned sewer junctions are to be capped off at Council's sewer main and Council notified to carry out an inspection prior to backfilling of this work.
  - Construction details are to be submitted to Port Macquarie-Hastings Council with the application for Subdivision Works Certificate.
- (7) (B024) Submission to Council of an application for water meter hire, which is to be referred to the Water Supply section so that a quotation for the installation can be prepared and paid for prior to the issue of a Construction Certificate. This application is also to include an application for the disconnection of any existing service not required.
- (8) (B037) The finished floor level of the building shall be at least 1050mm above the soffit of Council's sewer main. Details indicating compliance with this are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.
- (9) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.
- (10) (B053) The design of the carpark and accesses is to be in accordance with Australian Standard 2890 (including AS 2890.1, AS 2890.2 and AS 2890.6). Certification of the design by a suitably qualified consultant is to be provided to the Principal Certifying Authority prior to release of the Construction Certificate.
- (11) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.

- (13) (B046) The building shall be designed and constructed so as to comply with the Bushfire Attack Level (BAL) requirements of Australian Standard 3959 and the specifications and requirements of Planning for Bush Fire Protection as stipulated in the RFS Bushfire Authority. Details shall be submitted to the Principal Certifying Authority with the application for Construction Certificate demonstrating compliance with this requirement.
  - Please note: Compliance with the requirements of the current Planning for Bush Fire Protection Guidelines to prevail in the extent of any inconsistency with the Building Code of Australia.
- (14) The proposed development shall drain all sewage a new or existing sewer manhole. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.
- (15) Each proposed dwelling will need to be separately metered for water, meters may be either located at the road frontage or internally with a master meter at the boundary. All design & works shall be in accordance with Council's adopted AUSPEC Specifications.
- (16) A stormwater drainage design is to be submitted and approved by Council prior to the issue of a Subdivision Works Certificate or Construction Certificate. The design must be prepared in accordance with Council's AUSPEC Specifications, Australian Rainfall and Runoff 2019, the requirements of Relevant Australian Standards and shall make provision for the following:
  - a) The legal point of discharge for the proposed development is defined as:
    - The existing stormwater junction at The Ruins Way frontage of the site, AND
    - ii. The existing interallotment drainage system at the south-eastern corner of the site
  - b) The design and fractions of land being discharged to each of the above outlets shall be generally in accordance with the stormwater drainage concept plan on Drawing No 11564 Sheet 4 of 10 "Stormwater Plan DA issue" Revision F, prepared by BR Development Consulting and dated 15 September 2020.
  - All allotments must be provided with a direct point of connection to the public piped drainage system. Kerb outlets are not permitted.
  - d) The design shall incorporate on-site stormwater detention facilities to limit site stormwater discharge to a rate equal to the following:
    - i. Discharge to The Ruins Way shall be limited to a rate that is both less than pre-development discharge, AND less than or equal to the design allowance made for stormwater discharge from the subject site in the recently completed stormwater drainage upgrade along The Ruins Way by Port Macquarie - Hastings Council.
    - ii. Discharge to the interallotment drainage system at the southeast corner of the site shall be limited to the lesser of pre-development flow rates OR the available capacity of the downstream interallotment drainage system (having regard for existing development utilising that system).
  - e) The design shall include water quality controls designed to achieve the targets specified within AUSPEC D7.

- f) Where works are staged, a plan is to be provided which demonstrates which treatment measure/s is/are to be constructed with which civil works stage. Separate plans are required for any temporary treatment (where applicable e.g. for building phase when a staged construction methodology is adopted) and ultimate design.
- g) The design is to make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands. The design must include the collection of such waters and discharge to the Council drainage system.
- h) An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets.
- i) The design shall provide details of any components of the existing stormwater drainage system servicing the site that are to be retained.

#### C - PRIOR TO ANY WORK COMMENCING ON SITE

- (1) (C001) A minimum of one (1) weeks' notice in writing of the intention to commence works on public land is required to be given to Council together with the name of the principal contractor and any major sub-contractors engaged to carry out works. Works shall only be carried out by a contractor accredited with Council.
- (2) (C004) Prior to works commencing an application being made to the electricity and telecommunications service providers. Services are required to be underground.
- (3) (C013) Where a sewer manhole and/or Vertical Inspection Shaft (VIS) exists within a property, access to the manhole/VIS shall be made available at all times. Before during and after construction, the sewer manhole/VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.
- (4) (C015) Tree protection fencing, compliant with AS 4970/2009 Protection of trees on development sites must be provided. The fencing shall be in place prior to the commencement of any works or soil disturbance and maintained for the entirety of the works.

#### **D - DURING WORK**

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
  - a. at completion of installation of erosion control measures;
  - b. when trenches are open, stormwater/water/sewer pipes and conduits jointed and prior to backfilling;
  - c. before pouring of kerb and gutter;
  - d. prior to the pouring of concrete for sewerage works and/or works on public property;
  - e. during construction of sewer infrastructure;
  - f. during construction of water infrastructure.

All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public

- Infrastructure and any other Council approval, prior to proceeding to the next hold point.
- (2) (D006) A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.
- (3) (D003) The site is in an area known to contain rock that may contain naturally occurring asbestos (NOA). Should potential NOA be located on site notification shall be provided to Council and Workcover prior to works proceeding. No work shall recommence until a NOA management plan has been approved by Council or Workcover.
- (4) (D023) During all phases of demolition, excavation and construction, it is the responsibility of the applicant and their contractors to:
  - a. Ascertain the exact location of the interallotment stormwater drainage pipeline and associated pits traversing the site in the vicinity of the works.
  - b. Take measures to protect the in-ground stormwater drainage pipeline and associated pits.
  - Ensure dedicated overland flow paths are satisfactorily maintained through the site.

Stormwater drainage pipes can be damaged through applying excessive loading (such as construction machinery, material storage and the like). All proposed structures and construction activities must be sited fully clear of Council's stormwater drainage pipes, pits, easements, watercourses and overland flow paths on the site.

If the Council pipeline is uncovered during construction, all work must cease and the Certifying Authority and Council must be contacted immediately for advice.

Any damage caused to Council's stormwater drainage system must be immediately repaired in full and at no cost to Council.

## E – PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE / SUBDIVISION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E010) Driveways, access aisles and parking areas shall be provided with an approved surface. Such a surface shall be on a suitable pavement, constructed and maintained in accordance with Council's Development, Design and Construction Manuals (as amended).
- (3) (E030) Vehicle ramps, driveways, turning circles and parking spaces being paved, sealed and line marked prior to occupation or the issue of the Occupation Certificate or commencement of the approved land use.
- (4) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (5) (E034) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (6) (E038) Interallotment drainage shall be piped and centrally located within an inter-allotment drainage easement, installed in accordance with Council's

current AUSPEC standards (minimum 225mm pipe diameter within a minimum 1.5m easement). Details shall be provided:

- As part of a Local Government Act (s68) application with evidence of registration of the easement with the Land Titles Office provided to Council prior to issue of the s68 Certificate of Completion; or
- As part of a Subdivision Works Certificate with dedication of the easement as part of any Subdivision Certificate associated with interallotment drainage.
- (7) (E053) All works relating to public infrastructure shall be certified by a practicing Civil Engineer or Registered Surveyor as compliant with the requirements of AUSPEC prior to issue of Occupation/Subdivision Certificate or release of the security bond, whichever is to occur first.
- (8) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (9) (E061) Landscaped areas being completed prior to occupation or issue of the Certificate.
- (10) (E056) A Certificate of Compliance under the provisions of Section 307 of the Water Management Act must be obtained prior to the issue of any occupation or subdivision certificate. The application for the certificate is to include an acceptable Work-As-Executed plan for water and sewer mains and services from a Professional Engineer or Registered Surveyor.
- (11) (E068) Prior to the issue of a Subdivision Certificate, evidence to the satisfaction of the Certifying Authority from the electricity and telecommunications providers that satisfactory services arrangements have been made to the dwellings (including street lighting and fibre optic cabling where required).
- (12) (E072) Lodgement of a security deposit with Council upon practical completion of the subdivision works.
- (13) (E195) The subdivision certificate shall not be issued until such time that the dwellings associated with this development are substantially commenced (as determined by Council) or where a strata management statement, or restriction as to user, prohibits any dwelling on each lot other than the dwelling approved as part of this consent.
- (14) (E040)Each onsite detention system is to be marked by a plate in a prominent position which states:
  - "This is an onsite detention system. It is an offence to reduce the volume of the tank or basin or interfere with any part of the structure that controls the outflow".
  - This plate is to be fixed into position prior to occupation or the issue of the Occupation or Subdivision Certificate.
- (15) (E041)At the completion of works on private property certification is to be provided to Port Macquarie-Hastings Council from a practising civil or structural engineer that all stormwater works have been undertaken in accordance with the approved plans and Australian Standard 3500.
- (16) (E048) Prior to the issue of an Occupation Certificate, a positive covenant is to be created under Section 88E of the Conveyancing Act 1919, burdening the owner(s) with the requirement to maintain the water quality control facilities within the site.

In addition, a maintenance schedule for the water quality controls must be submitted to Council for approval with the stormwater work-as executed plans. This maintenance schedule and work as executed plan shall be registered and referred to as part of the positive covenant.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

- a. The Proprietor of the property shall be responsible for inspecting, maintaining and keeping clear all components of and structures associated with the stormwater quality improvement device (SQID) in accordance with the maintenance plan in order to achieve the design system performance targets.
- b. The Proprietor shall have the SQID inspected annually by a competent person.
- c. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all components or structures in or upon the said land which comprise the SQID and recover the costs of any such works from the proprietor.
- d. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the SQID, or failure to clean, maintain and repair the SQID.

The instrument shall be created and registered on the title of the relevant lot(s) with the Lands and Property Information (LPI) NSW. The plan and terms of the easement must be endorsed by Council through formal application prior to lodgement at the Lands and Property Information NSW. Evidence of registration shall be submitted to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate.

- (17) Appropriate signage is to be erected and maintained in perpetuity at the entrance to the property advising residents and visitors that they are entering an area of important koala habitat. The sign will contain information such as:
  - a. Advice on the duration of breeding season and the most active times of day/night
  - b. Advice to motorists to drive slowly
  - c. Advice to dog owners, warning them of the threat their pets pose to koalas
  - d. Reminding them of their obligation to keep their dogs under control at all times
  - e. Contact details for the Koala Hospital / FAWNA to facilitate prompt reporting of sick or injured koalas
- (18) (E063) A Tree Management Plan is to be provided to Council to ensure ongoing management and retention of the Tallowwood (Eucalyptus microcorys) trees post construction. Plan to be developed by an AQF Level 5 Arborist and include an ongoing inspection schedule determined by the Arborist to ensure longevity of tree population and resident safety. The costs to implement and maintain this management plan shall be part of the strata management fees for the property. A copy of the results from the scheduled reinspections report shall be made available to Council upon completion.
- (19) (E076) The plan and Section 88B instrument shall establish the following restrictions, covenants; with Council having the benefit and having the sole

authority to release, vary or modify each restriction, and/or covenant. Wherever possible the extent of the land affected by these covenants shall be defined by bearings and distances shown on the plan.

- a. All Tallowwood (Eucalyptus microcorys) trees are to be retained and protected in perpetuity on the property. No tree shall be removed without written consent from Port Macquarie-Hastings Council and this will only be considered if the tree is assessed as dangerous by a level 5 Consulting Arborist and the risk cannot be managed. Where consent to remove a tree is granted it must be replaced on site with the same species using advanced size that meets AS2303:2015 Tree Stock for Landscape Use within 3 months of removal.
- b. Restrictions as to user are to be placed on allotments requiring fencing to be lapped and capped paling with posts interspersed on either side of the fence. The purpose of this restriction is to ensure that fencing does not become a barrier to koala movement throughout the property.
- c. Restrictions as to user will also require that pool designs-incorporate appropriate pool rescue ropes to minimise the potential for koala drownings.
- d. Annual inspection and management of Tallowwood (*Eucalyptus microcorys*) trees to be undertaken by level 5 arborist in accordance with the approved tree management plan.

## F - OCCUPATION OF THE SITE

(1) (F004) The dwellings are approved for permanent residential use and not for short term tourist and visitor accommodation.

## DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
2	site plan
3	services plan
4	landscape plan
6	excavation + retaining walls
7	ground floor
8	first floor
9	elevations 1-2
10	elevation 3-4
11	section & typical detail
12	slab plan - penetrations- rebates
13	floor joists layout (indicative only) - refer to framers details
14	electrical layout
15	kitchen / laundryinternal elevations
16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
21	bracing details - first floor
22	A13- adjustable steel posts
23	Alfresco beam and sliding door section details
24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

#### BASIX REQUIREMENTS

- 3-STARS SHOWERHEADS.4-STARS WC, 4-STARS TAPS
- 4-STARS WC, 4-STARS TAPS.

  1500LItr ROUND/SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150 m² OF ROOF AREA.

  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.

  R? INSULATION BATTS TO EXTERNAL WALLS.

  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.

  ROOF DARK MEDIUM LIGHT.

  WINDOWS SINGLE CLEAR.

  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING, LPG/NATURAL.

  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.

  12kw DUCTED AIR CONDITIONING

  OVEN ELECTRIC CHEF CVE612SA.

  COOKTOP CHEF NATURAL/I-PG GAS CHG646SA.

- COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
   RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
   DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

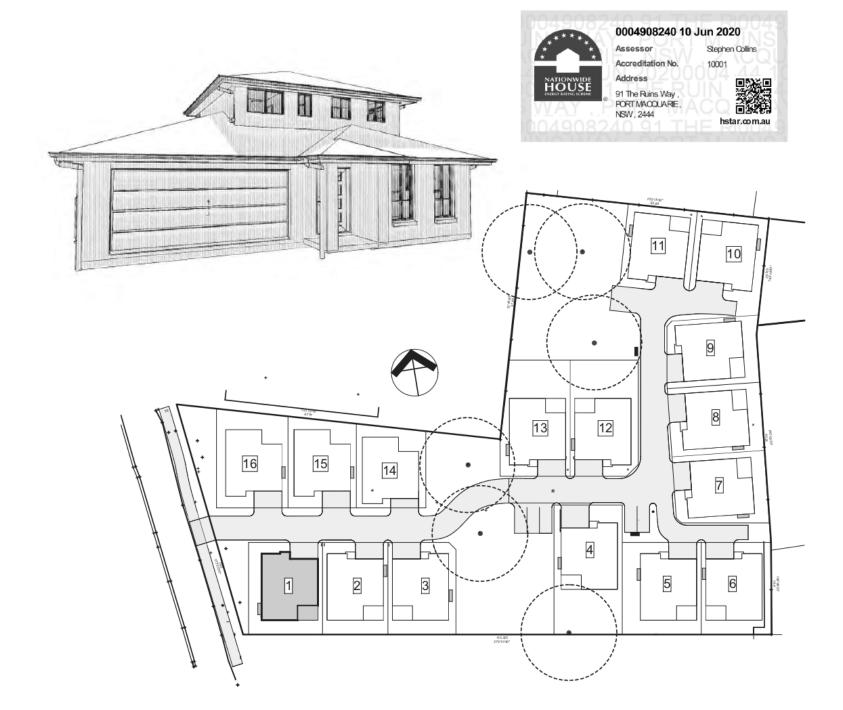
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

  WET AREAS ARE TO BE SEALED ATTHE INTERSECTION OF THE FLOOR AND WALLAND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEA!
- POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
   ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTIPMENT OF STATEMENT OF STATEMENT



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TOWNHOUSE 217 LHG

Lot 1, No.91 Ruins Way Port Macquarie

JOB ADDRESS

PROPOSAL

2 STOREY DP: 1219811

	drawin	drawing title COVER SHEET									
		issue	description	JOB No. SCALE DRAWN		10469		revision			
	12.05.20	1	creating working drawlings				TS	1 PAGE			
							to A3 size				
		_				_	SU	PAGE			
_				. DA	DATE				5/2020	1 1	
				WIND	'N2'	SITE		•			

SITE INFORMATION				
LOT NUMBER:	1			
REGISTERED PLAN NUMBER SP	1219811			
SUBURB	PORT MACQUARIE			
LOCAL AUTHORITY	PORT MACQUARIE			
PARISH				
COUNTY				
SITE AREA	296m²			

#### Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas (c) 50mm above paved or concrete areas with fall away from the building

#### Roof Drainage

Catchment Area

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

	·
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

Gutter Description

#### Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

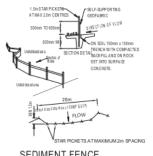
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting

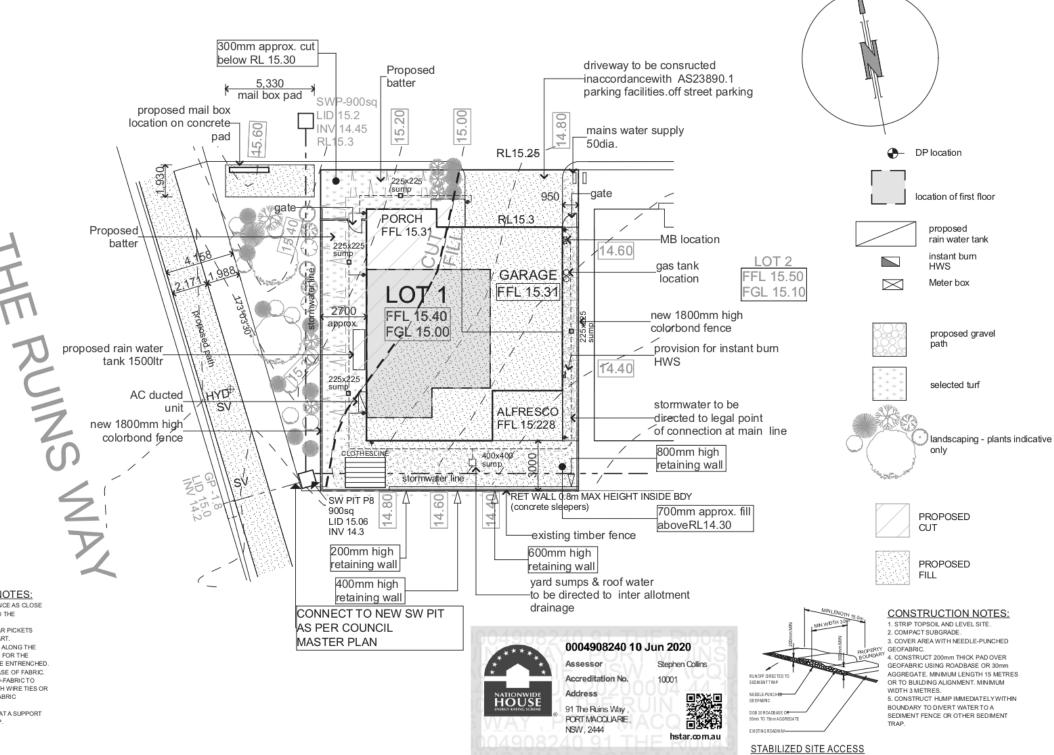


## CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART. 3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED. 4. BACKFILL TRENCH OVER BASE OF FABRIC. 5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER. 6. JOIN SECTIONS OF FABRIC AT A SUPPORT PLAN POST WITH A 150mm OVERLAP







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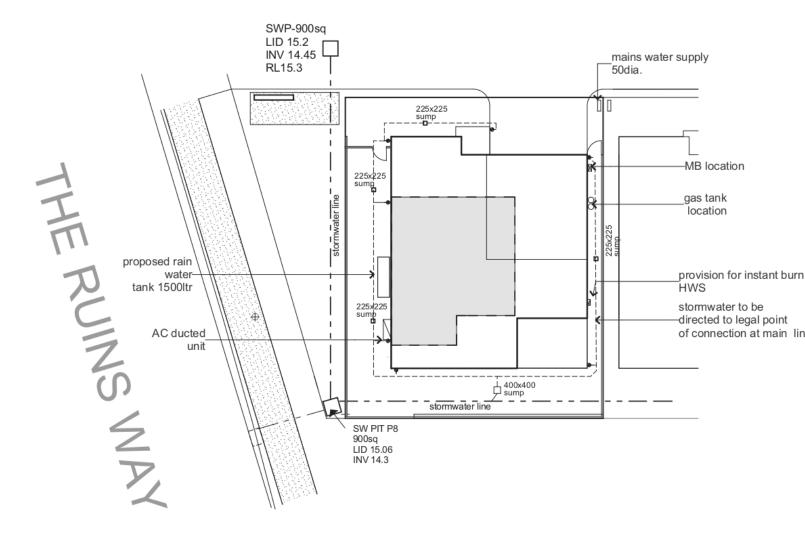
JOB ADDRESS Lot 1,No.91 Ruins Way Port Macquarie 2 STOREY

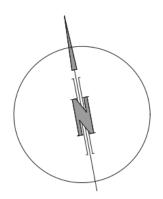
DP:

1219811

PROPOSAL

drawing title SITE PLAN 10469 Feb JOB No. 1:200 SCALE DRAWN RSU PAGE DATE 26/05/2020 2 WIND 'N2' SITE







	HERA Assessor # 10001	June 2020		CDA Reference: 336				
	91 The Rui	ns Way PORT	MAC	QUARIE NSV	V 2444			
		Concept Design	gns A	ustralia				
	conceptde signsaus@outlook.	com			I	Ph: 0418877571		
	Thermal Performance Specifications							
	External Wall Construction	Insulation	С	olour (Solar Absorp	otance)	Detail		
	Brick Veneer	Antiglare foil + R2.	0	Dark		Except Garage		
n	Brick Veneer	Antiglare foil		Dark		Garage only		
	FC cladding	Vapour barrier/ Antiglare foil + R2.	0	Dark				
	Internal Wall Construction	Insulation			Detail			
ľ	Plasterboard	None						
ne	Plasterboard	R2.0	Α	III units – first floor				
				All units - walls be				
				its 3 – Walls betwe				
	Ceiling Construction	Insulation	ar	nd walls between B	Detail	adjoining rooms		
	Plasterboard	Units 3 and 9 –		All - T	D o tun	f		
	Plasterboard	R3.5		All ceilings adjacent to roof space (Except Garages)				
		Remaining units –		(=:::		-,		
		R2.5						
	Roof Construction	Insulation		Colour (Solar Ab:	sorptance)	Detail		
	Colorbond	55mm anticon blanket		Dark				
	Floor Construction	Insulation		(	Covering			
	300mm waffle pod			Bare, T	iles and Ca	rpet		
	Timber	None		Tiles	and Carpe	et		
	Windows Glass and frame typ	oe U Value	SHGC	Details				
	SSW-001-01 Aluminium framed sin	gle clear 6.35 (	0.75	Sliding and fixed v	windows			
	SSW-006-01 Aluminium framed sin	gle clear 6.27 (	0.71	Sliding doors				
	U and SHGC values are according t	o NFRC. Alternate j	product.	s may be used if th	e U value is	s the same or		
	lower and the SHGC is within 10% of the above figures. This also applies to changes to the thickness and type of glass required to meet Bushfire regulations.							
	Fixed shading - Eaves		cludes g	uttering, offset is a	fistance abo	ove windows		
	Width: As drawn Offset:	As drawn N	Iominal	only, refer to plan i	for detail			
	Fixed shading - Other	V	'eranda	hs, Pergolas (type	and descrip	otion)		
	Shaded areas and shade devices	as drawn, adjoining	buildin	gs and boundary fe	ences			
	Building Sealing							
	External doors to be weather stripped and windows to comply with AS 2047.							
	LED downlights to be sealed.							
	Exhaust fans to be fitted with dan	npers as per NCC.						
I								



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DESIGN

TOWNHOUSE 217 LHG

PROPOSAL

Lot 1,No.91 Ruins Way
 Port Macquarie

2 STOREY

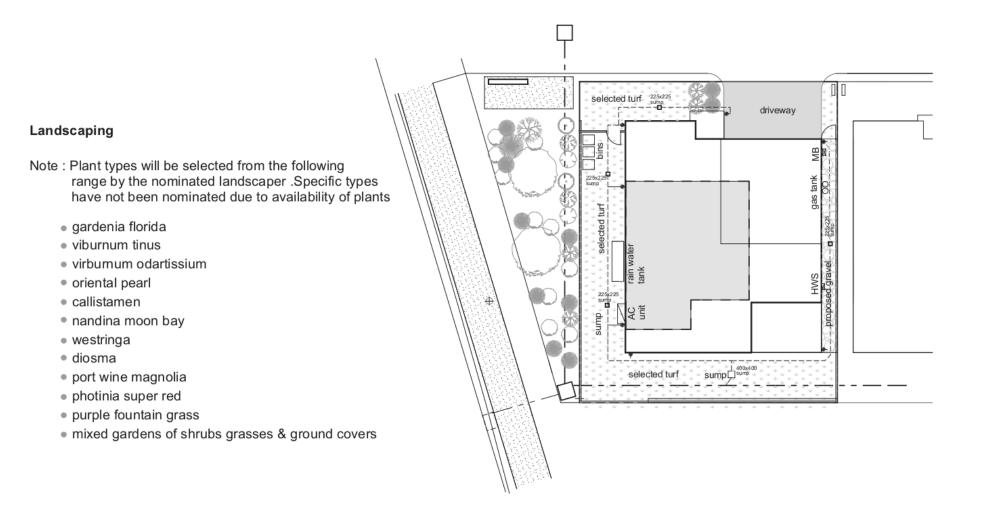
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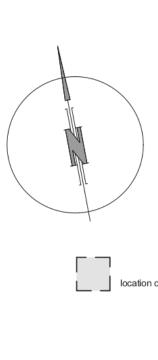
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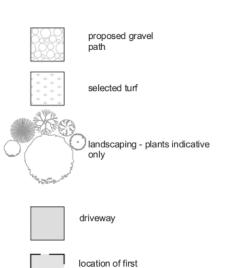
0004908240 10 Jun 2020

Accreditation No. Address

91 The Ruins Way , PORT MACQUARIE , NSW , 2444











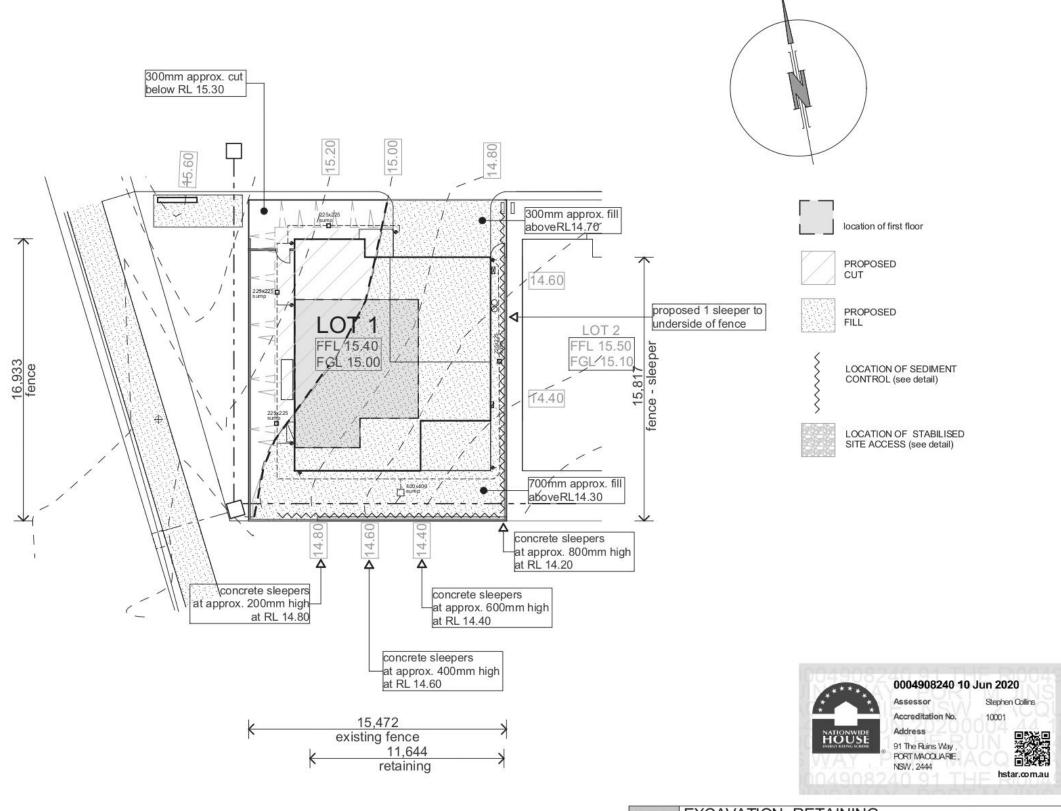
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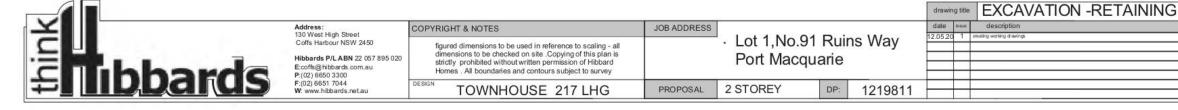
Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 6650 3300 F:(02) 6651 7044 figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey

TOWNHOUSE 217 LHG

- Lot 1,No.91 Ruins Way
Port Macquarie

PROPOSAL 2 STOREY DP: 1219811





Page 217

10469 revision

PAGE

5

1:100

RSU

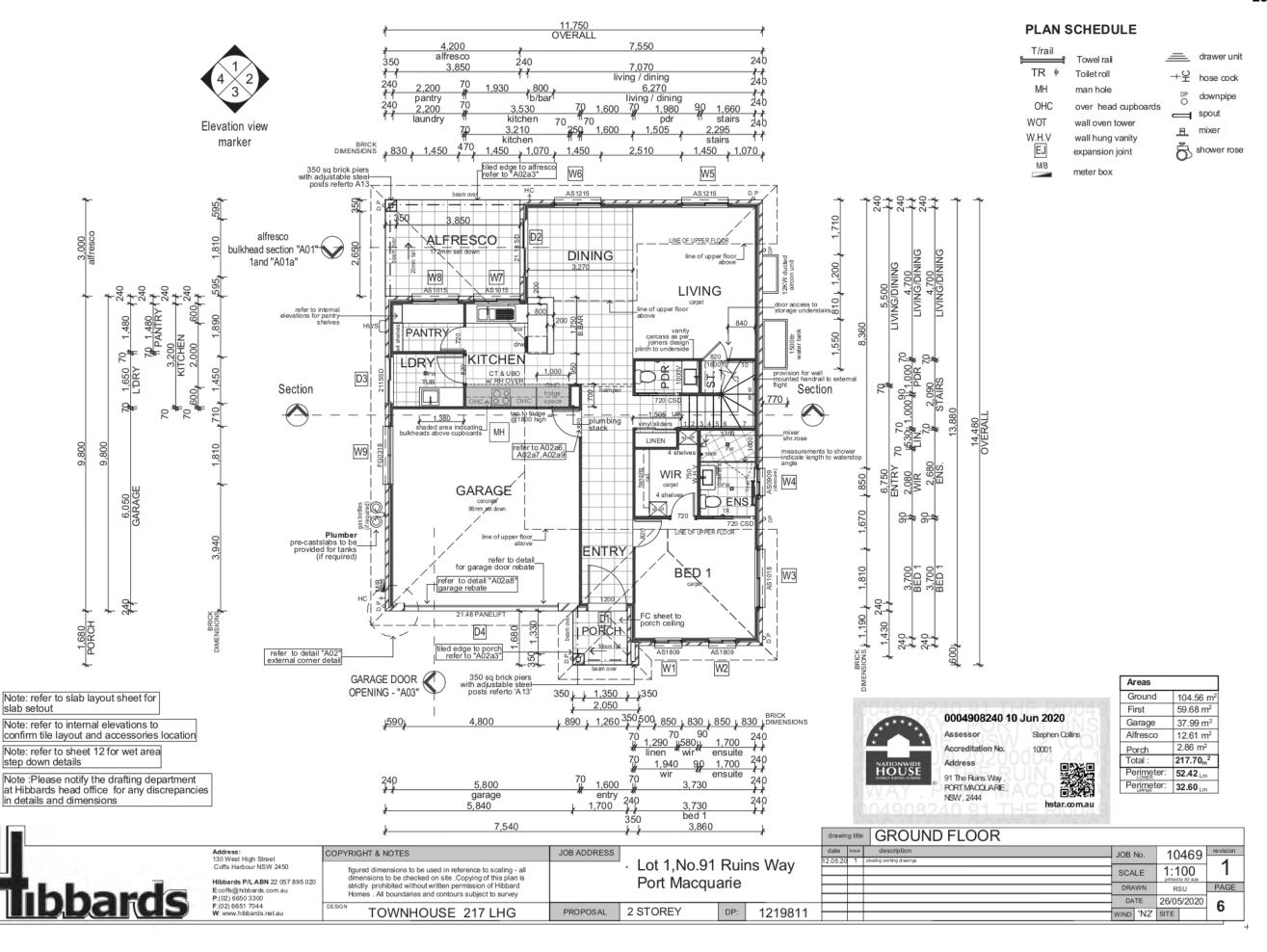
DATE 26/05/2020

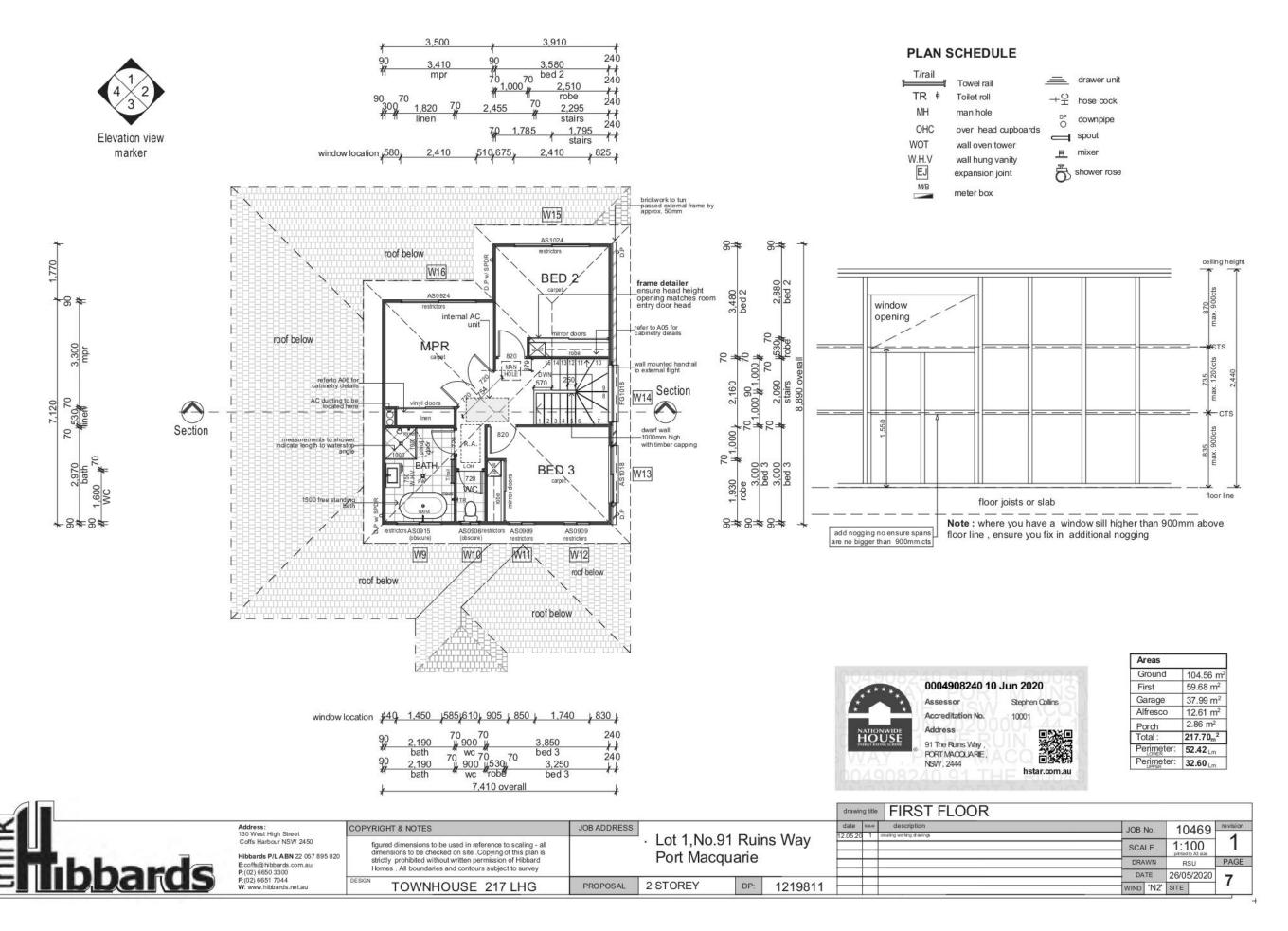
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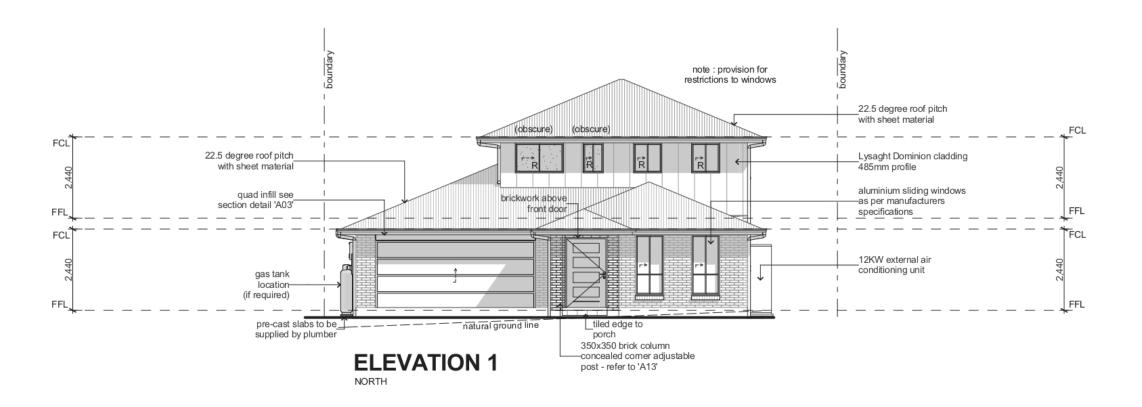
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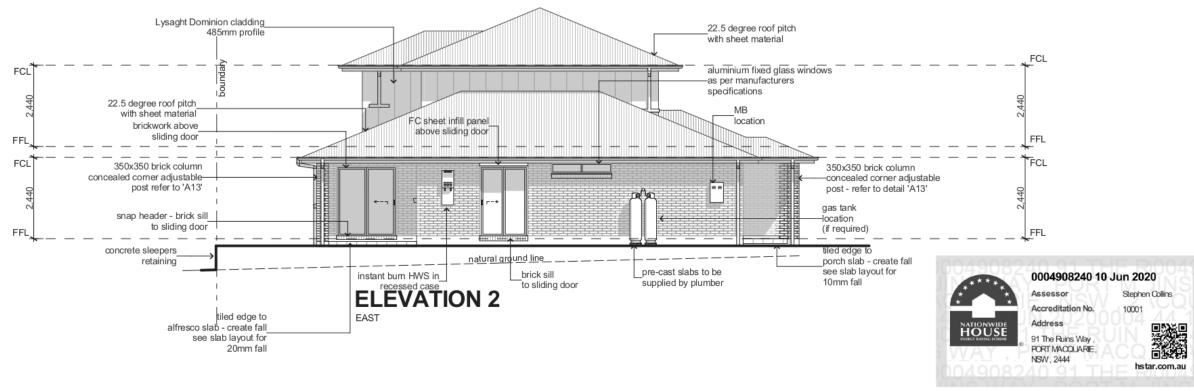
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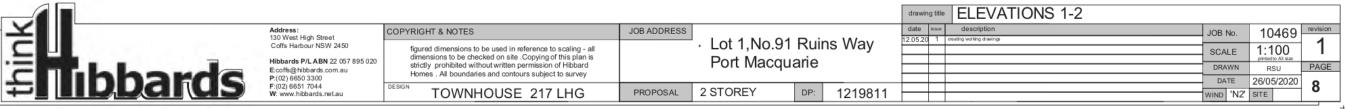
WIND 'N2' SITE

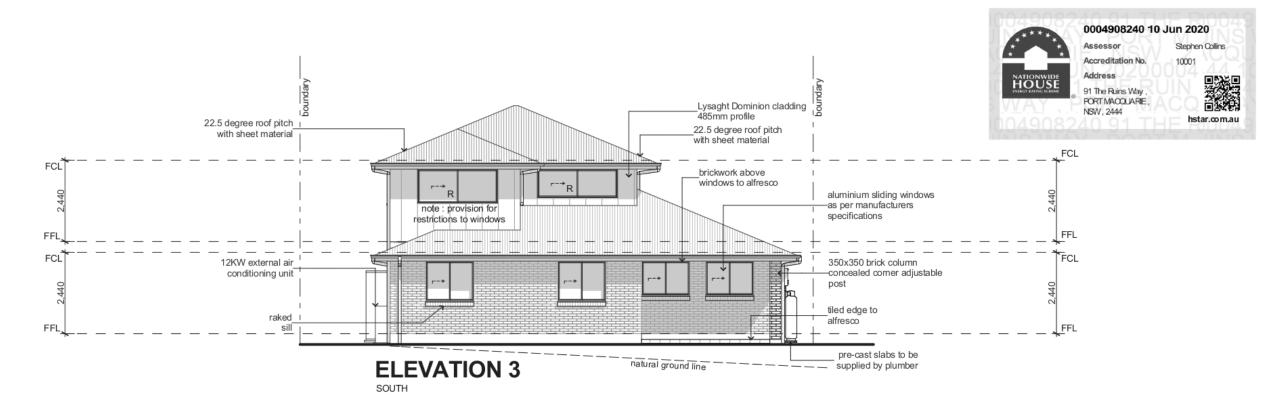


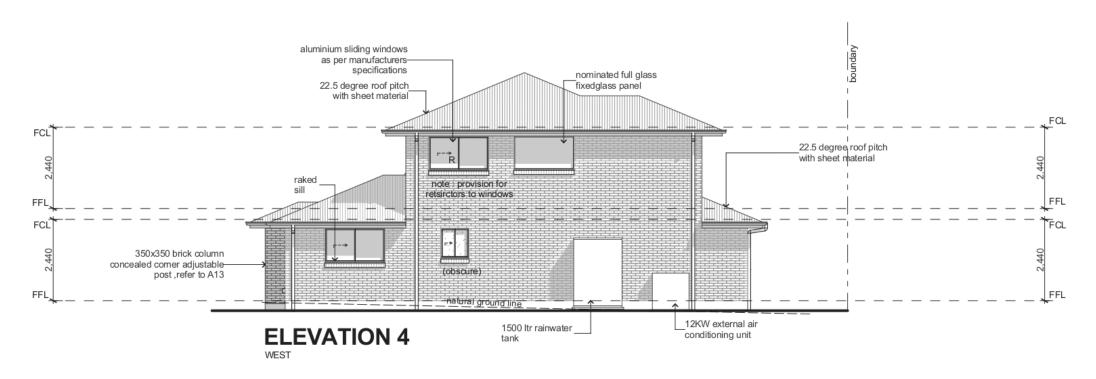


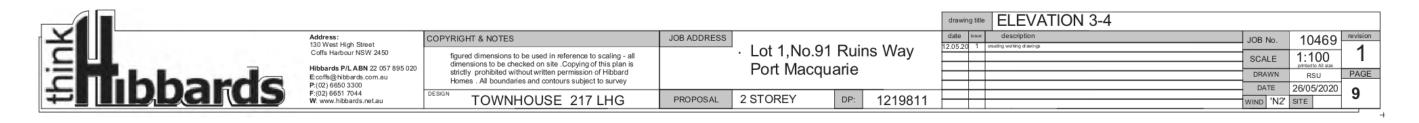


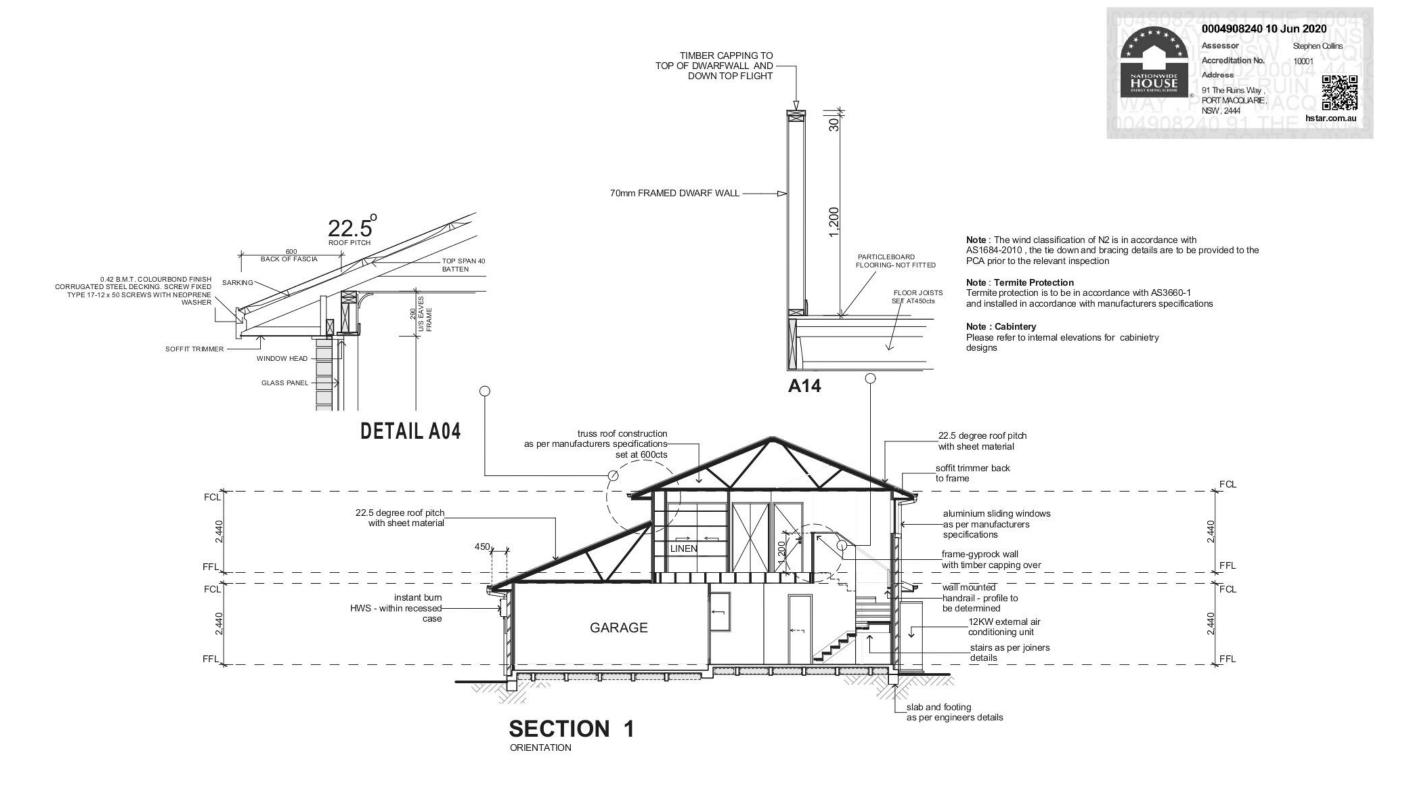


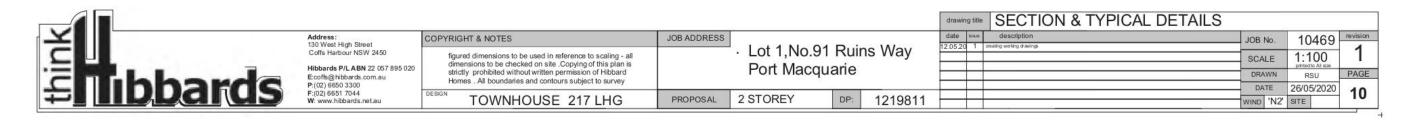












SHEET	DESCRIPTION / TITLE
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25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
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#### BASIX REQUIREMENTS

- BASIX REQUIREMENTS

  3 STARS SHOWERHEADS.
  4 STARS WC, 4 STARS TAPS.
  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.
  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R SI INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.
  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CYE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

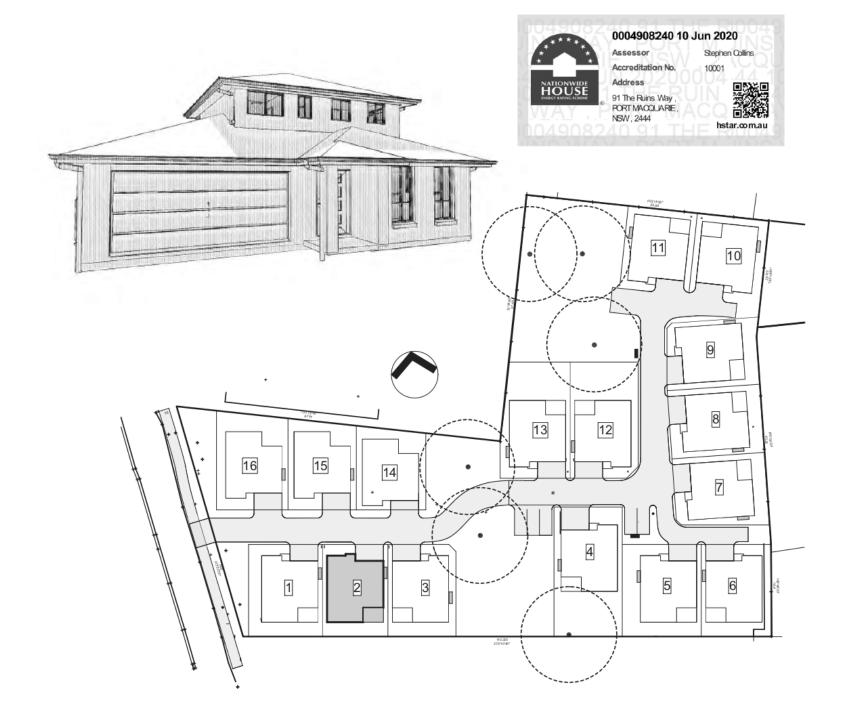
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

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   ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTIPMENT OF STATEMENT OF STATEMENT



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Lot 2, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811 drawing title COVER SHEET 10546 JOB No. 1:100 SCALE DRAWN RSU PAGE DATE 26/05/2020 WIND 'N2' SITE

SITE INFORMATION				
LOT NUMBER:	2			
REGISTERED PLAN NUMBER SP				
SUBURB	PORTMACQUARIE			
LOCAL AUTHORITY	PORTMACQUARIE			
PARISH				
COUNTY				
SITE AREA	262m²			

Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas (c) 50mm above paved or concrete areas with
- fall away from the building

#### Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area Gutter Description 30 m2 115mm D Gutter 40m2 125mm D Gutter 50m2 150mm D Gutter 60m2 150mm D Gutter

#### Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

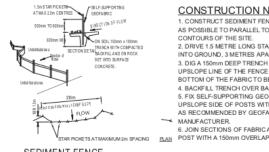
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.RDevelopment Consulting

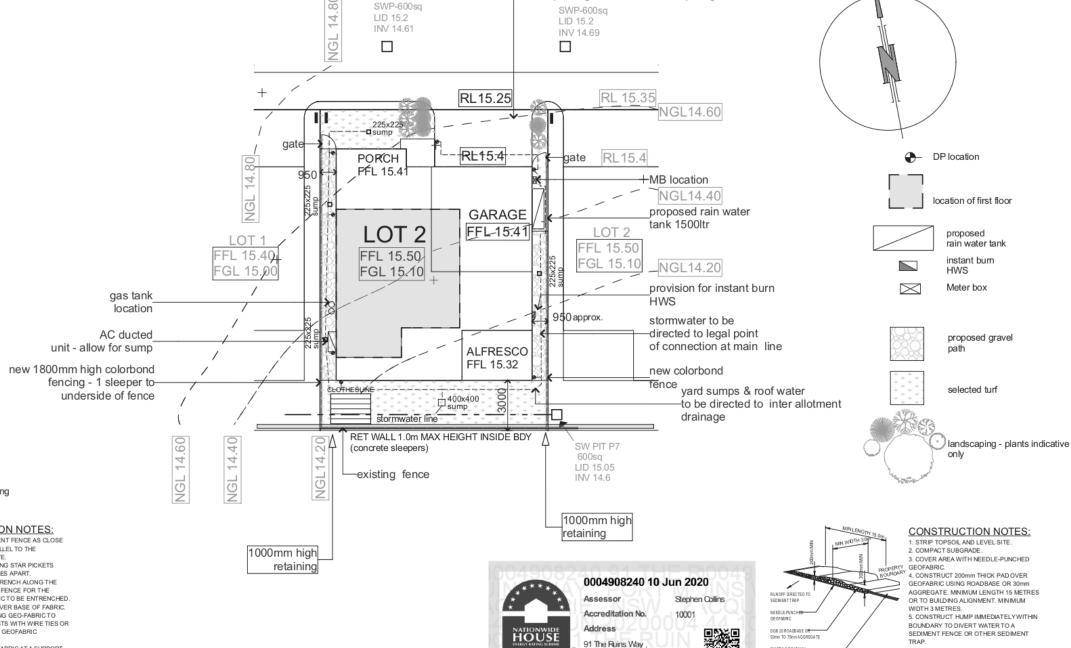


#### CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART. 3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED. 4. BACKFILL TRENCH OVER BASE OF FABRIC. 5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER. 6. JOIN SECTIONS OF FABRIC AT A SUPPORT

SEDIMENT FENCE



driveway to be consructed inaccordancewith AS23890.1 parking facilities.off street parkig



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Lot 2, No.91 Ruins Way Port Macquarie 2 STOREY DP:

PORT MACQUARIE,

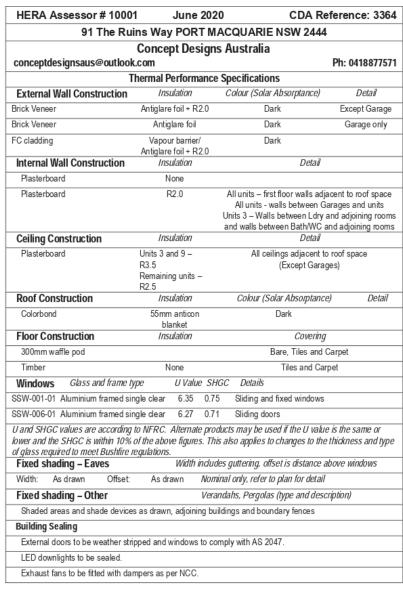
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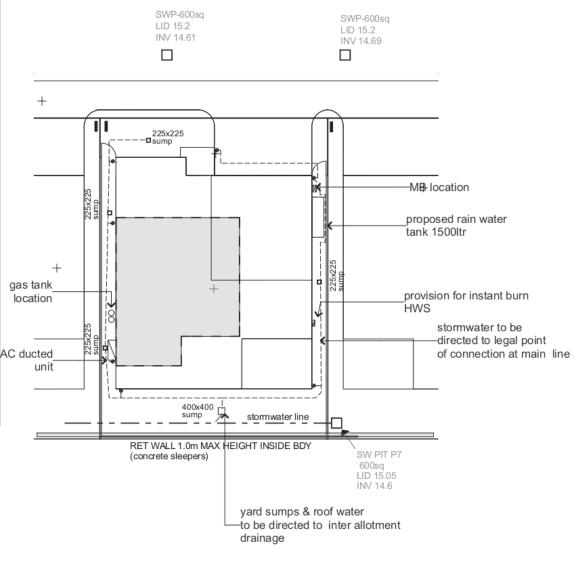
NSW, 2444

1219811

drawing title SITE PLAN 10546 JOB No. 1:200 SCALE DRAWN RSU PAGE DATE 26/05/2020 2 WIND 'N2' SITE

STABILIZED SITE ACCESS







0004908240 10 Jun 2020

Accreditation No.
Address

91 The Ruins Way

NSW, 2444

PORT MACQUARIE,

Stephen Collins

hstar.com.au

Address: 130 West High Street Coffs Harbour NSW 2450

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TOWNHOUSE 217 LHG	PROPOSAL	2 STOREY

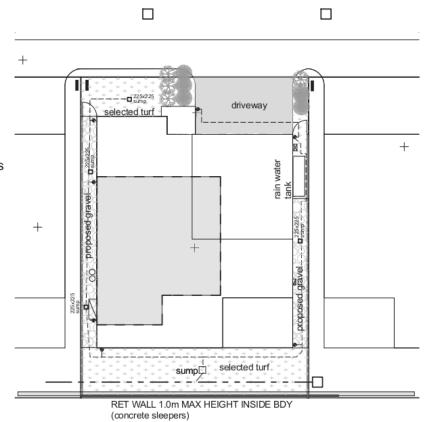
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STOREY	DP:	1219811				
OTOINET	DF.	1219011				

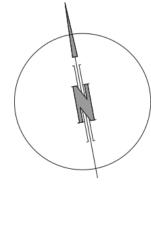
drawin	g title	SERVICES PLAN					
date	issue	description	JOB	No.	10	546	revision
12.05.20	1	creating working drawings					1
			SCA	SCALE		200	- I
					printed to A3 size		PAGE
			DRA	WN	R	SU	PAGE
		DATE		DATE 26/05/2020		5/2020	2
			WIND	'N2'	SITE		3
			WIND	142	SITE		

# Landscaping

Note: Plant types will be selected from the following range by the nominated landscaper. Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers







proposed gravel path



selected turf





driveway



location of first floor structure



PROPOSAL



Address: 130 West High Street Coffs Harbour NSW 2450

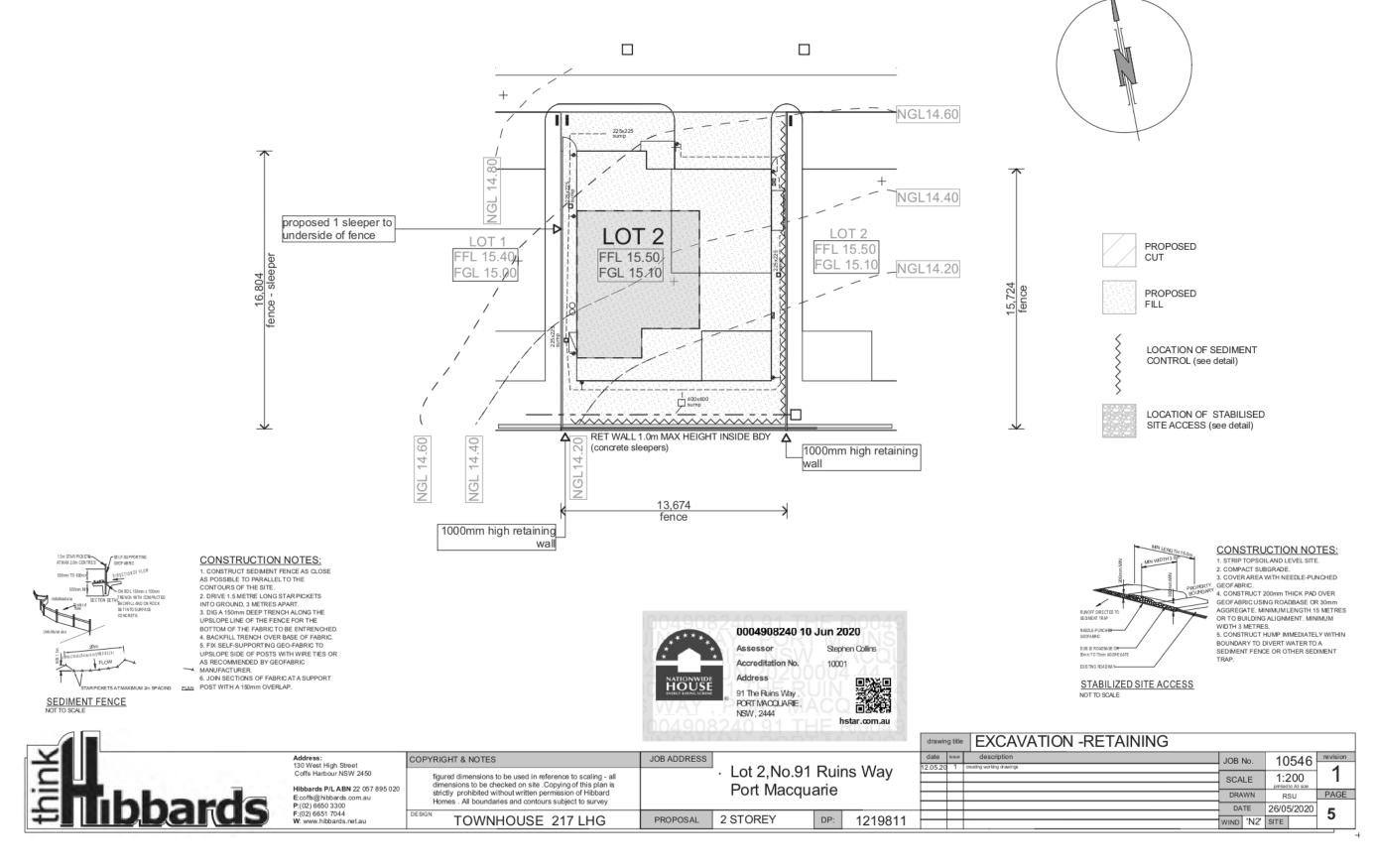
Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 6650 3300 F:(02) 6651 7044 W: www.hibbards.pet.au COPYRIGHT & NOTES

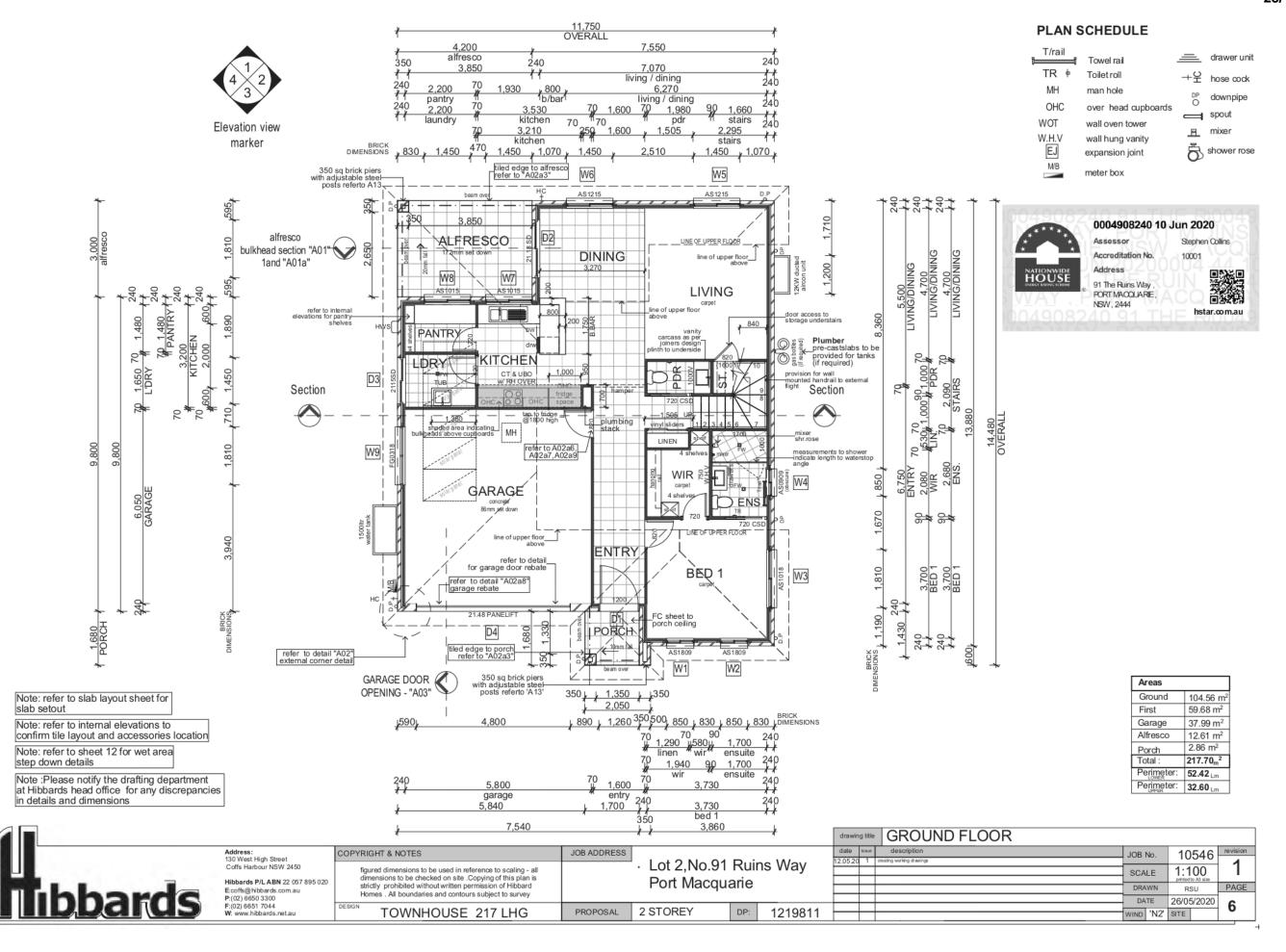
figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes. All boundaries and contours subject to survey

TOWNHOUSE 217 LHG

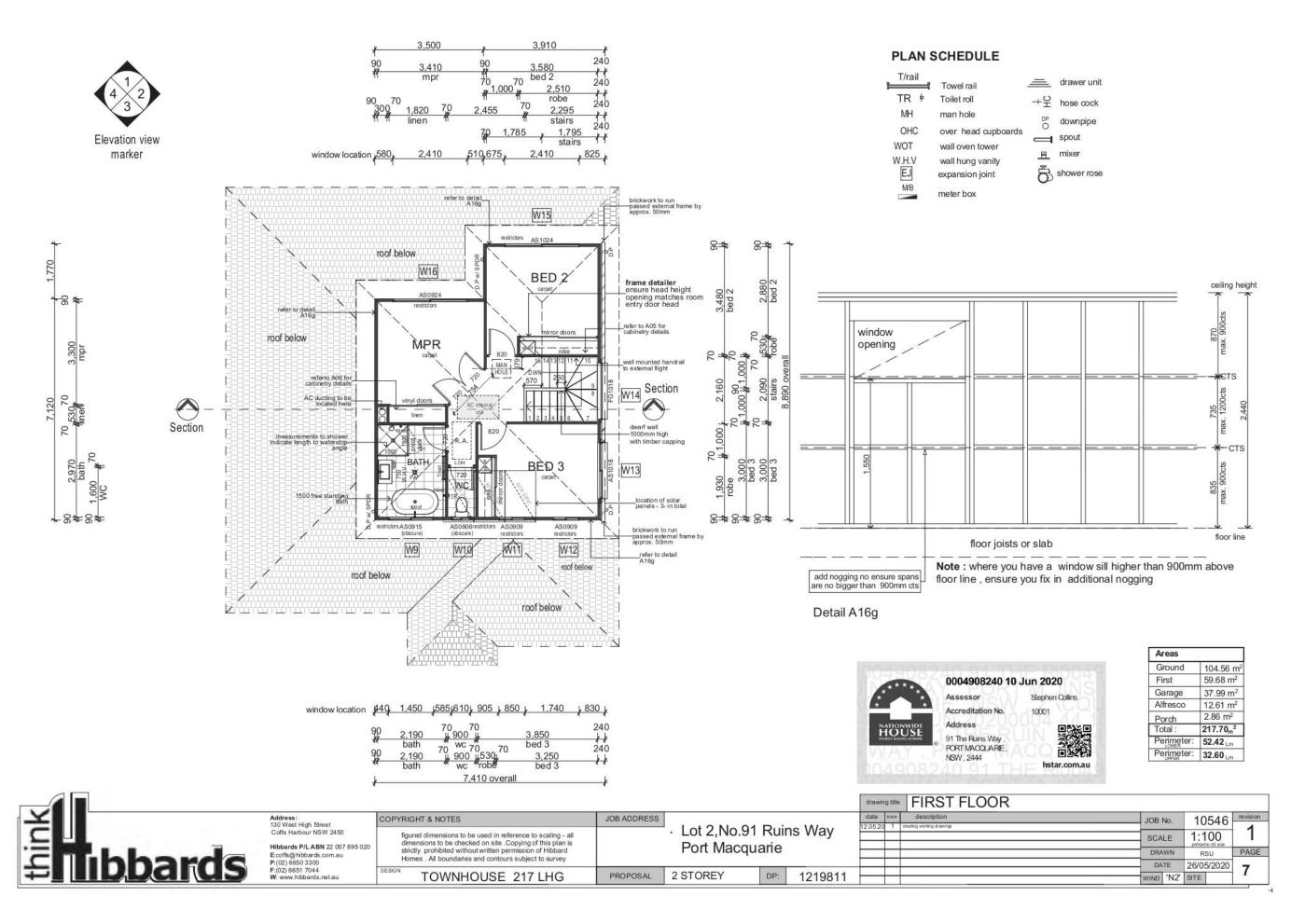
- Lot 2,No.91 Ruins Way Port Macquarie

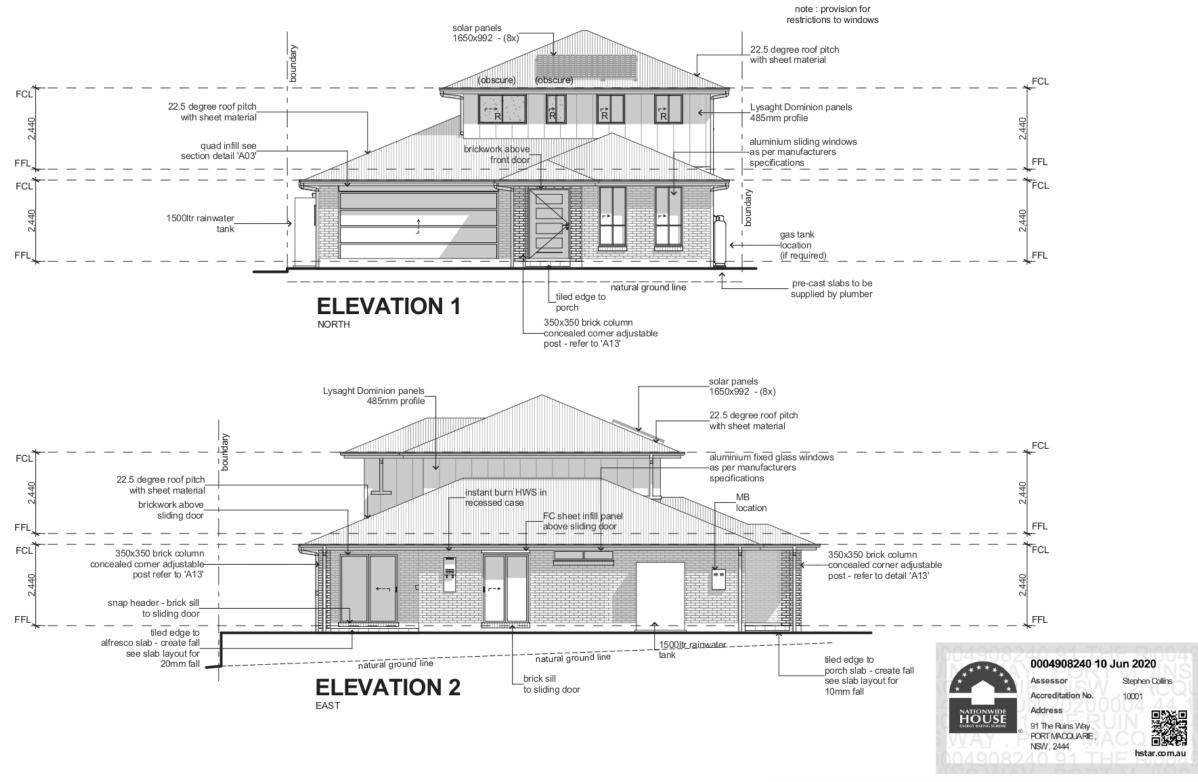
2 STOREY DP: 1219811

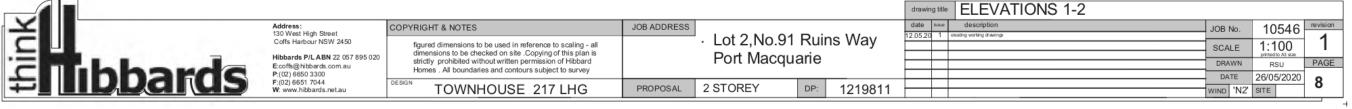


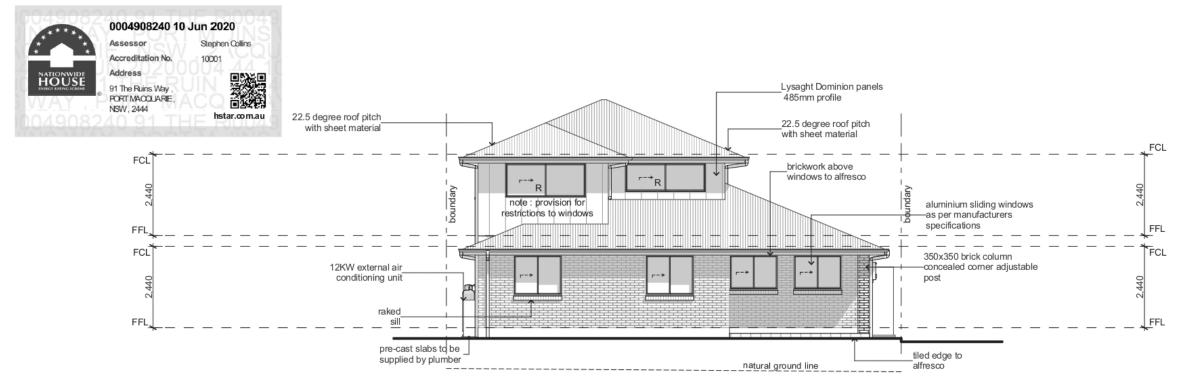


**Page 228** 









# **ELEVATION 3**

natural ground line

**ELEVATION 4** 

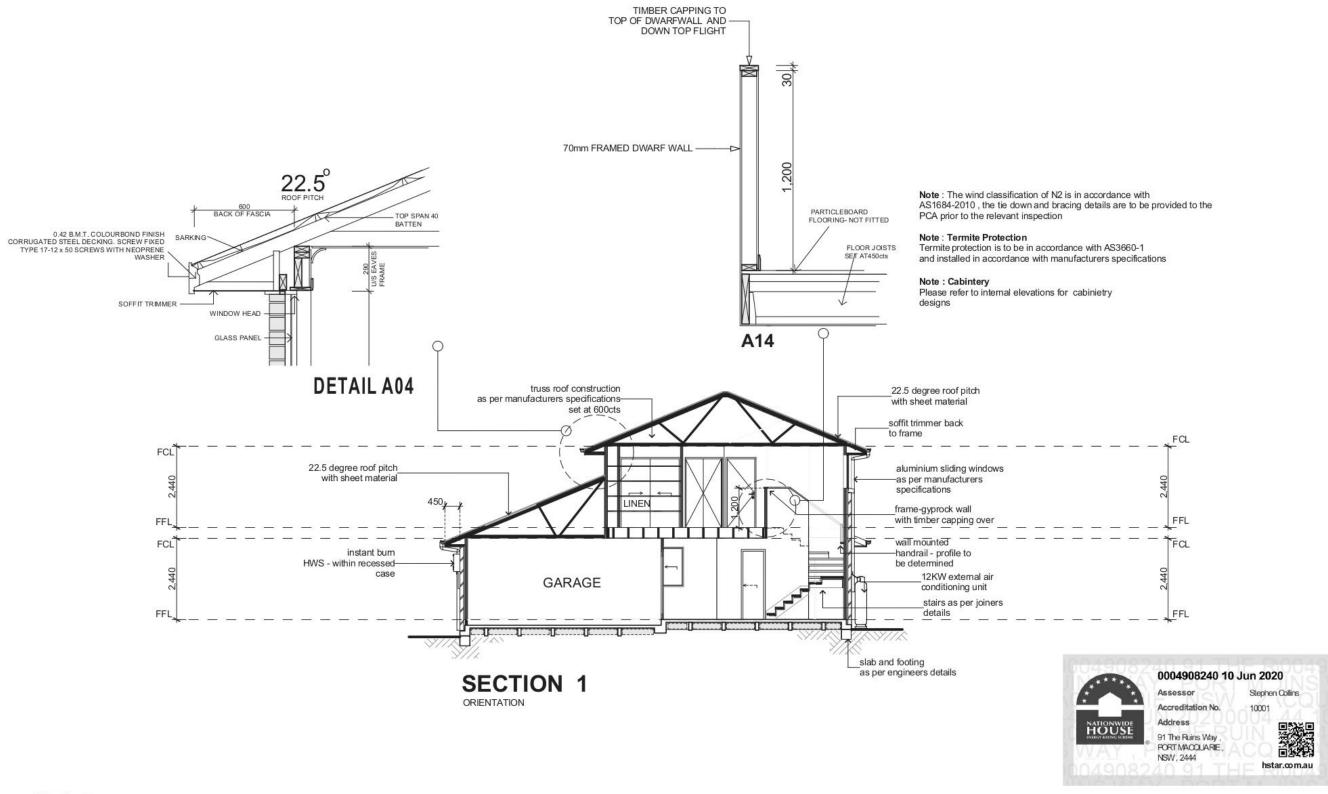
nominated full glass fixedglass panel solar panels 1650x992 - (8x) 22.5 degree roof pitch with sheet material FCL FCL aluminium sliding windows as per manufacturers-22.5 degree roof pitch specifications raked note: provision for etsirctors to windows FFL FCL FCL 12KW external air 350x350 brick column conditioning unit concealed corner adjustable-post ,refer to A13 (obscure) FFL FFL

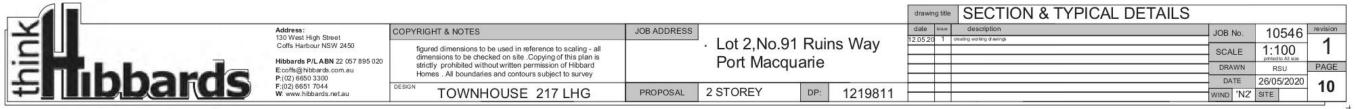
> plumber to\_ supply base pad

natural ground line

drawing title ELEVATION 3-4 Address: 130 West High Street Coffs Harbour NSW 2450 COPYRIGHT & NOTES JOB ADDRESS 10546 revision JOB No. Lot 2, No.91 Ruins Way figured dimensions to be used in reference to scaling - all dimensions to be checked on site .Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey 1:100 SCALE Port Macquarie Hibbards P/L ABN 22 057 895 020 DRAWN PAGE RSU DATE 26/05/2020 9 2 STOREY DP: TOWNHOUSE 217 LHG PROPOSAL 1219811 WIND 'N2' SITE

Page 231





SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
2	site plan
3	services plan
4	landscape plan
6	excavation + retaining walls
7	ground floor
8	first floor
9	elevations 1-2
10	elevation 3-4
11	section & typical detail
12	slab plan - penetrations- rebates
13	floor joists layout (indicative only) - refer to framers details
14	electrical layout
15	kitchen / laundryinternal elevations
16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
21	bracing details - first floor
22	A13- adjustable steel posts
23	Alfresco beam and sliding door section details
24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

#### BASIX REQUIREMENTS

- BASIX REQUIREMENTS

  3 STARS SHOWERHEADS.
  4 STARS WC, 4 STARS TAPS.
  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.
  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R SI INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.
  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CYE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

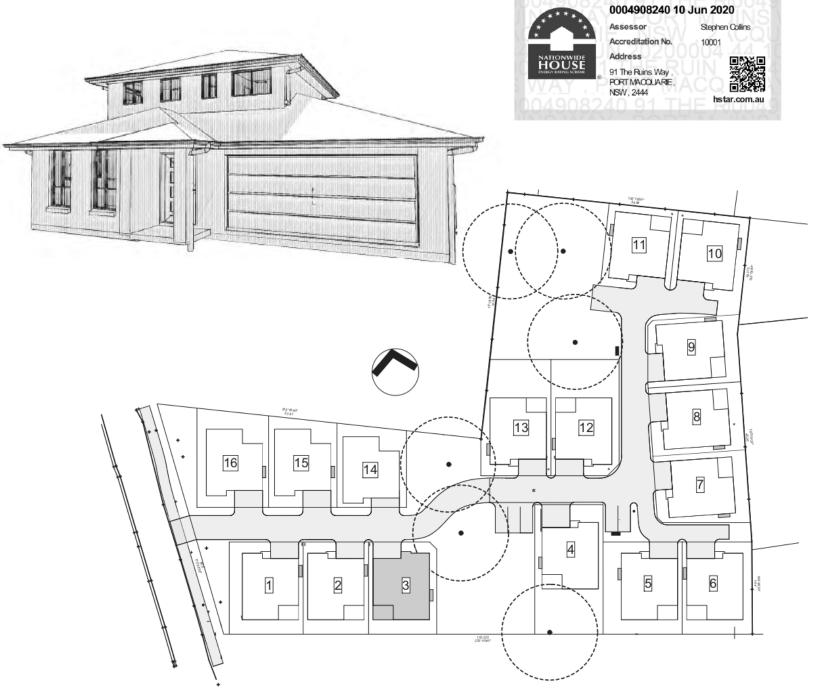
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

  WET AREAS ARE TO BE SEALED ATTHE INTERSECTION OF THE FLOOR AND WALLAND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEA!
- POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
   ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.

- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTIPMENT OF STATEMENT OF STATEMENT



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JOB ADDRESS Lot 3, No.91 Ruins Way Port Macquarie

2 STOREY PROPOSAL DP: 1219811

drawing title		COVER SHEET					
date	issue	description	JOB No.		10547		revision
00.00.00	1	describe change- start with room affected			100+1		4
			SCALE		NTS printed to A3 size		1
			DRAWN				PAGE
			DATE		TE 26/05/2020		4
				'N2'	SITE		1
			WIND	INZ.	SITE		

SITE INFORMATION		
LOT NUMBER:	3	
REGISTERED PLAN NUMBER SP		
SUBURB	PORT MACQUARIE	
LOCALAUTHORITY	PORT MACQUARIE	
PARISH		
COUNTY		
SITE AREA	273m²	

Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas
- fall away from the building

Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

CatchinentArea	Gutter Description
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

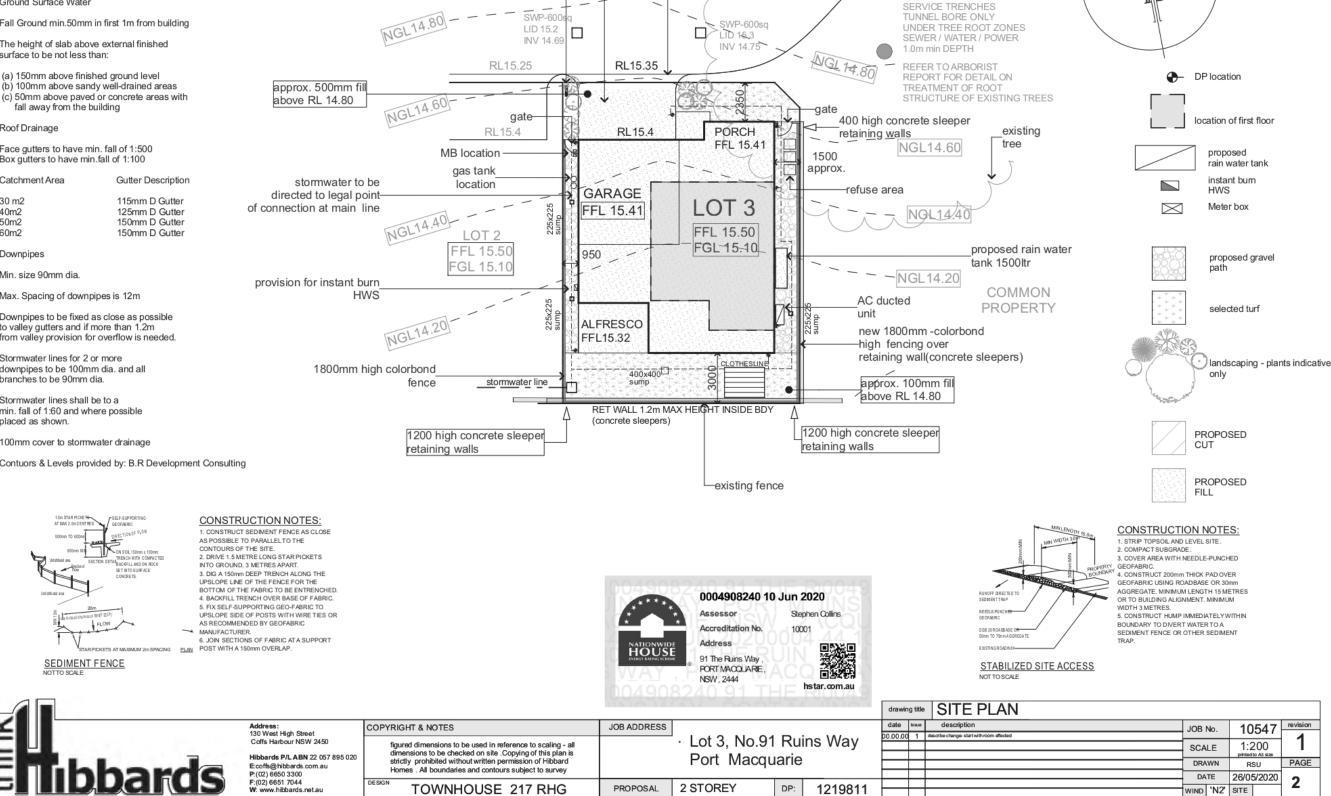
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting



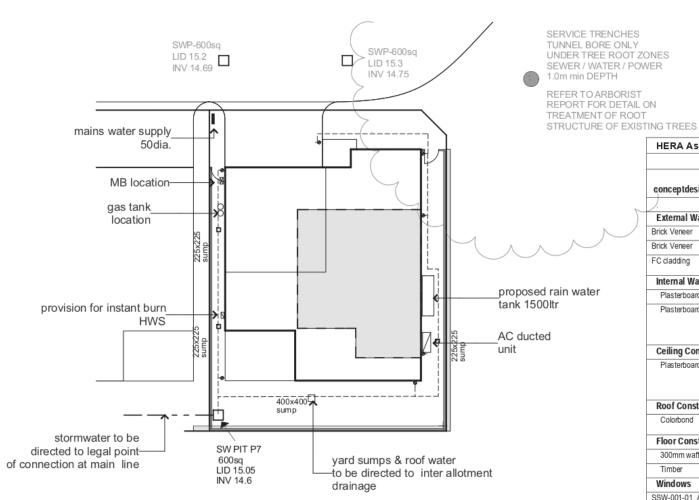
street

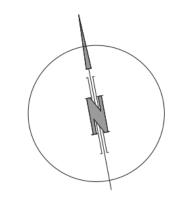
kerb

driveway to be consructed inaccordancewith AS23890.1 parking facilities.off street parkig

mains water supply

50dia.





HERA Assessor # 1000	1 June 2020	0 CDA R	eference: 3364
91 The Ru	ins Way PORT MA	ACQUARIE NSW 2444	ı
	Concept Designs	s Australia	
conceptdesignsaus@outlook			Ph: 0418877571
/	Thermal Performance	Specifications	
External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail
Brick Veneer	Antiglare foil + R2.0	Dark	Except Garage
Brick Veneer	Antiglare foil	Dark	Garage only
FC cladding	Vapour barrier/ Antiglare foil + R2.0	Dark	
Internal Wall Construction	Insulation	Detail	
Plasterboard	None		
Plasterboard	R2.0	All units – first floor walls adj All units - walls between G Units 3 – Walls between Ldry and walls between Bath/WC	and adjoining rooms
Ceiling Construction	Insulation	Detail	, v
Plasterboard	Units 3 and 9 – R3.5 Remaining units – R2.5	All ceilings adjacent t (Except Gara	
Roof Construction	Insulation	Colour (Solar Absorptanc	e) Detail
Colorbond	55mm anticon blanket	Dark	
Floor Construction	Insulation	Covering	7
300mm waffle pod		Bare, Tiles and	Carpet
Timber	None	Tiles and Ca	rpet
Windows Glass and frame t	ype U Value SH	GC Details	
SSW-001-01 Aluminium framed si	ngle clear 6.35 0.75	Sliding and fixed windows	
SSW-006-01 Aluminium framed si	ngle clear 6.27 0.71	Sliding doors	
U and SHGC values are according lower and the SHGC is within 10% of glass required to meet Bushfire	of the above figures. This regulations.	s also applies to changes to the	e thickness and type
Fixed shading - Eaves		es guttering, offset is distance a	
Width: As drawn Offset:	As drawn Nomi	inal only, refer to plan for detail	1
Fixed shading - Other	Verai	ndahs, Pergolas (type and desi	cription)
Shaded areas and shade device	s as drawn, adjoining bui	ldings and boundary fences	
Building Sealing			
External doors to be weather str	ipped and windows to cor	mply with AS 2047.	
LED downlights to be sealed.			
Exhaust fans to be fitted with da	mpers as per NCC.		



NATIONWIDE Add

figured dimensions to be used in reference to scaling - all dimensions to be checked on site .Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey

TOWNHOUSE 217 RHG

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O004908240 10 Jun 2020
Assessor Stephen Collins
Accreditation No. 10001
Address
91 The Ruins Way ,
PORT MACQUARIE ,
NSW , 2444
hstar. com.au

- Lot 3, No.91 Ruins Way
Port Macquarie

PROPOSAL 2 STOREY DP: 1219811

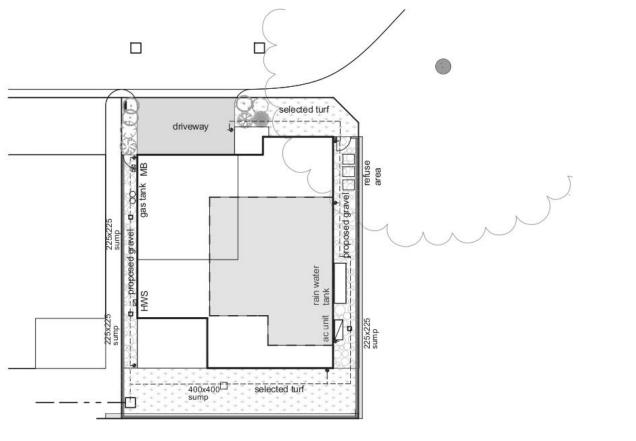
	drawing title   SERVICES PLAN						
	date	issue	description	JOB No.		JOB No. 10547	
ı	00.00.00	1	describe change- start with room effected			100-17	4
I				SCALE		1:200	I
ı					_	printed to A3 size	
l				DRAWN		RSU	PAGE
4				DATE		26/05/2020	2
ı					N2'	SITE	3
				WIND '	NZ	SILE	

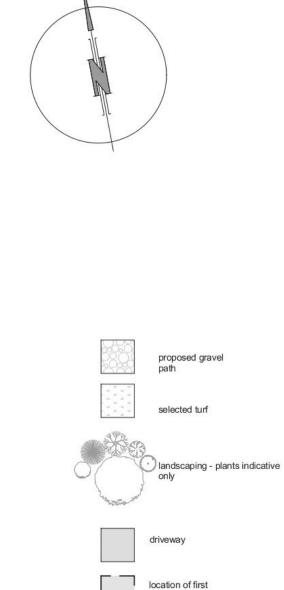


# Landscaping

Note: Plant types will be selected from the following range by the nominated landscaper. Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers





floor structure



130 West High Street Coffs Harbour NSW 2450 Hibbards P/L ABN 22 057 895 020

E:coffs@hibbards.com.au P:(02) 6650 3300 F:(02) 6651 7044 W: www.hibbards.net.au figured dimensions to be used in reference to scaling - all dimensions to be checked on site . Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey

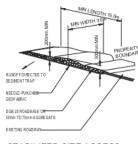
DESIGN TOWNHOUSE 217 RHG

JOB ADDRESS

- Lot 3, No.91 Ruins Way Port Macquarie

Proposal 2 STOREY

DP: 1219811



**CONSTRUCTION NOTES:** 

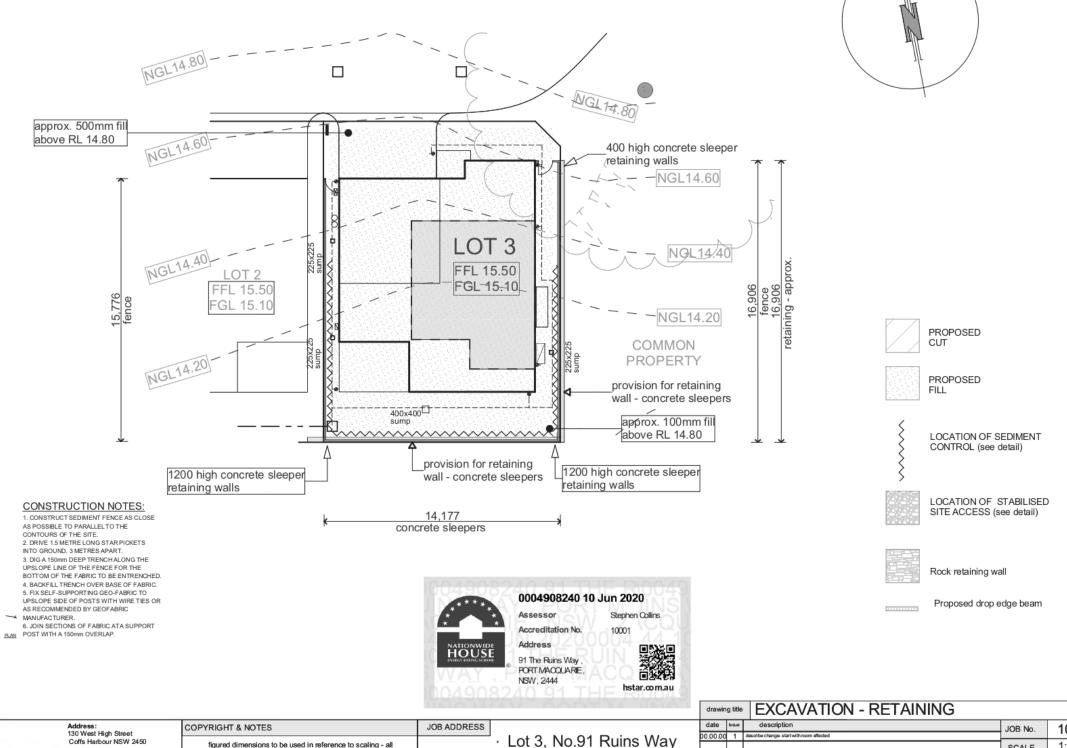
STRIP TOPSOIL AND LEVEL SITE.
 COMPACT SUBGRADE.
 COVER AREA WITH NEEDLE-PUNCHED

GEOFABRIC. 4. CONSTRUCT 200mm THICK PAD OVER

GEOFABRIC USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.

5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

STABILIZED SITE ACCESS



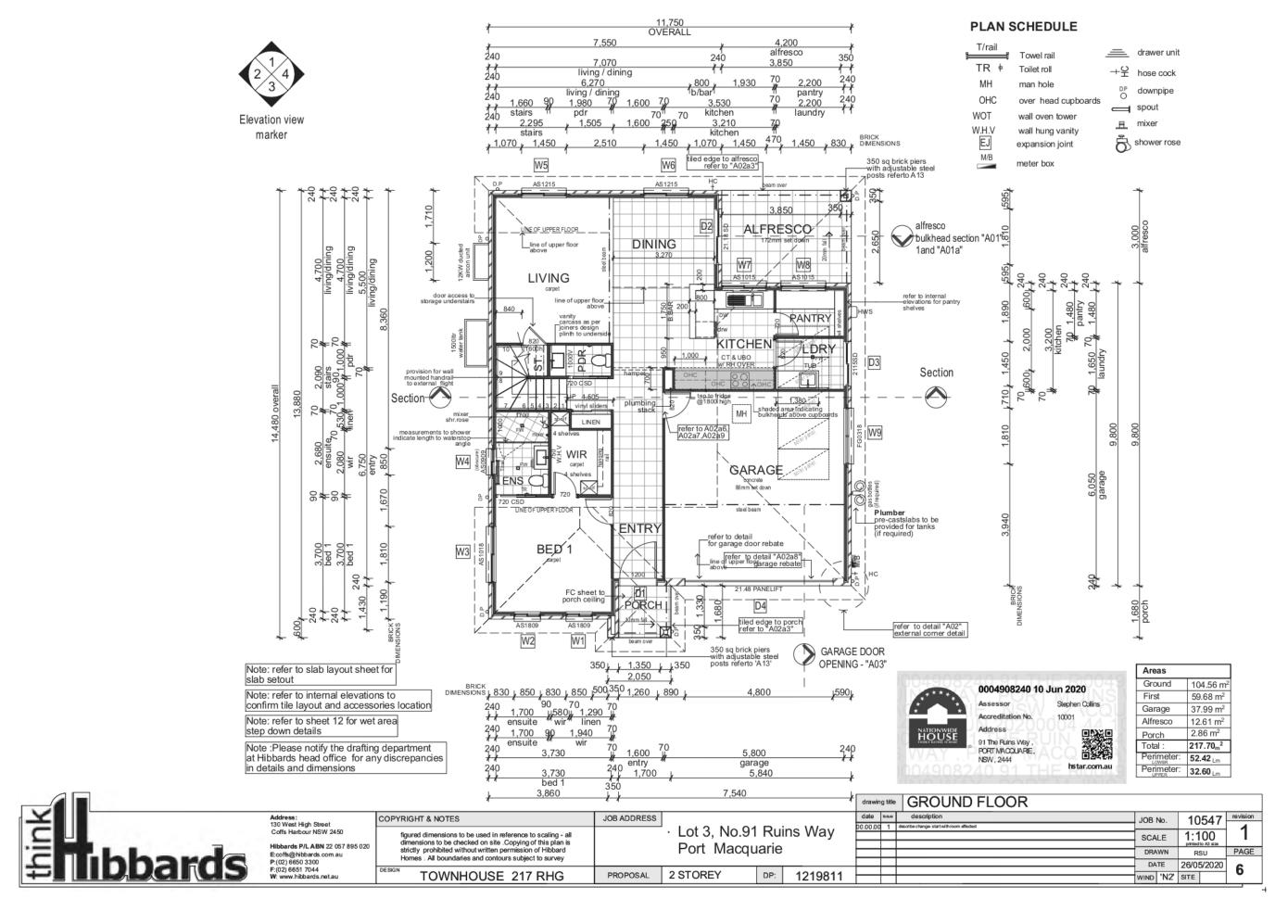
SEDIMENT FENCE

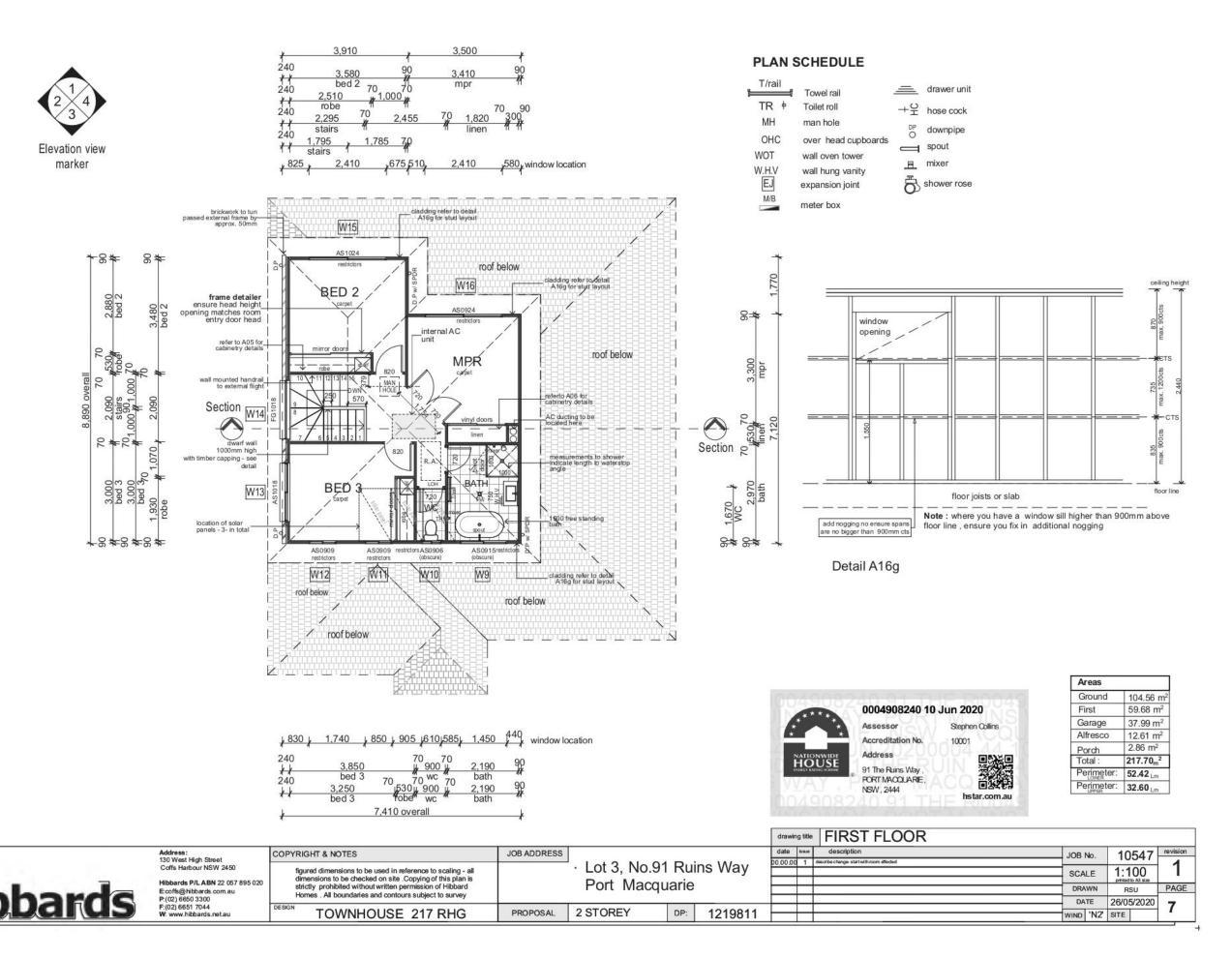
Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 6650 3300 F:(02) 6651 7044 W: www.hibbards.net.au

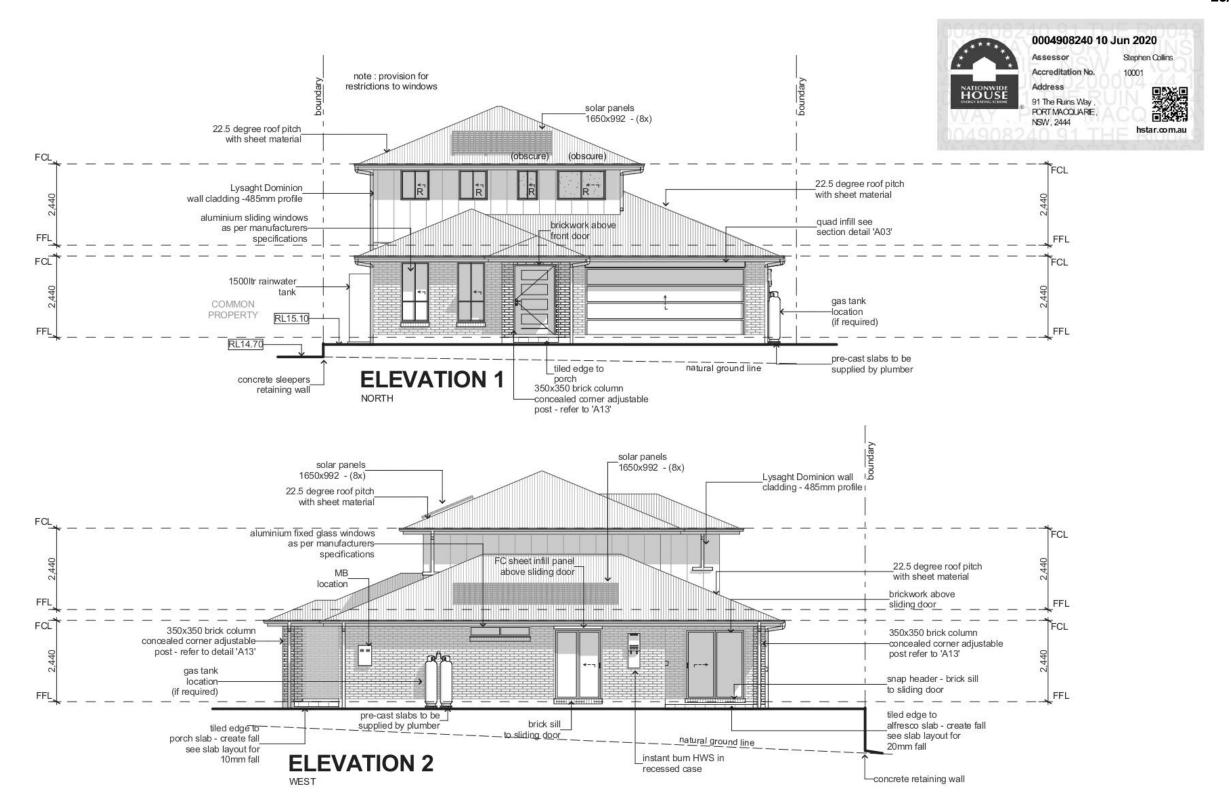
figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey TOWNHOUSE 217 RHG PROPOSAL

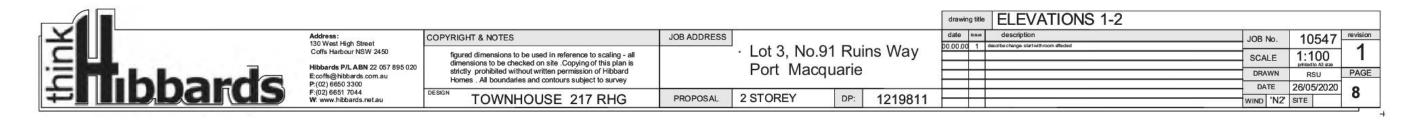
Lot 3, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

10547 00.00.00 1 1:200 SCALE PAGE DRAWN RSU DATE 26/05/2020 5 WIND 'N2' SITE

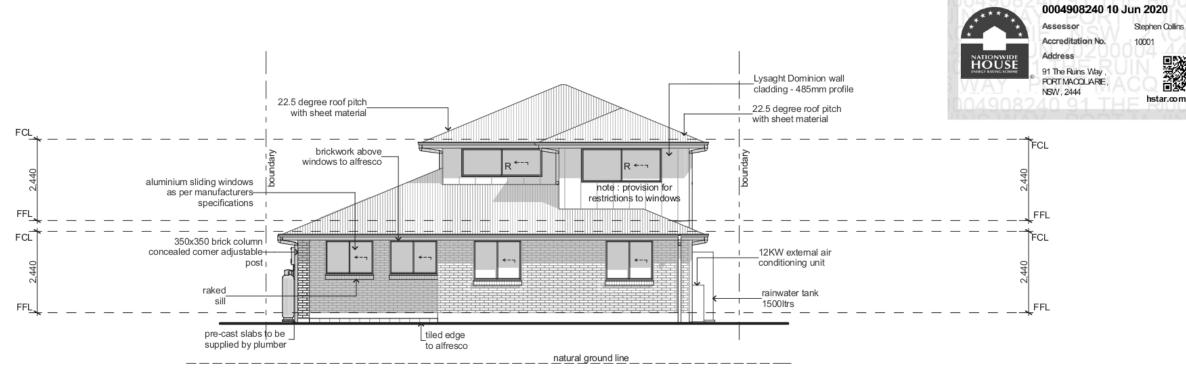




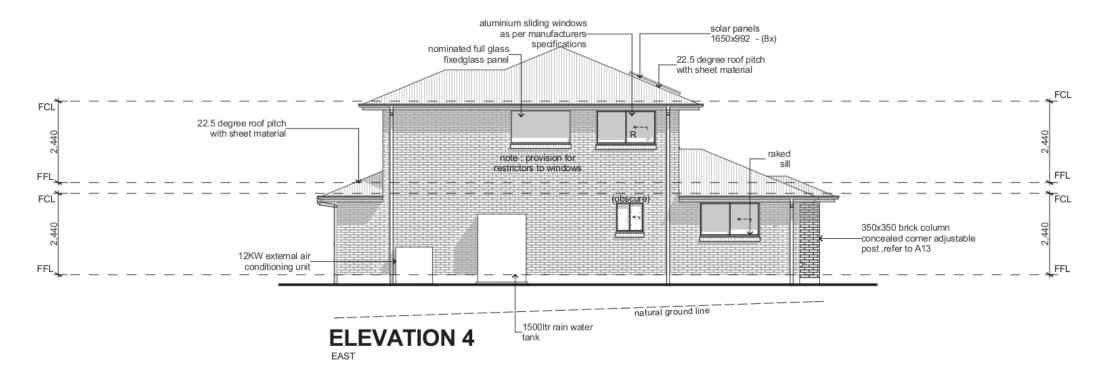


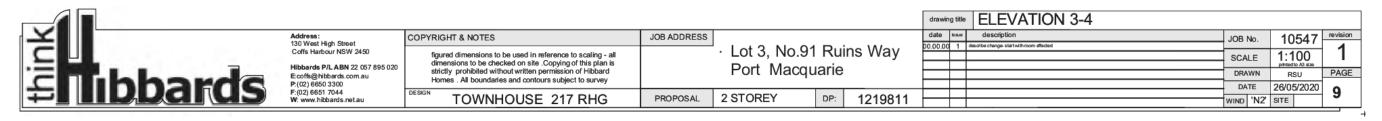


hstar.com.au



# **ELEVATION 3**





SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
2	site plan
3	services plan
4	landscape plan
6	excavation + retaining walls
7	ground floor
8	first floor
9	elevations 1-2
10	elevation 3-4
11	section & typical detail
12	slab plan - penetrations- rebates
13	floor joists layout (indicative only) - refer to framers details
14	electrical layout
15	kitchen / laundryinternal elevations
16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
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24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

#### BASIX REQUIREMENTS

- BASIX REQUIREMENTS

  3 STARS SHOWERHEADS.
  4 STARS WC, 4 STARS TAPS.
  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.
  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R SI INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.
  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CYE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

### CONSTRUCTION NOTES

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

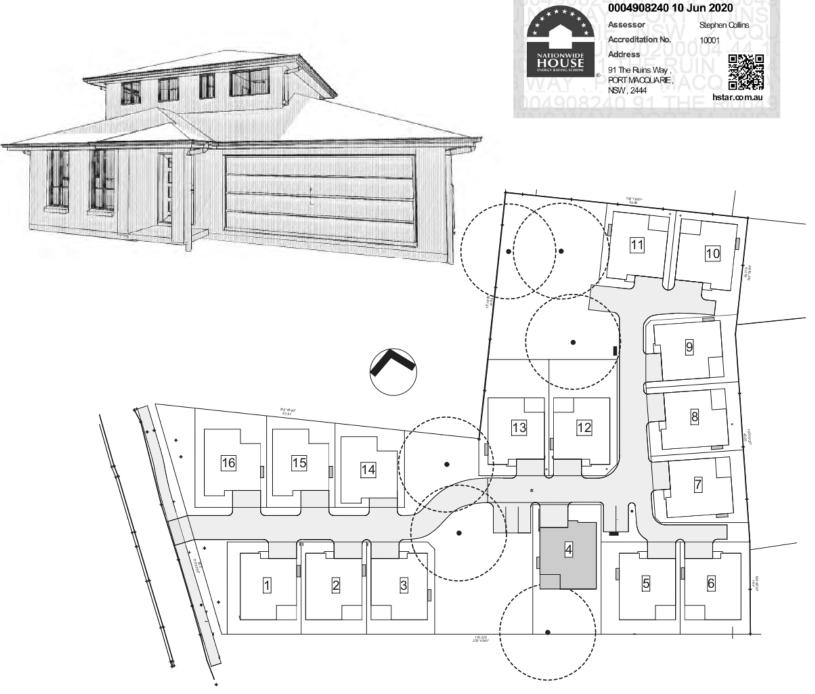
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

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   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

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   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTIPMENT OF STATEMENT OF STATEMENT



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Lot 4, No.91 Ruins Way Port Macquarie DP: 1219811 drawing title COVER SHEET descriptio 10548 JOB No SCALE NTS DRAWN RSU PAGE DATE 26/05/2020 WIND 'N2' SITE

SITE INFORMATION		
LOT NUMBER:	4	
REGISTERED PLAN NUMBER SP		
SUBURB	PORT MACQUARIE	
LOCALAUTHORITY	PORT MACQUARIE	
PARISH		
COUNTY		
SITE AREA	385m²	

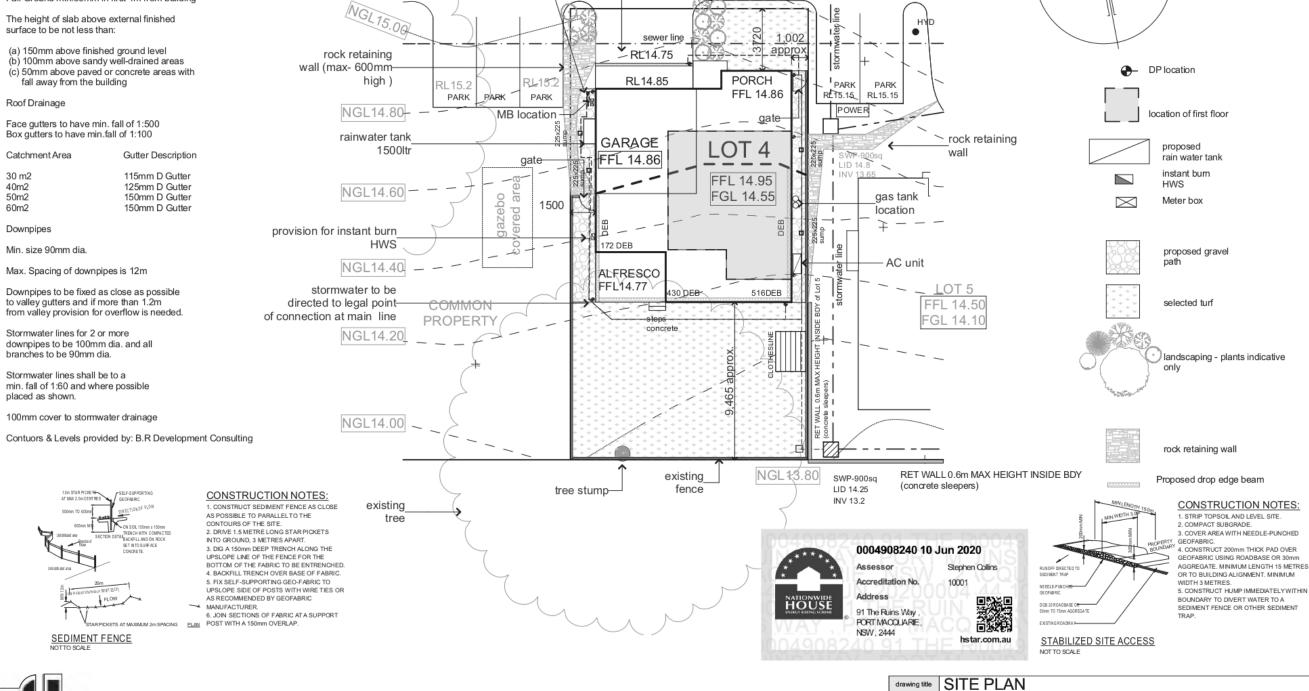
Ground Surface Water

Fall Ground min.50mm in first 1m from building

Catchment Area	Gutter Description		
30 m2	115mm D Gutter		
40m2	125mm D Gutter		
50m2	150mm D Gutter		
60m2	150mm D Gutter		

downpipes to be 100mm dia. and all branches to be 90mm dia.

min. fall of 1:60 and where possible placed as shown.



JOB ADDRESS

PROPOSAL

Lot 4, No.91 Ruins Way

DP:

1219811

Port Macquarie

2 STOREY

street

SWP-900sq LID 15.05 INV 14.1

kerb

stormwater line

SERVICE TRENCHES

TUNNEL BORE ONLY

1.0m min DEPTH REFER TO ARBORIST

UNDER TREE ROOT ZONES SEWER / WATER / POWER

REPORT FOR DETAIL ON

STRUCTURE OF EXISTING TREES

TREATMENT OF ROOT

driveway to be consructed inaccordancewith AS23890.1 parking facilities.off street parking

mains water supply

existing

tree

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Homes . All boundaries and contours subject to survey

(provide grated drain)

SWP-600sq LID 15.05 INV 14.7

RL15.0

50dia. <sub>→</sub>\

10548

1:200

RSU

DATE 26/05/2020

WIND 'N2' SITE

PAGE

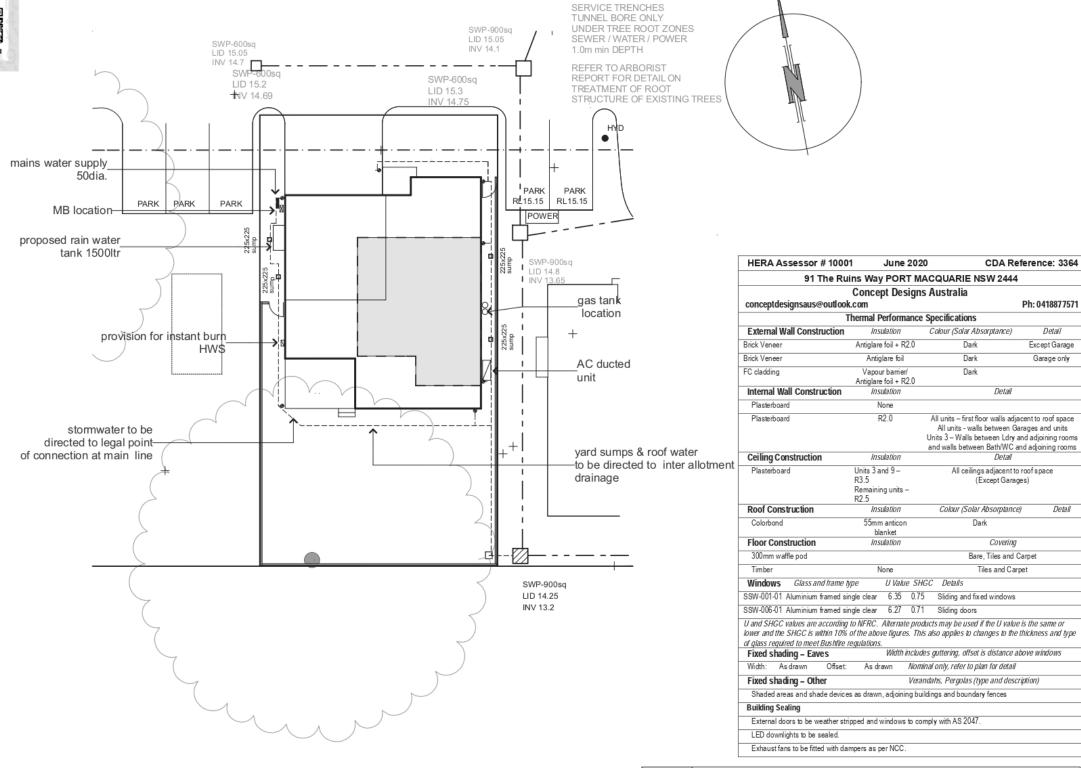
2

JOB No

SCALE

DRAWN







Address: 130 West High Street Coffs Harbour NSW 2450 Hibbards P/L ABN 22 057 89

Coffs Harbour NSW 2450

Hibbards P/L ABN 22 057 895 020

E:coffs@hibbards.com.au

P:(02) 6650 3300

F:(02) 6651 7044

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DESIGN TOWNHOUSE 217 RHG

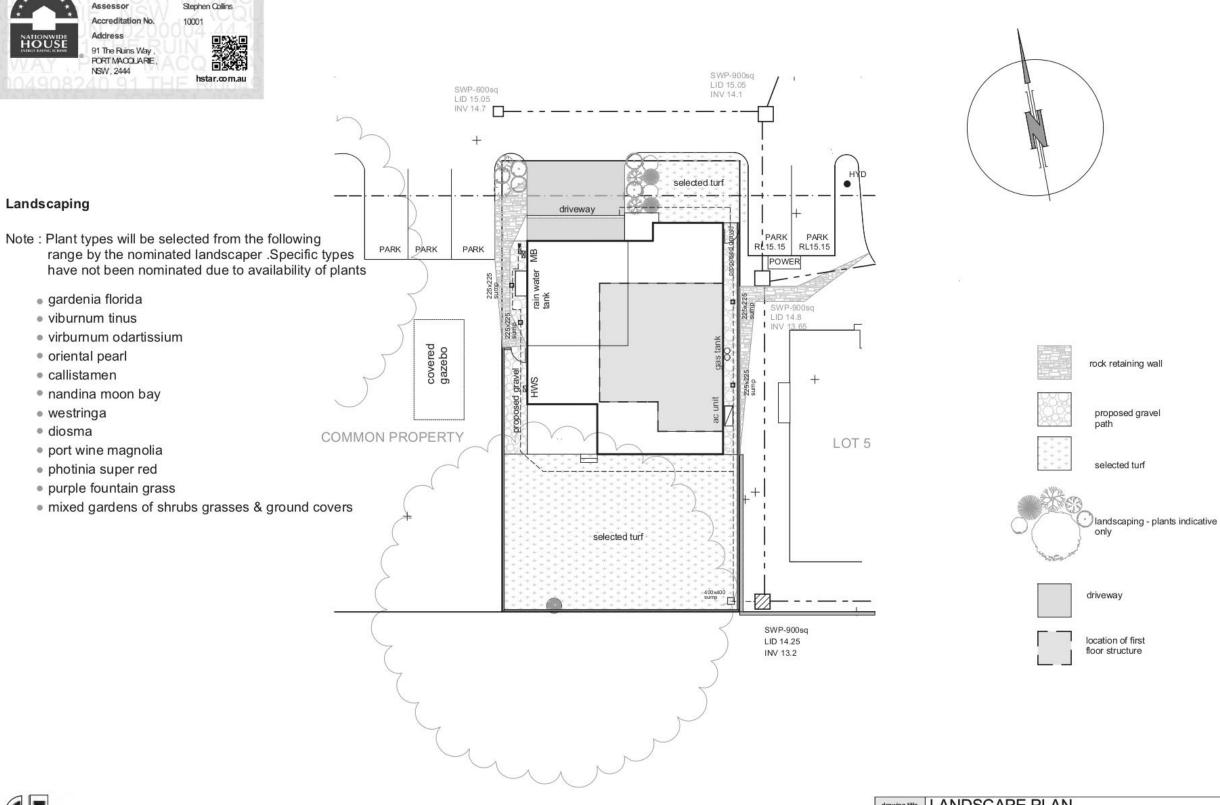
JOB ADDRESS

- Lot 4, No.91 Ruins Way Port Macquarie

Port Macquarie

PROPOSAL 2 STOREY

DP: 1219811





0004908240 10 Jun 2020

Address: 130 West High Street Coffs Harbour NSW 2450 Hibbards P/L ABN 22 057 895 020 GOPYRIGHT & NOTES

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DESIGN

TOWNHOUSE 217 RHG

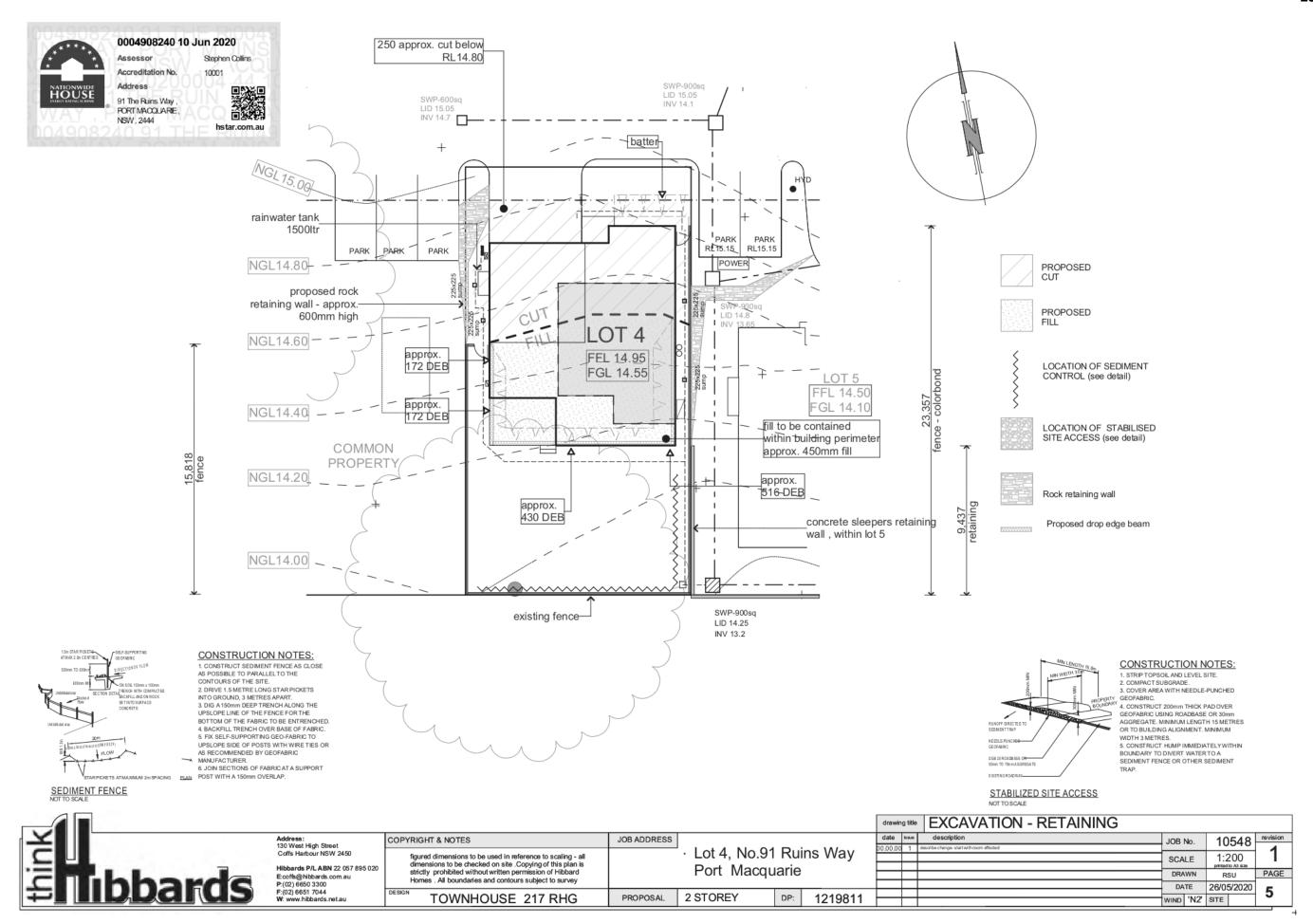
JOB ADDRESS

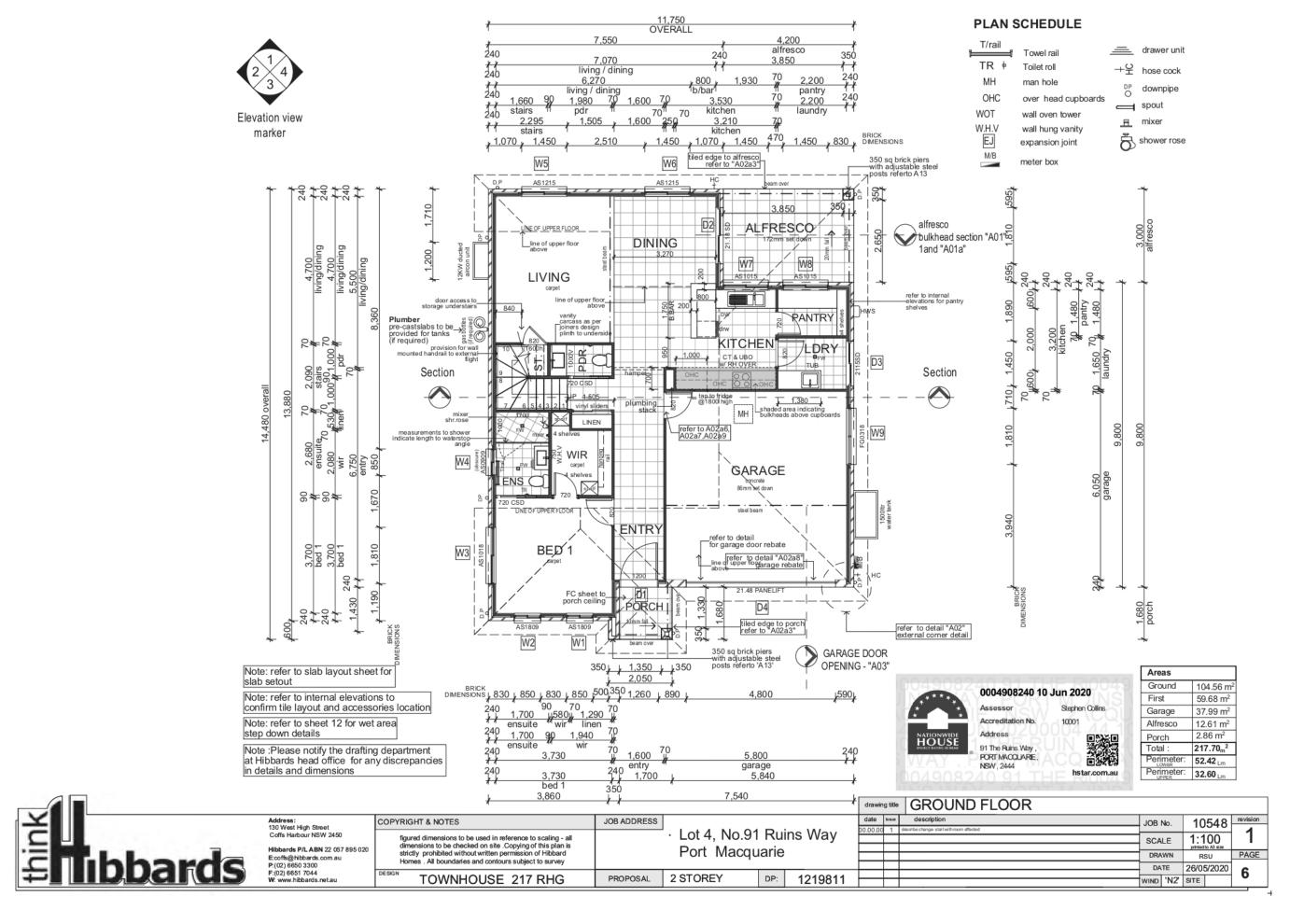
- Lot 4, No.91 Ruins Way Port Macquarie

Prort Macquarie

DP: 1219811

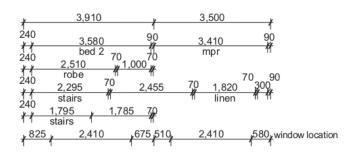
Į	drawin	g title	LANDSCAPE PLAN							
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				DA:	DATE		DATE		5/2020	4
				WIND	'N2'	SITE				

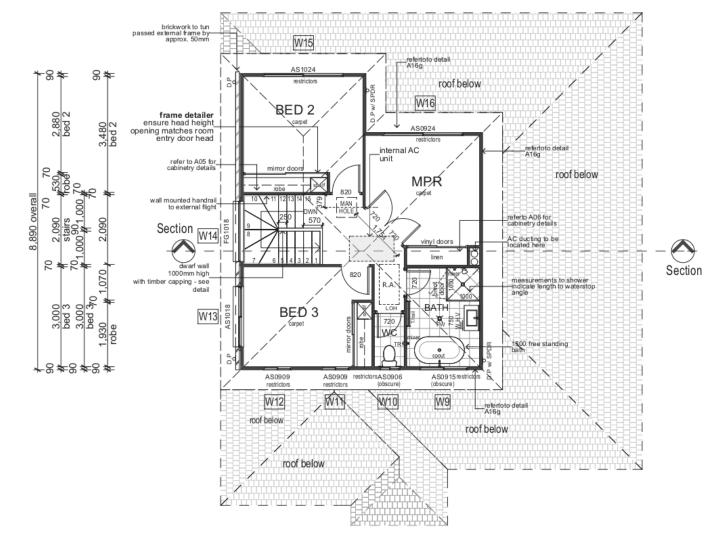


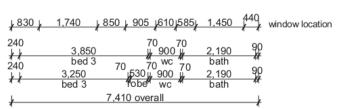


**Page 247** 



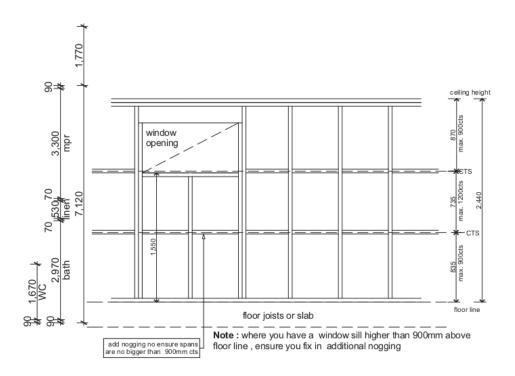






### **PLAN SCHEDULE**

T/rail	Towel rail	_	drawer unit
TR 🕈	Toilet roll	+오	hose cock
MH	man hole	DP	downpipe
OHC	over head cupboards	_	spout
WOT	wall oven tower	_	mixer
W.H.V	wall hung vanity	표	mixer
EJ	expansion joint	₼	shower rose
M/B	meter box		



Areas	
Ground	104.56 m <sup>2</sup>
First	59.68 m <sup>2</sup>
Garage	37.99 m <sup>2</sup>
Alfresco	12.61 m <sup>2</sup>
Porch	2.86 m <sup>2</sup>
Total:	217.70 <sub>m</sub> <sup>2</sup>
Perimeter:	52.42 <sub>Lm</sub>
Perimeter:	32.60 Lm





Address: 130 West High Street Coffs Harbour NSW 2450

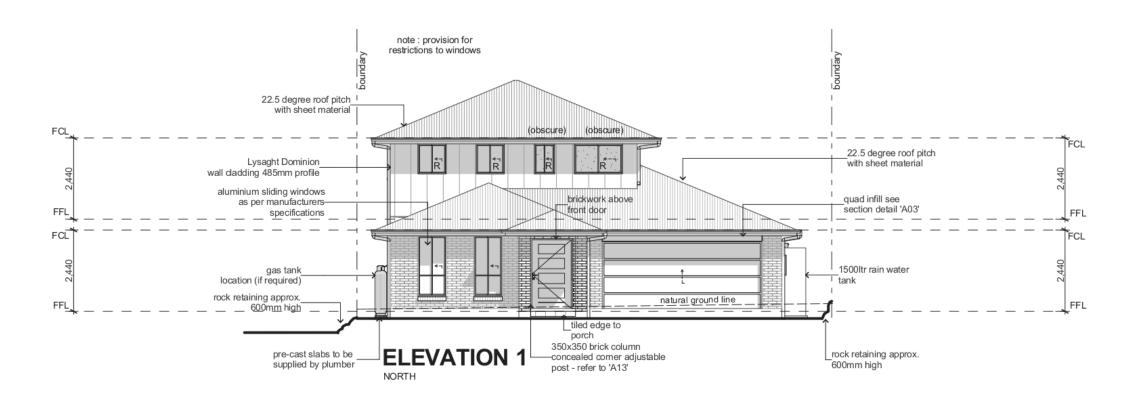
Hibbards P/L ABN 22 057 895 020

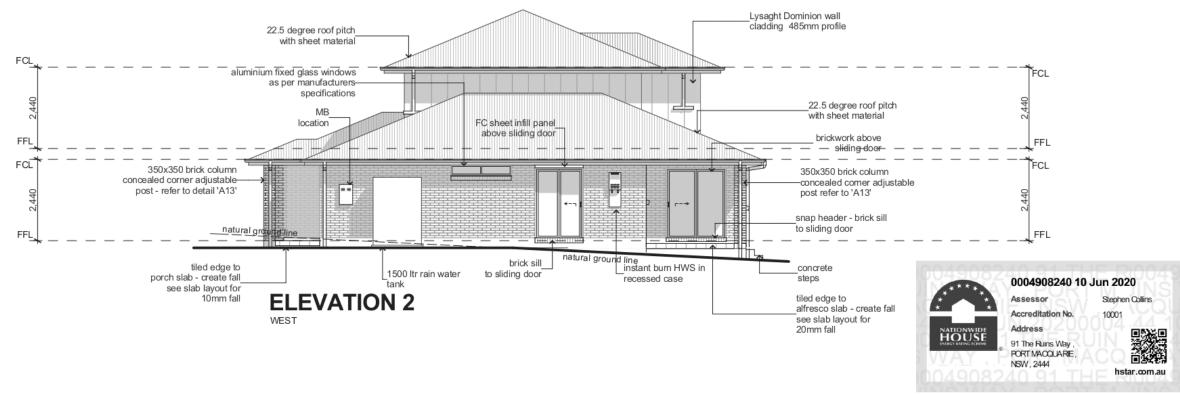
COPYRIGHT & NOTES JOB ADDRESS Lot 4, No.91 Ruins Way figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey Port Macquarie 2 STOREY TOWNHOUSE 217 RHG PROPOSAL

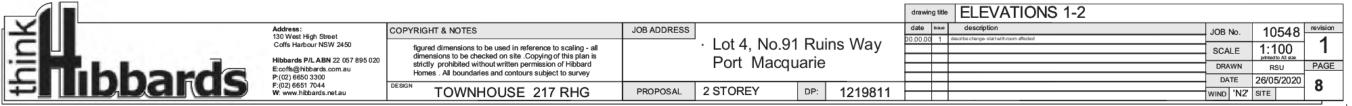
1219811

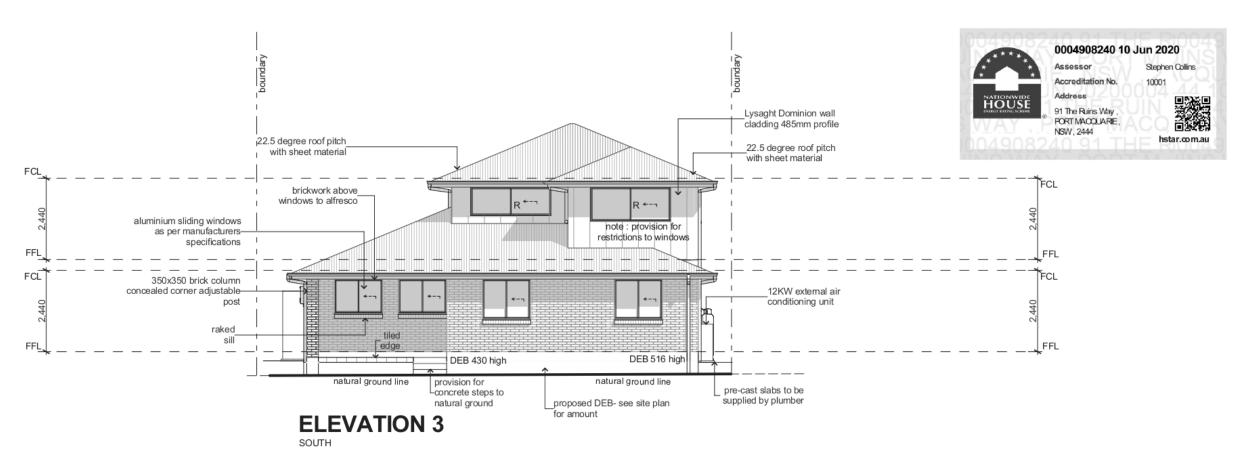
DP:

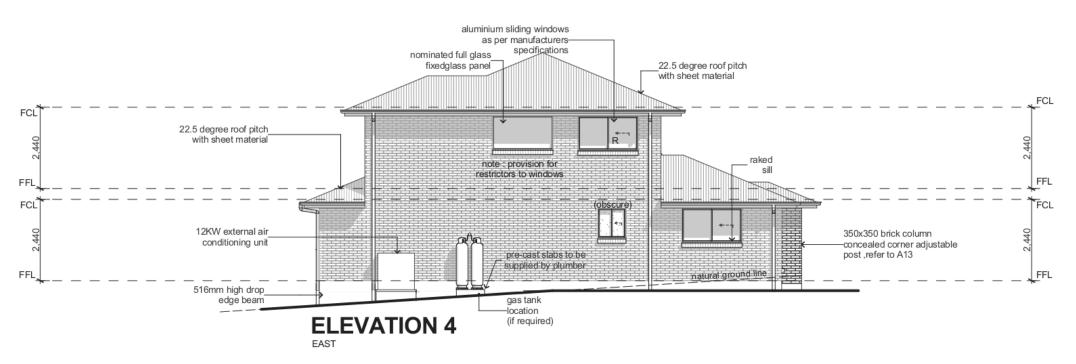
drawing title FIRST FLOOR 10548 JOB No. 1:100 SCALE DRAWN RSU PAGE DATE 26/05/2020 WIND 'N2' SITE

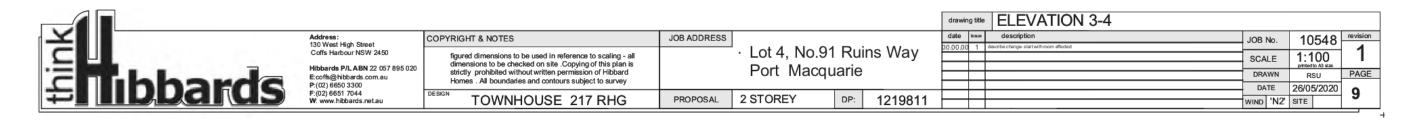


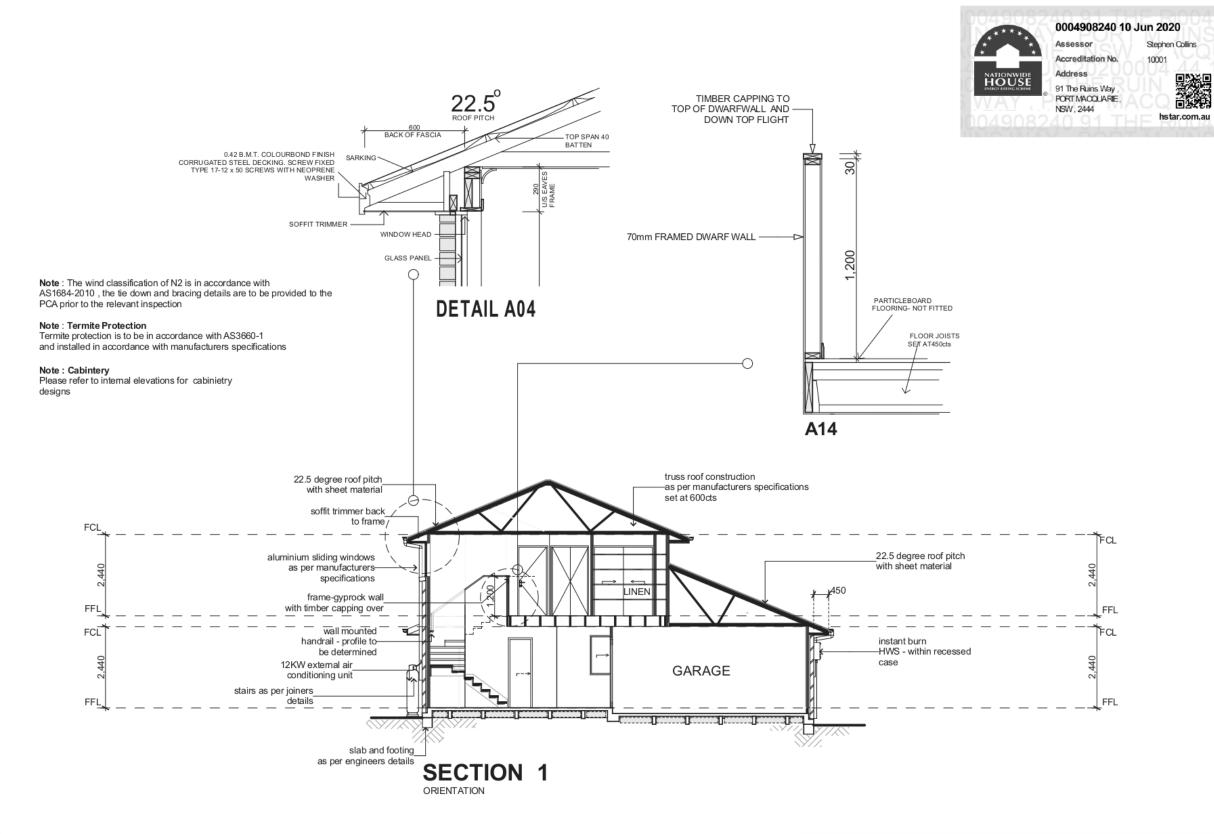


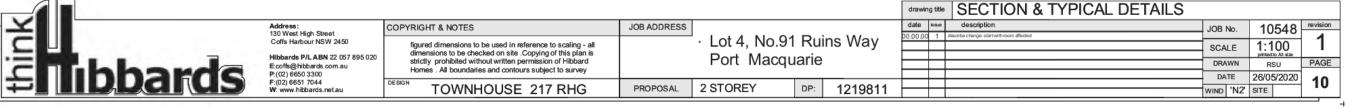












SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
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3	services plan
4	landscape plan
6	excavation + retaining walls
7	ground floor
8	first floor
9	elevations 1-2
10	elevation 3-4
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13	floor joists layout (indicative only) - refer to framers details
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15	kitchen / laundryinternal elevations
16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
21	bracing details - first floor
22	A13- adjustable steel posts
23	Alfresco beam and sliding door section details
24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
27	junction joint detail - Lysaght Dominion

#### BASIX REQUIREMENTS

- 3-STARS SHOWERHEADS.
- 4-STARS WC, 4-STARS TAPS
- 4-STARS WC, 4-STARS TAPS.

  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.

  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.
  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CVE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

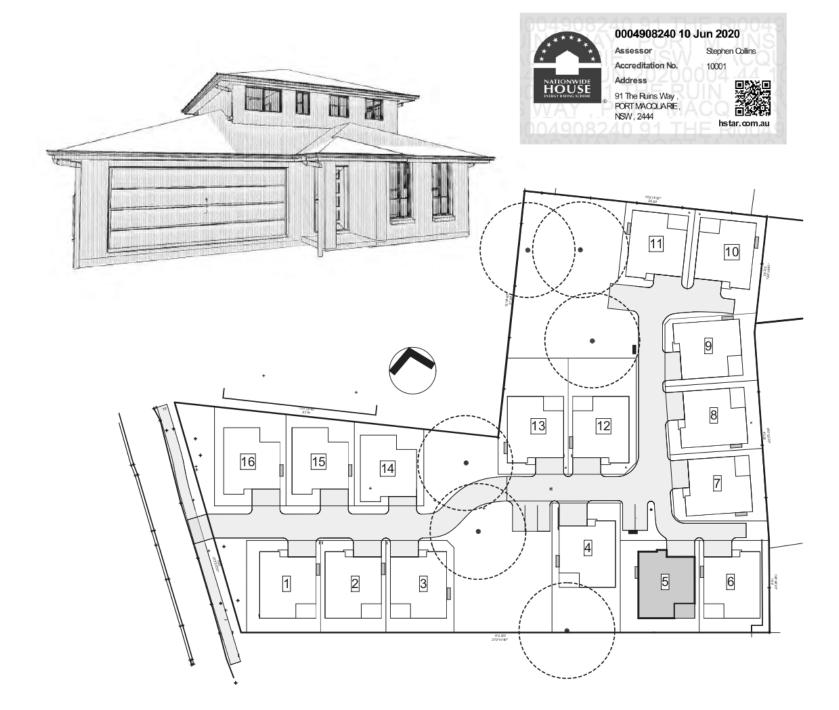
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

  WET AREAS ARE TO BE SEALED ATTHE INTERSECTION OF THE FLOOR AND WALLAND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEA!
- POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
   ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTE
  CUT AND FILL TO BUILDER'S DISCRETION.
  NOMINATED WATER TO TANK. OVERFLOW TO STREET.
  BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.
  WIND E.G. "N3"
  SITE E.G. "P"
  SOIL E.G. "M"



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TOWNHOUSE 217 LHG

Lot 5, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

PROPOSAL

drawing title COVER SHEET 10549 revision JOB No. 2 1:100 SCALE PAGE DRAWN RSU DATE 26/05/2020 WIND 'N2' SITE

SITE INFORMATION		
LOT NUMBER:	5	
REGISTERED PLAN NUMBER SP		
SUBURB	PORT MACQUARIE	
LOCAL AUTHORITY	PORT MACQUARIE	
PARISH		
COUNTY		
SITE AREA	302m <sup>2</sup>	

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas (c) 50mm above paved or concrete areas with fall away from the building

Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

30 m2 115mm D Gutter 125mm D Gutter 40m2 150mm D Gutter 50m2 60m2 150mm D Gutter

Gutter Description

Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

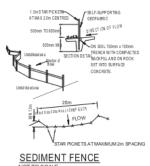
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

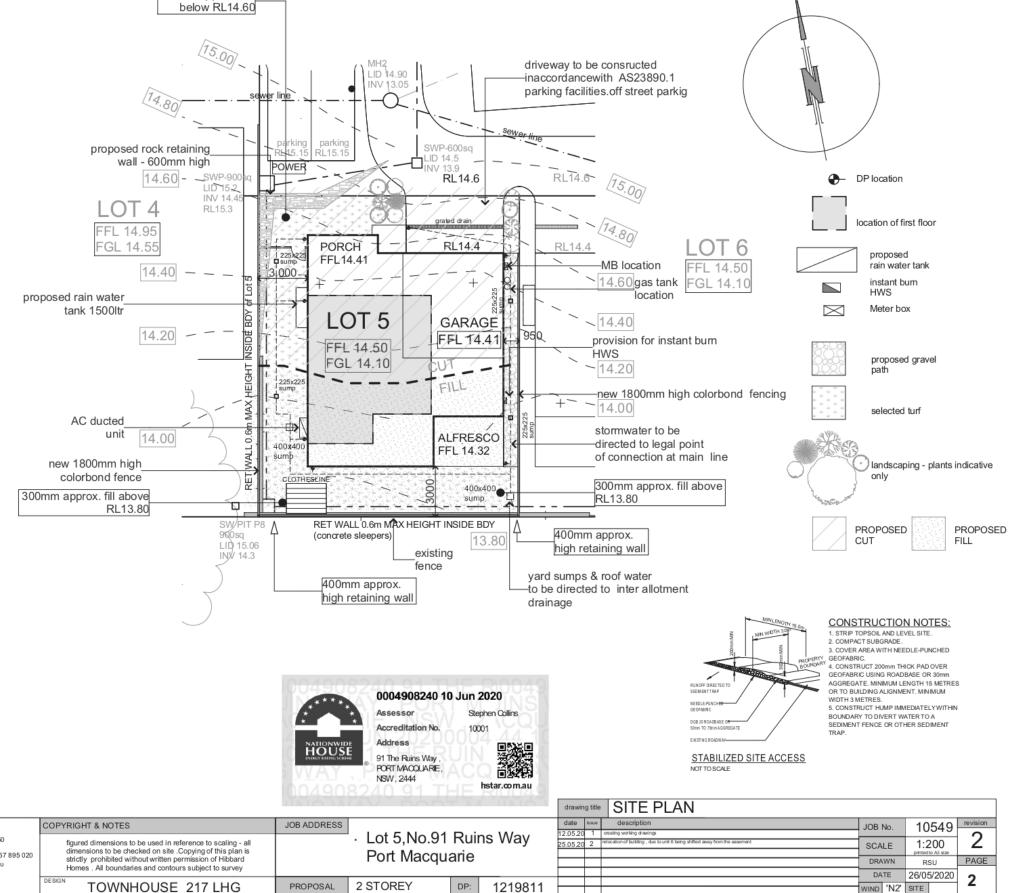
100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting



CONSTRUCTION NOTES: 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE AS POSSIBLE TO PARKALLEL TO THE CONTOURS OF THE SITE. 2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART. 3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED. 4. BACKFILL TRENCH OVER BASE OF FABRIC. 5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER. 6. JOIN SECTIONS OF FABRIC AT A SUPPORT

PLAN POST WITH A 150mm OVERLAP



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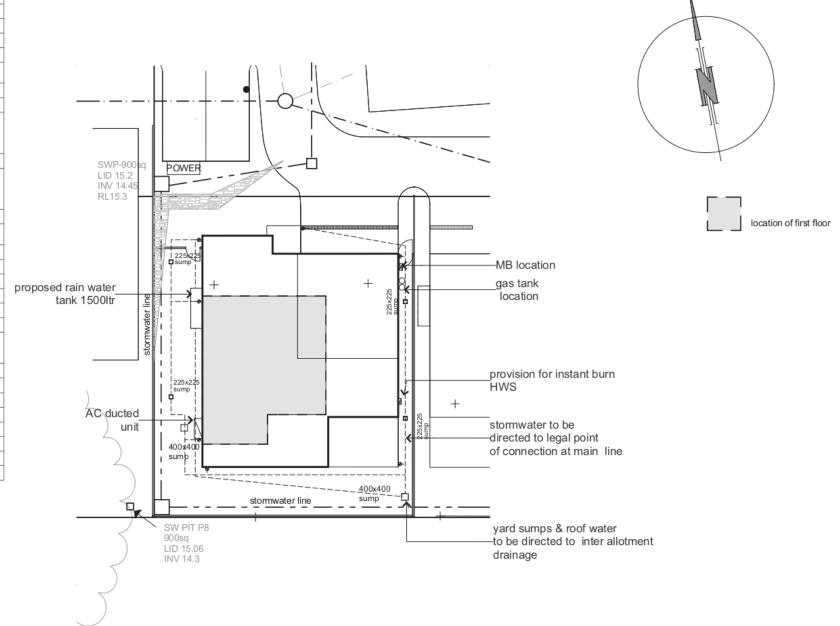
2 STOREY PROPOSAL DP: 1219811

500mm approx. cut

WIND 'N2' SITE

HERA Assessor # 1000	June 20	20 CDA Re	eference: 3364		
91 The Ruins Way PORT MACQUARIE NSW 2444					
Concept Designs Australia					
conceptdesignsaus@outlook	.com		Ph: 0418877571		
T	hermal Performand	•			
External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail		
Brick Veneer	Antiglare foil + R2.0	Dark	Except Garage		
Brick Veneer	Antiglare foil	Dark	Garage only		
FC cladding	Vapour barrier/ Antiglare foil + R2.0	Dark			
Internal Wall Construction	Insulation	Detail			
Plasterboard	None				
Plasterboard	R2.0	All units – first floor walls adj All units - walls between G Units 3 – Walls between Ldry and walls between Bath/WC a	arages and units and adjoining rooms		
Ceiling Construction	Insulation	Detail	, ,		
Plasterboard	Units 3 and 9 – R3.5 Remaining units – R2.5	All ceilings adjacent t (Except Gara			
Roof Construction	Insulation	Colour (Solar Absorptance	e) Detail		
Colorbond	55mm anticon blanket	Dark			
Floor Construction	Insulation	Covering			
300mm waffle pod		Bare, Tiles and	Carpet		
Timber	None	Tiles and Ca	rpet		
Windows Glass and frame ty	pe U Value S	HGC Details			
SSW-001-01 Aluminium framed sir	gle clear 6.35 0.7	75 Sliding and fixed windows			
SSW-006-01 Aluminium framed sir	gle clear 6.27 0.7	71 Sliding doors			
U and SHGC values are according lower and the SHGC is within 10% of glass required to meet Bushfire n	of the above figures.' Ti				
Fixed shading – Eaves	Width inclu	des guttering, offset is distance a	above windows		
Width: As drawn Offset:	As drawn Noi	minal only, refer to plan for detail			
Fixed shading - Other	Ver	andahs, Pergolas (type and desc	cription)		
Shaded areas and shade devices	s as drawn, adjoining b	uildings and boundary fences			
Building Sealing					
External doors to be weather stri	pped and windows to c	omply with AS 2047.			
LED downlights to be sealed.					
Exhaust fans to be fitted with dar	npers as per NCC.				







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TOWNHOUSE 217 LHG

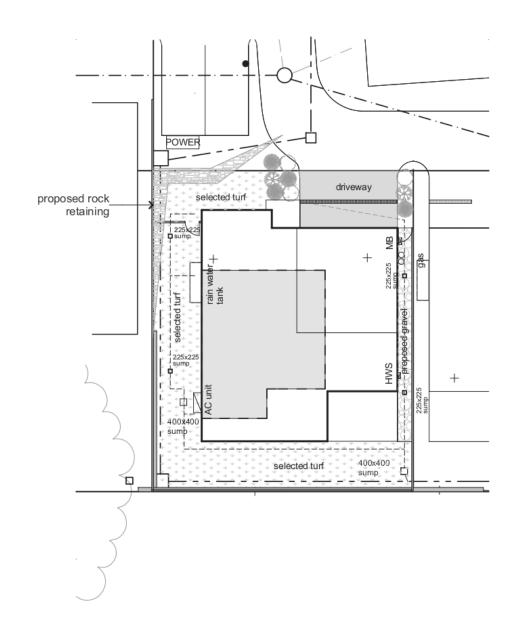
- Lot 5,No.91 Ruins Way
Port Macquarie

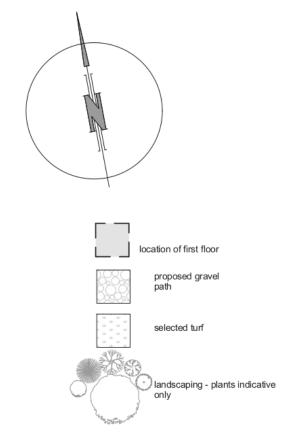
PROPOSAL 2 STOREY DP: 1219811

	drawin	g title	SERVICES PLAN	RVICES PLAN				
	date	issue	description	JOB No.		10	549	revision
	12.05.20		creating working drawings					2
	25.05.20	2	relocation of building, due to unit 6 being shifted away from the easement	SCA	LE	1:1	00	
						printed t	to A3 size	
				DRA	WN	RS	SU	PAGE
_				. DA	TE	26/05	/2020	2
					INTO			3
				WIND	'N2'	SITE		

Note: Plant types will be selected from the following range by the nominated landscaper .Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers







driveway



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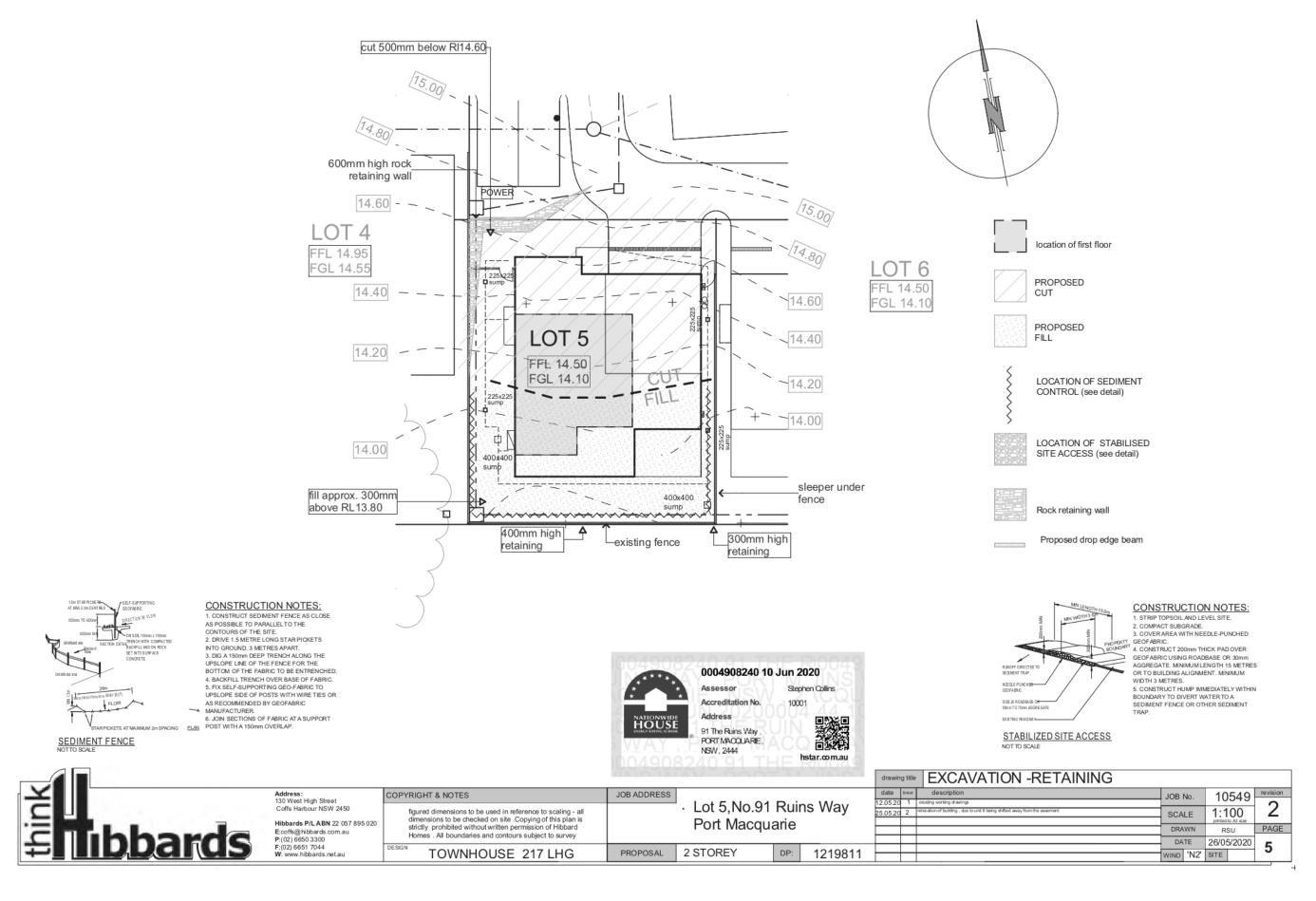
JOB ADDRESS Lot 5,No.91 Ruins Way Port Macquarie 2 STOREY

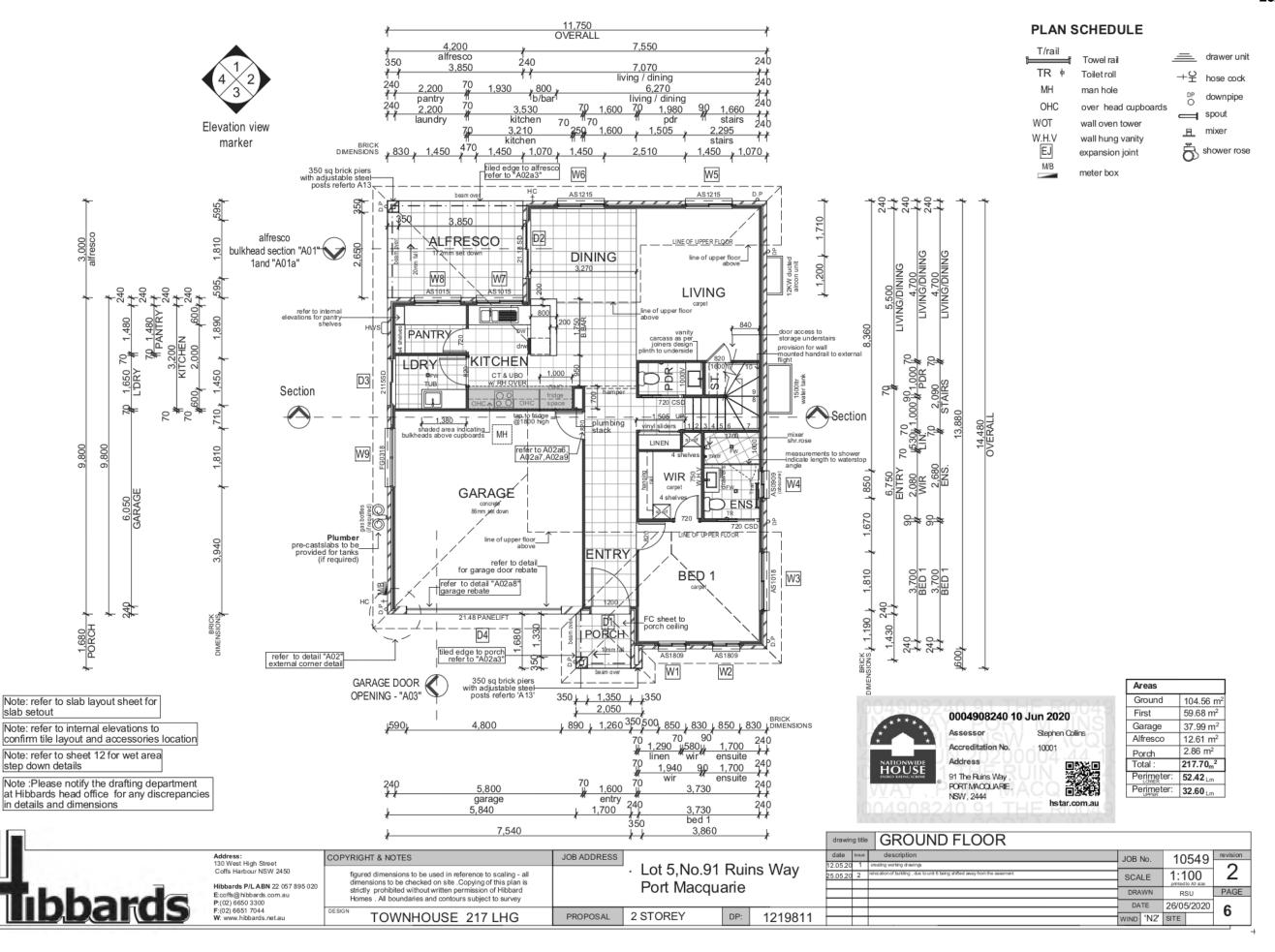
PROPOSAL

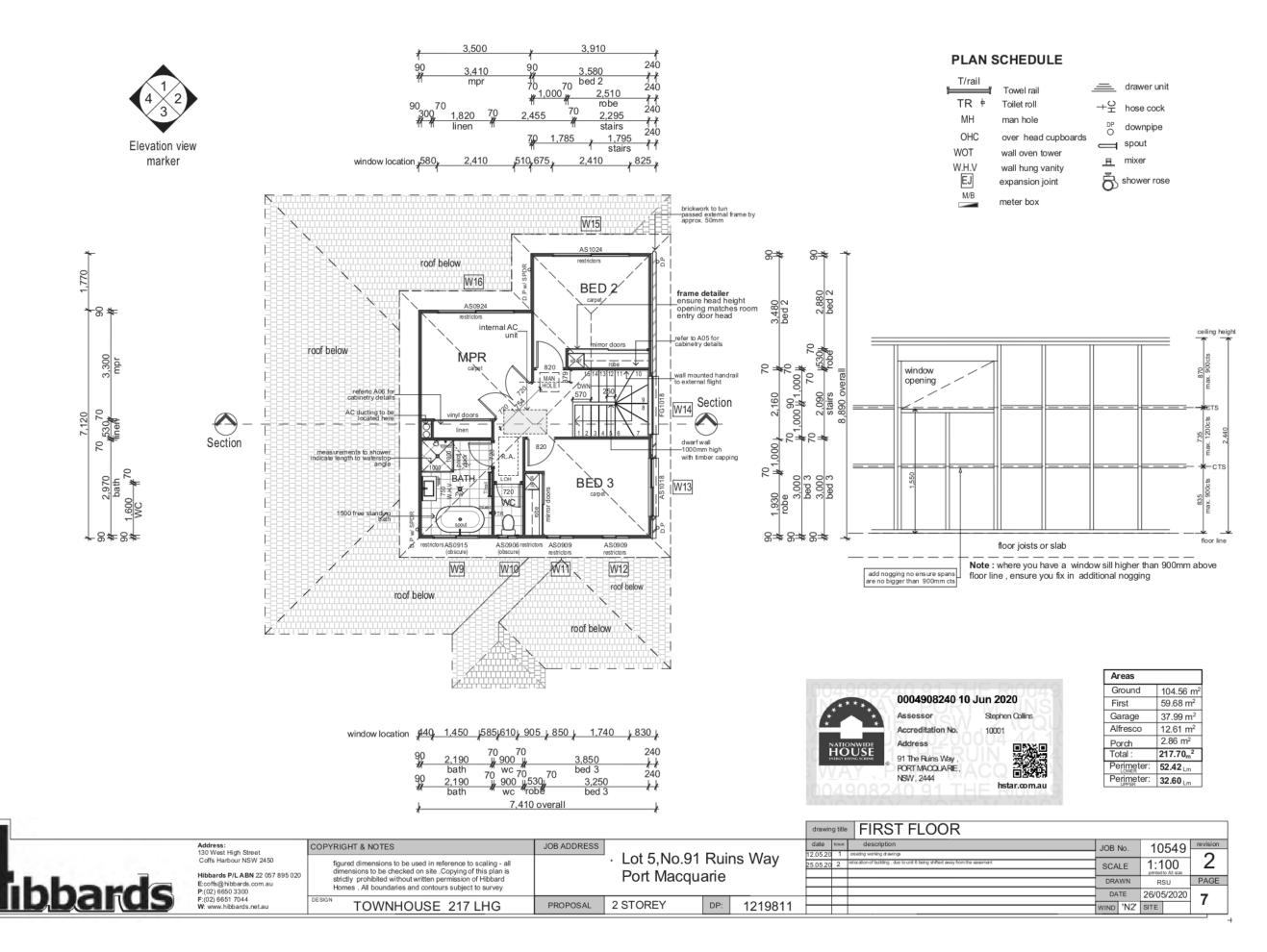
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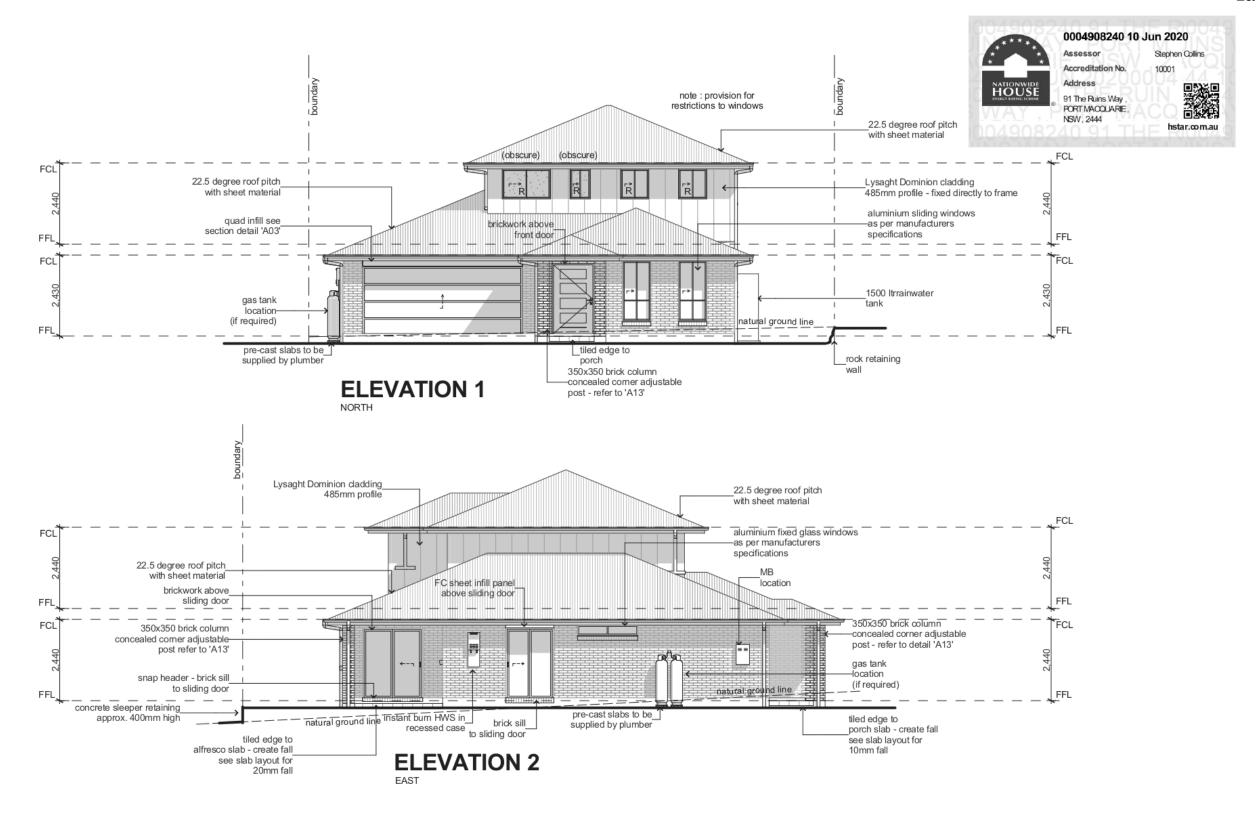
1219811

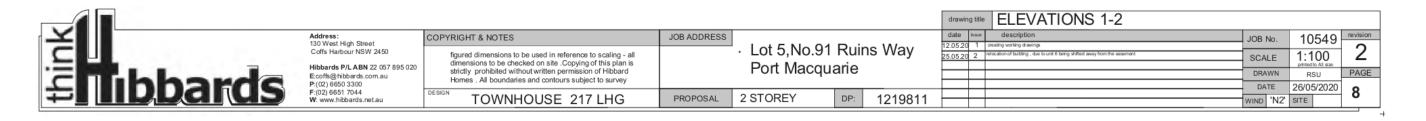
drawing title LANDSCAPE PLAN 10549 revision JOB No. 2 1:100 SCALE DRAWN PAGE RSU DATE 26/05/2020 WIND 'N2' SITE

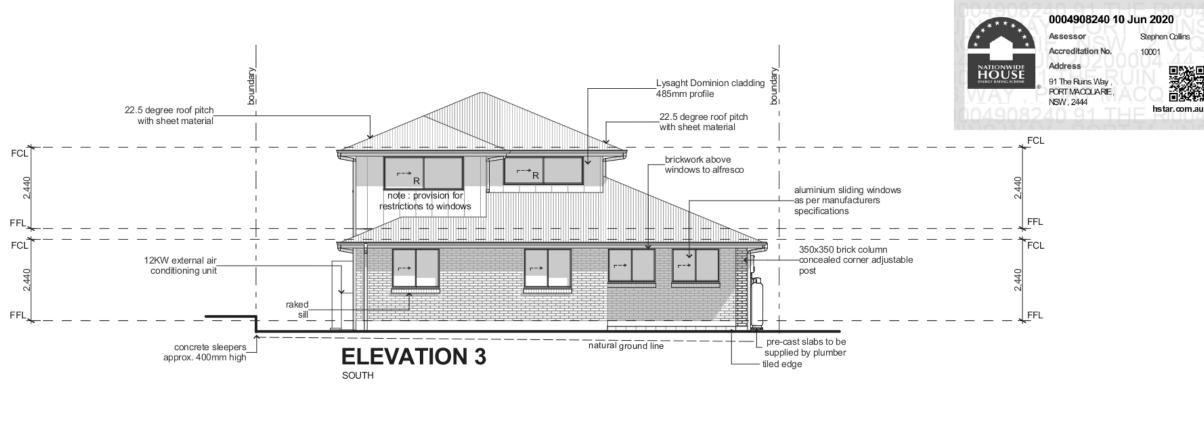


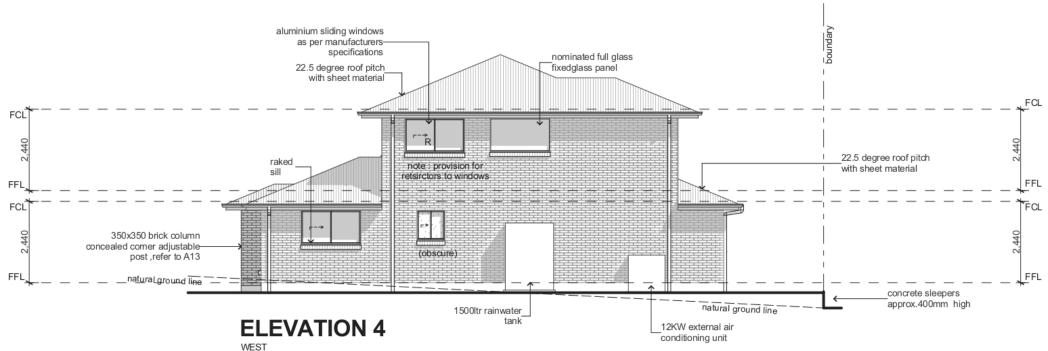


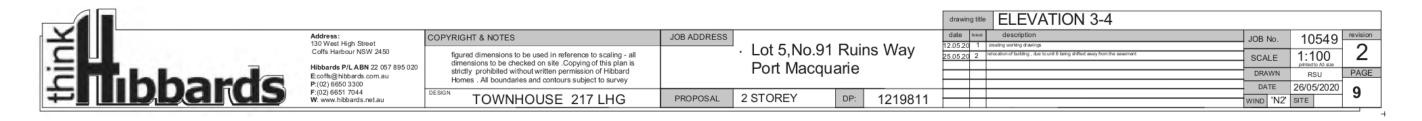


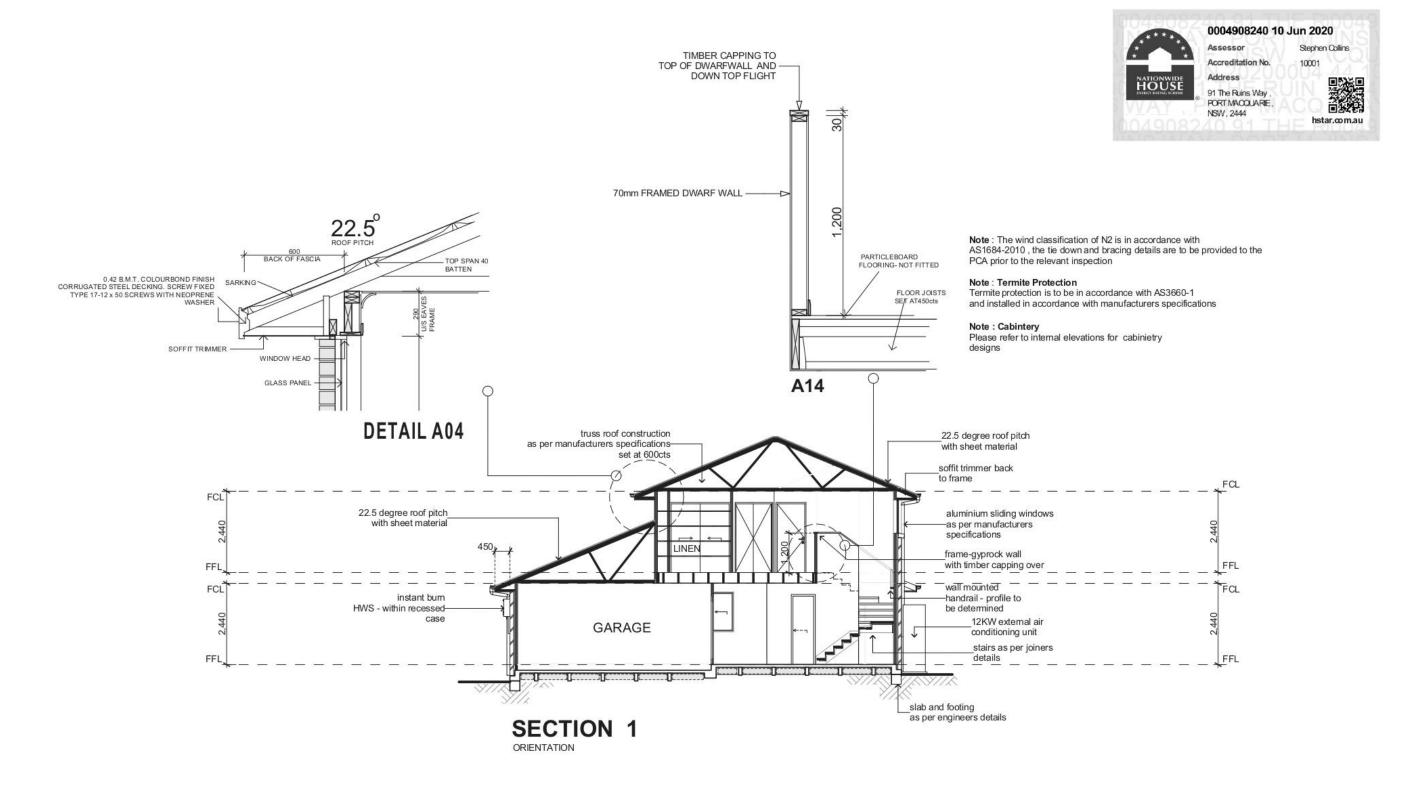


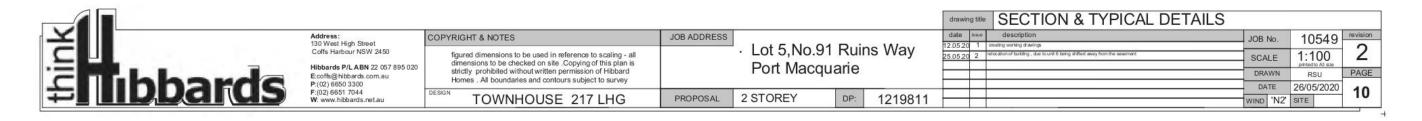












# DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
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3	services plan
4	landscape plan
6	excavation + retaining walls
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8	first floor
9	elevations 1-2
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25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

### BASIX REQUIREMENTS

- BASIX REQUIREMENTS

  3 STARS SHOWERHEADS.
  4 STARS WC, 4 STARS TAPS.
  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.
  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.
  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CYE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

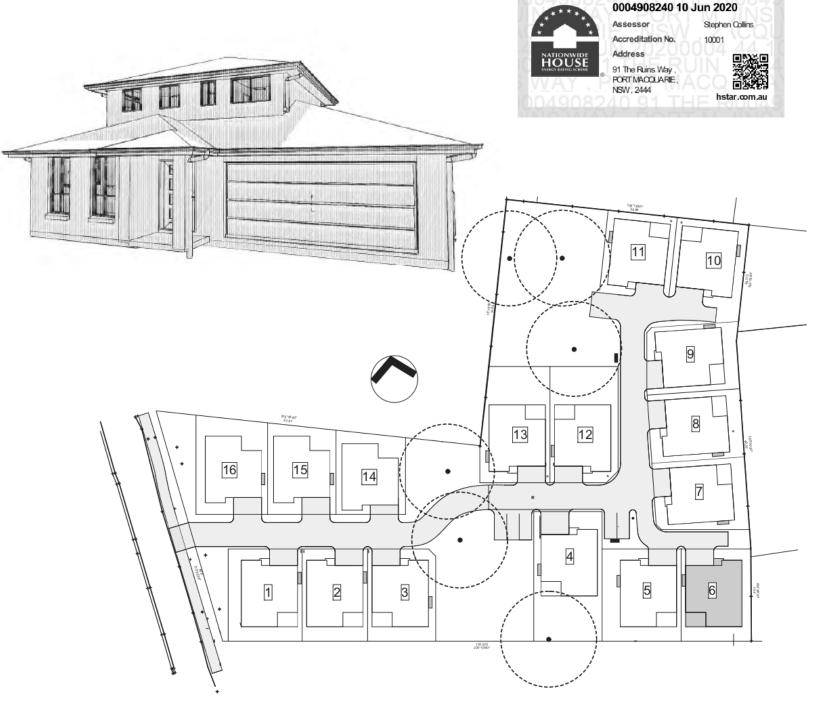
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

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   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

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   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.

drawing title COVER SHEET

- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTIPMENT OF STATEMENT OF STATEMENT



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Lot 6, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

10550

NTS

RSU

DATE 26/05/2020

WIND 'N2' SITE

PAGE

JOB No

SCALE.

DRAWN

SITE INFORMATION		
LOT NUMBER:	6	
REGISTERED PLAN NUMBER SP		
SUBURB	PORT MACQUARIE	
LOCALAUTHORITY	PORT MACQUARIE	
PARISH		
COUNTY		
SITE AREA	296m²	

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas
- (c) 50mm above paved or concrete areas with fall away from the building

### Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area	Gutter Description
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

### Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

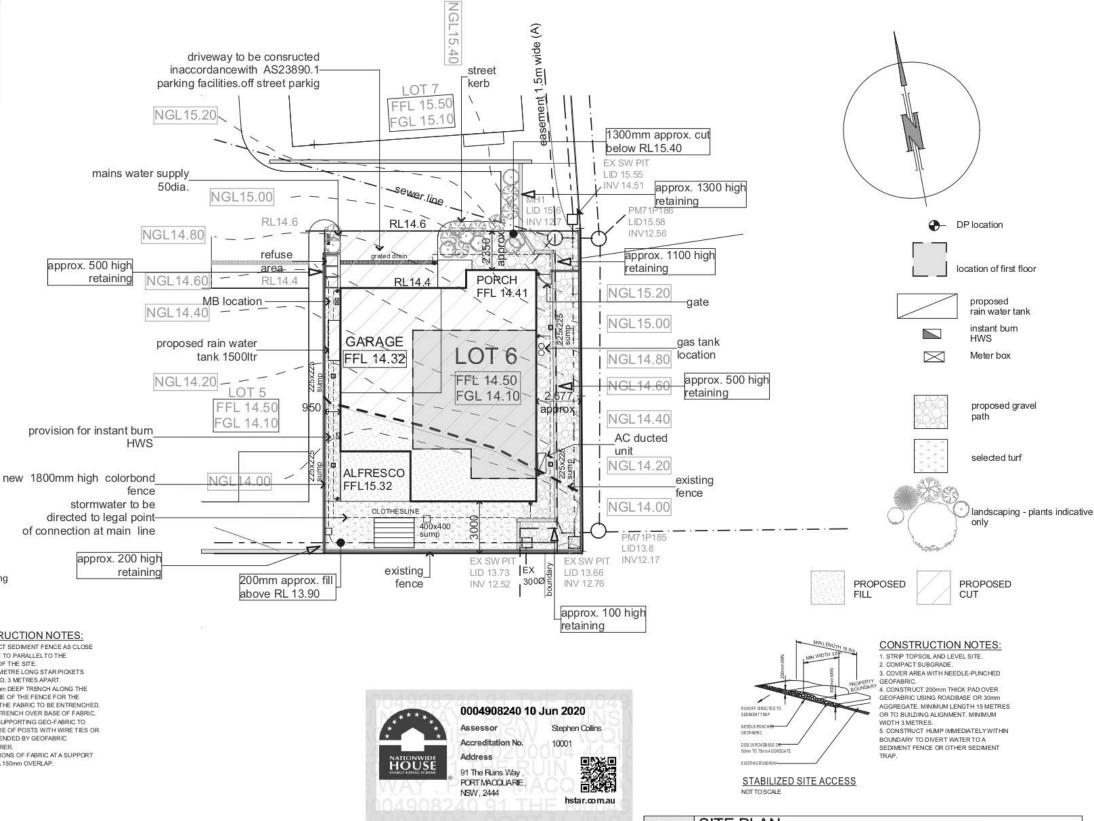
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

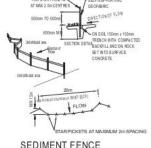
Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting





## CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.

3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED. BACKFILL TRENCH OVER BASE OF FABRIC.
 FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.





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Lot 6, No.91 Ruins Way DP: 1219811

drawing title SITE PLAN 10550 JOB No 1:200 SCALE DRAWN RSU PAGE DATE 26/05/2020 2 WIND 'N2' SITE

CDA Reference: 3364

Dark

Dark

Detail

Detail

All ceilings adjacent to roof space (Except Garages)

Covering

Bare, Tiles and Carpet

Tiles and Carpet

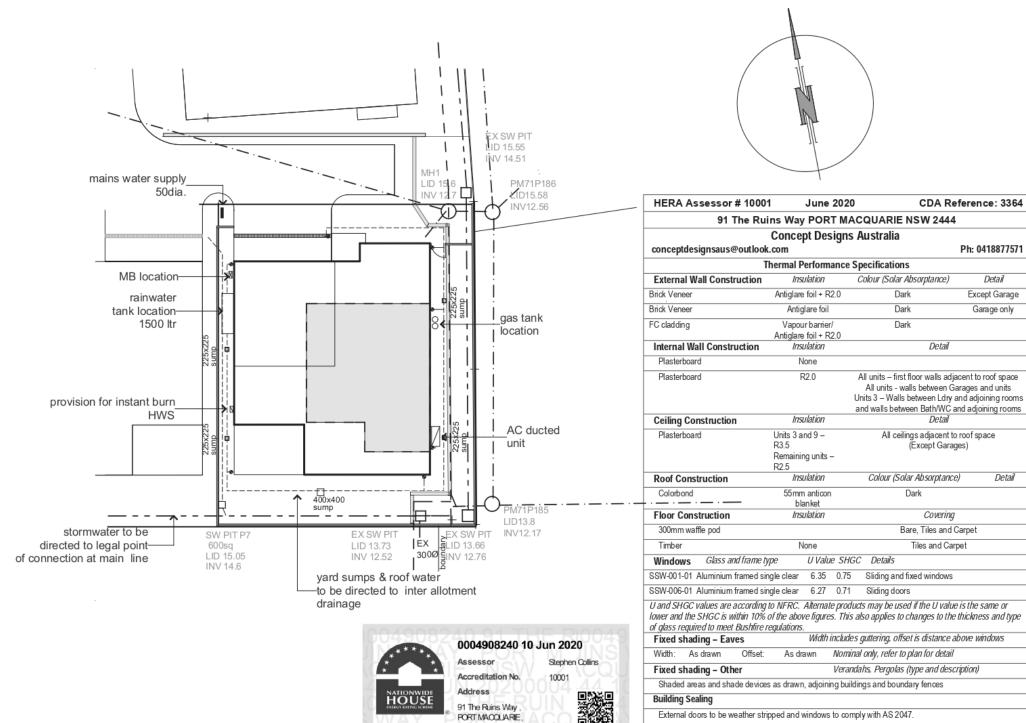
Ph: 0418877571

Detail

Except Garage

Garage only

Detail



NSW, 2444

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Address: 130 West High Street Coffs Harbour NSW 2450

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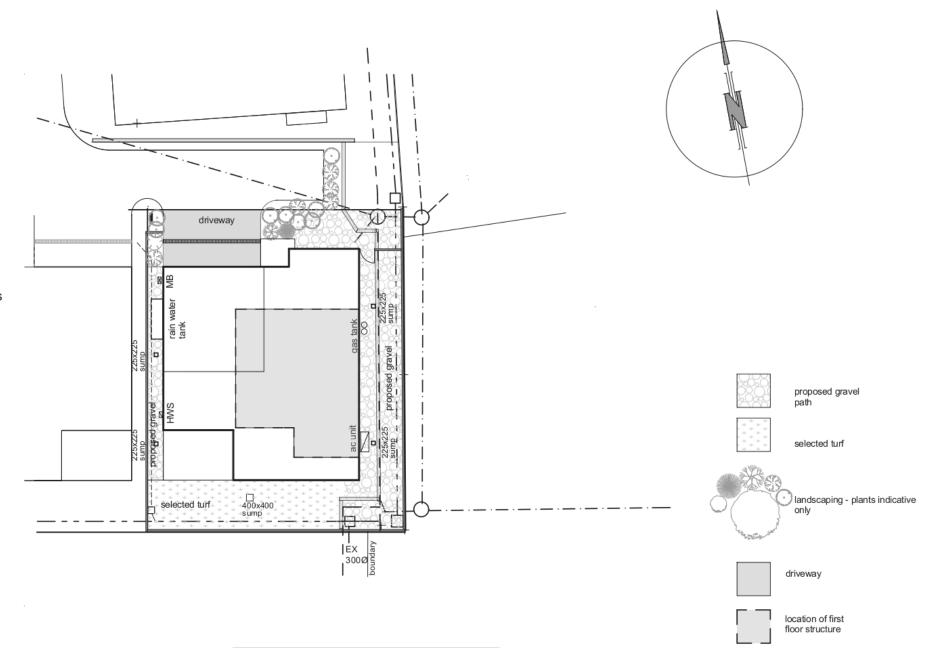
	drawing title SERVICES PLAN							
	date	issue	description	JOB No. 105		JOB No. 10550		revision
	26.05.20	1	BR Development re-design , shifted location of building from easement			- 10	,000	4
				SCALE		SCALE 1:200 printed to A3 size		1
- 1				DR/	AWN	R	SU	PAGE
				D/	ATE	26/0	5/2020	2
							0,2020	3
				WIND	'N2'	SITE		_

LED downlights to be sealed.

Exhaust fans to be fitted with dampers as per NCC.

Note: Plant types will be selected from the following range by the nominated landscaper. Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers







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DESIGN

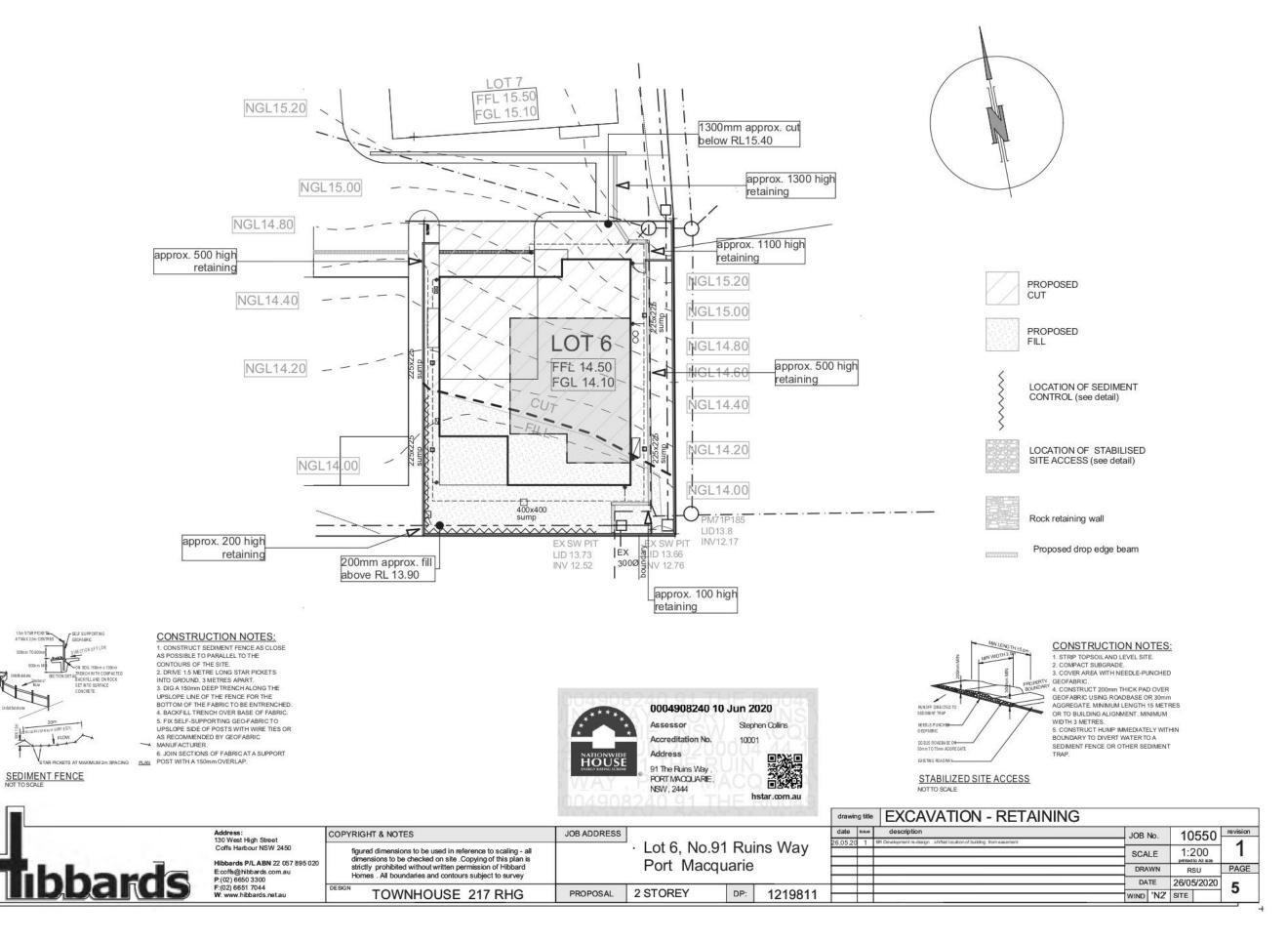
TOWNHOUSE 217 RHG

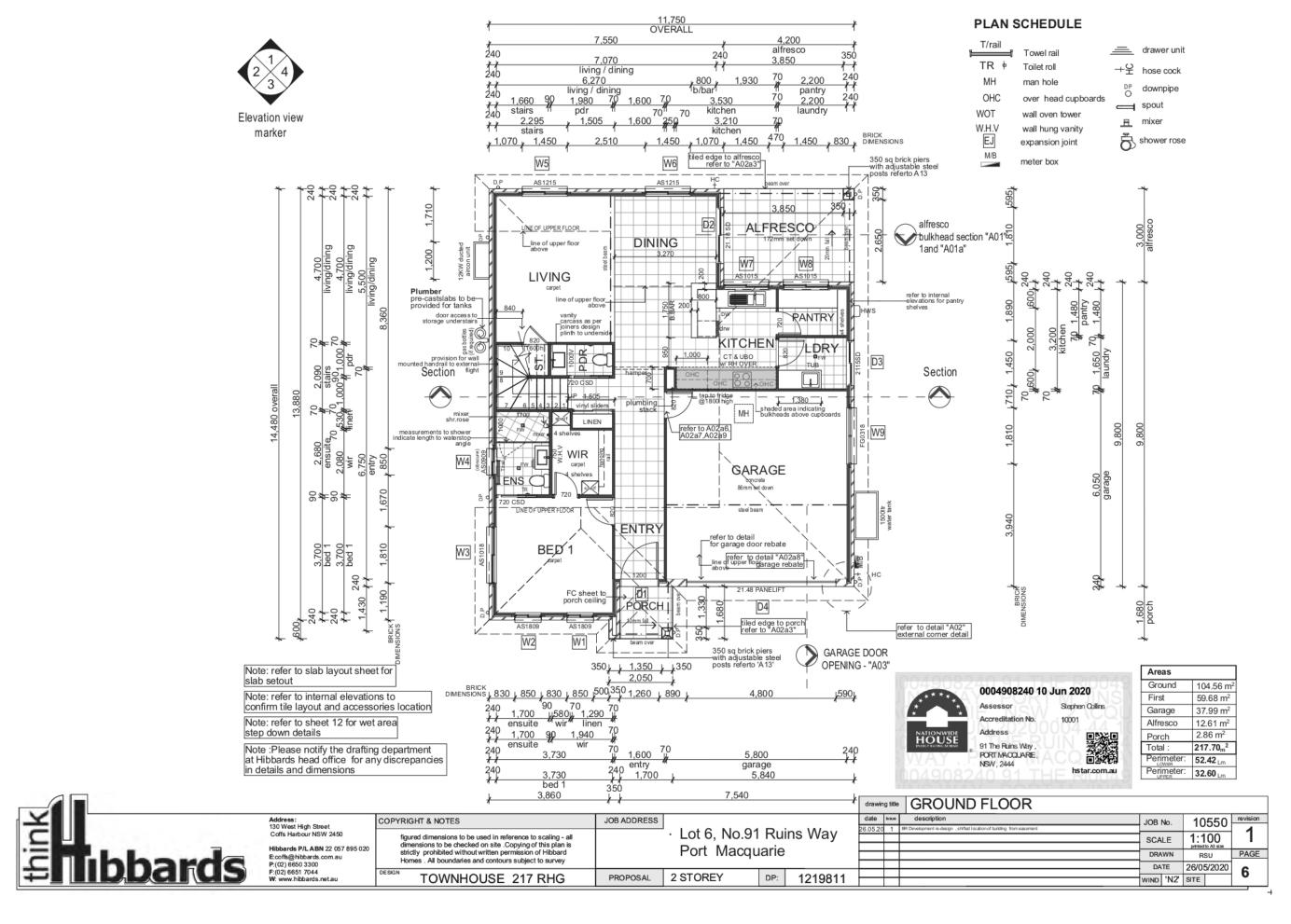
PROPOSAL

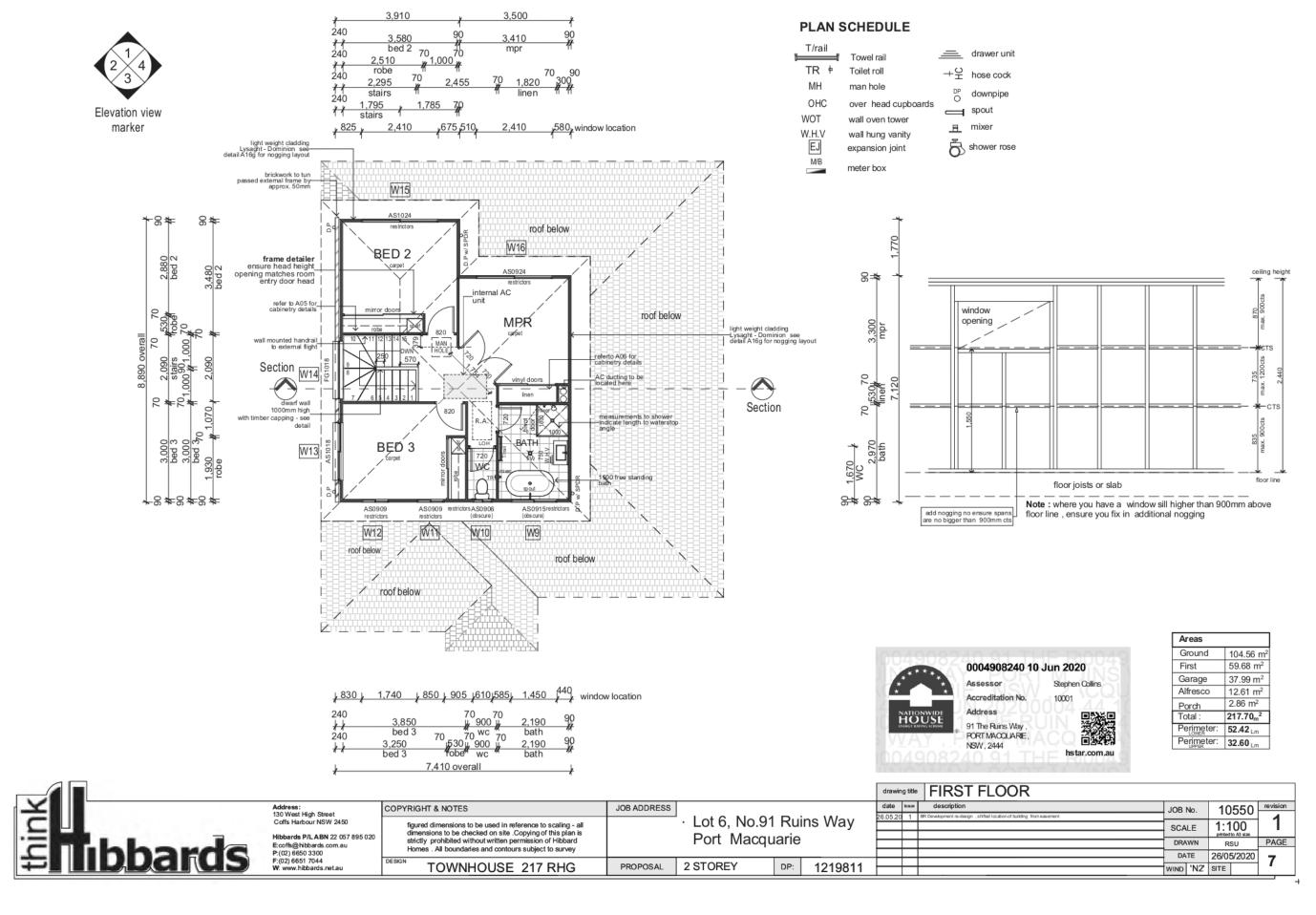
Lot 6, No.91 Ruins Way
 Port Macquarie

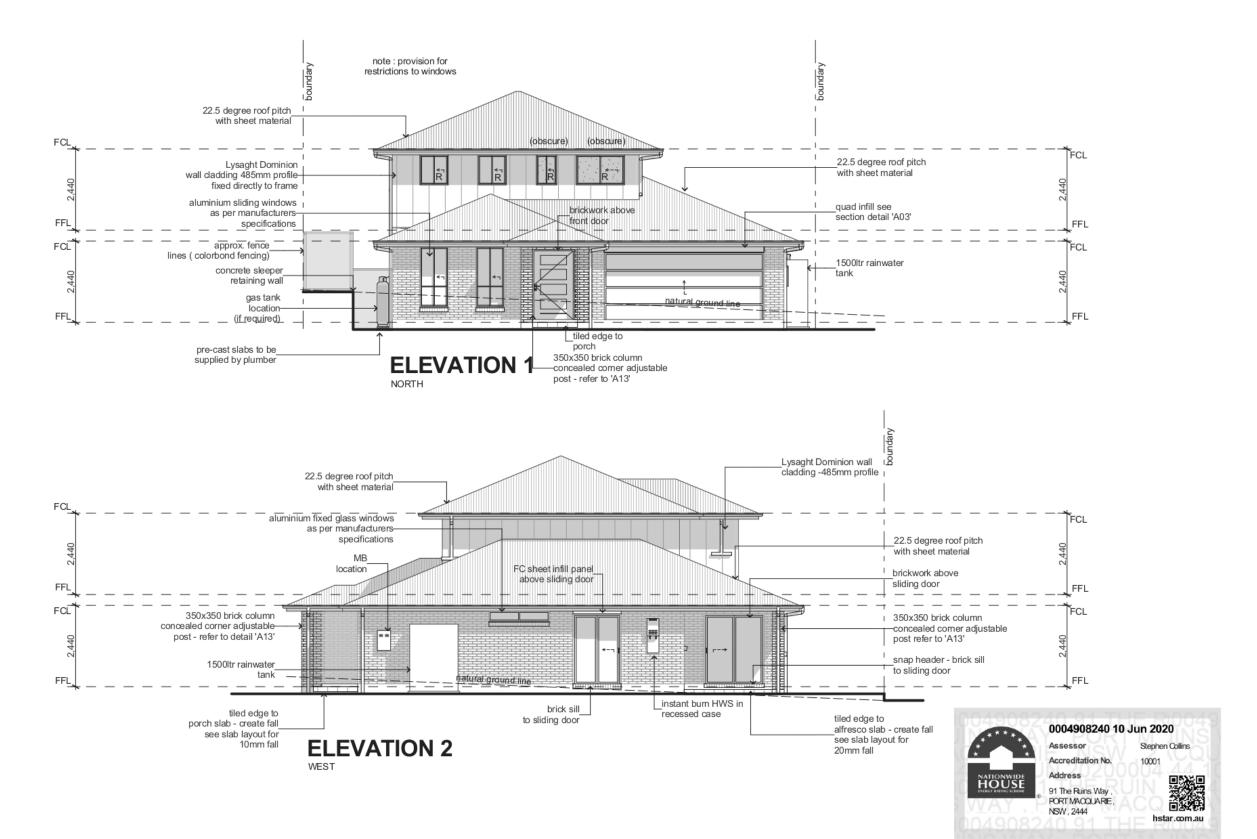
2 STOREY

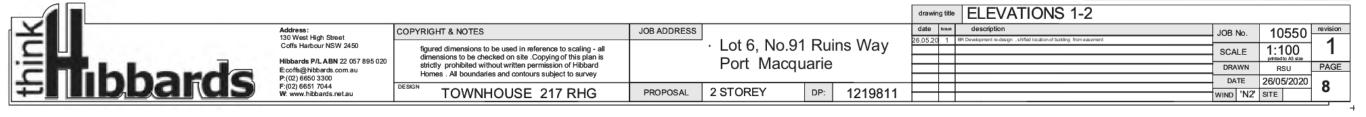
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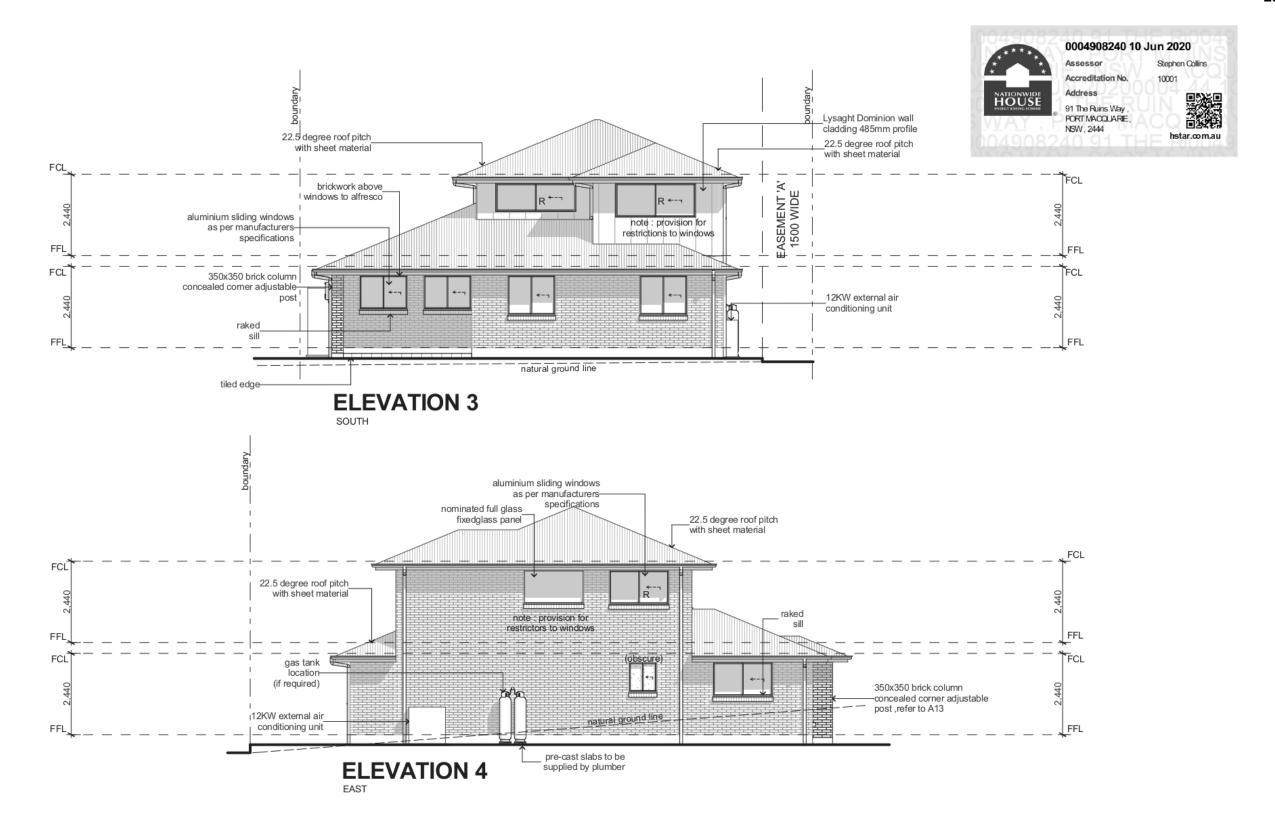


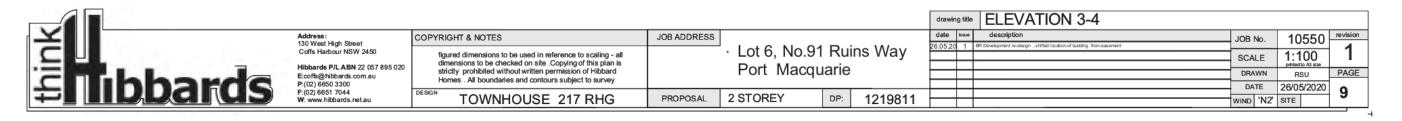


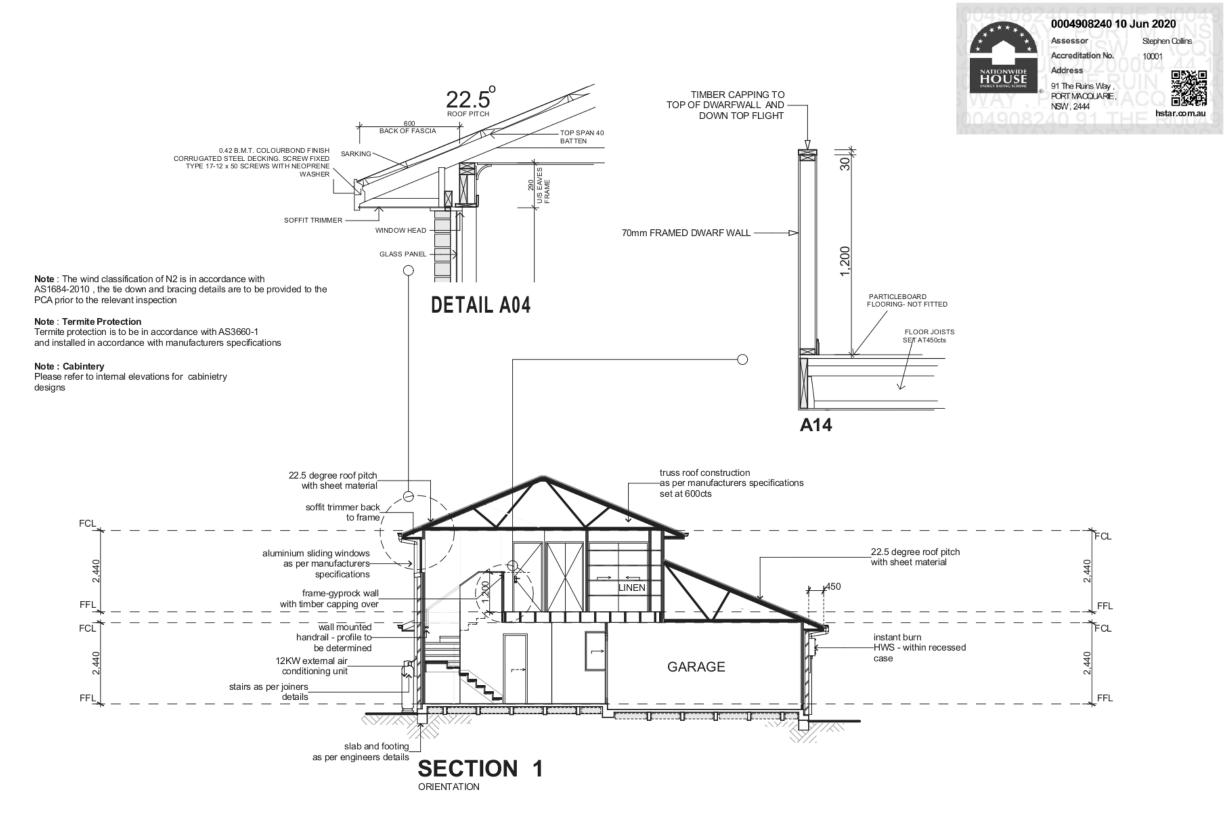


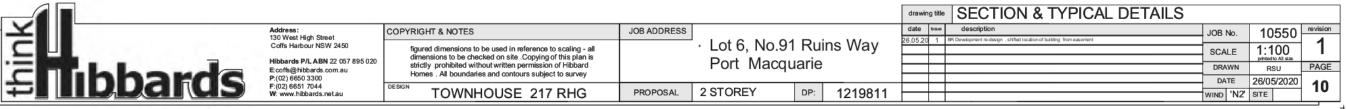












# DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
2	site plan
3	services plan
4	landscape plan
6	excavation + retaining walls
7	ground floor
8	first floor
9	elevations 1-2
10	elevation 3-4
11	section & typical detail
12	slab plan - penetrations- rebates
13	floor joists layout (indicative only) - refer to framers details
14	electrical layout
15	kitchen / laundryinternal elevations
16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
21	bracing details - first floor
22	A13- adjustable steel posts
23	Alfresco beam and sliding door section details
24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

### BASIX REQUIREMENTS

- 3-STARS SHOWERHEADS.
   4-STARS WC, 4-STARS TAPS
- 4-STARS WC, 4-STARS TAPS.

  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.

  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.

  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CVE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

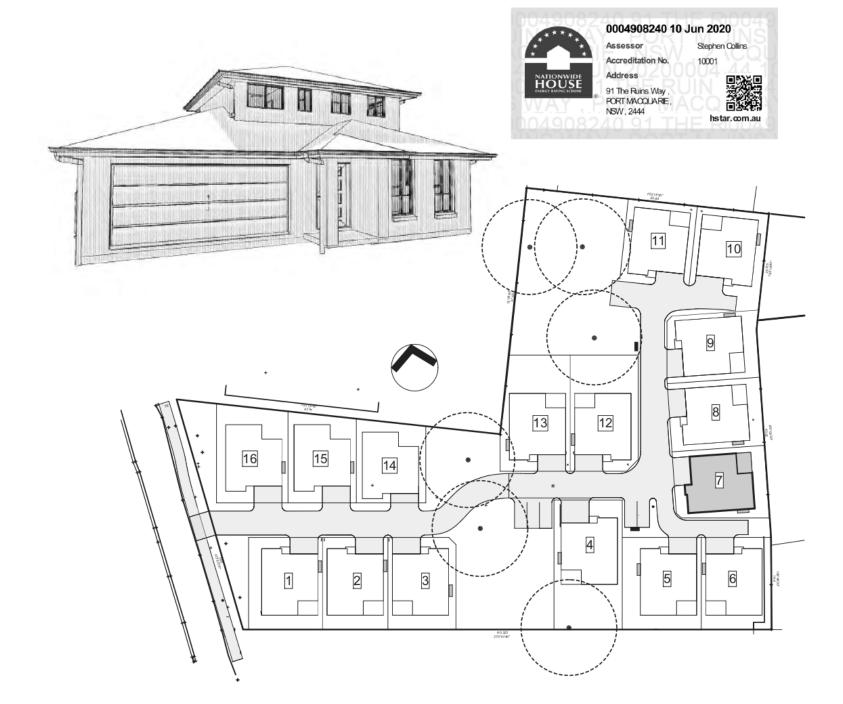
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

  WET AREAS ARE TO BE SEALED ATTHE INTERSECTION OF THE FLOOR AND WALLAND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEA!
- POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
   ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

1219811

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.

drawing title COVER SHEET

- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTIPMENT OF STATEMENT OF STATEMENT



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JOB ADDRESS Lot 7, No.91 Ruins Way Port Macquarie

DP:

2 STOREY

PROPOSAL

10551 JOB No. 1:100 SCALE DRAWN RSU PAGE DATE 26/05/2020 WIND 'N2' SITE

SITE INFORMATION				
LOT NUMBER:	7			
REGISTERED PLAN NUMBER SP	1219811			
SUBURB	PORT MACQUARIE			
LOCAL AUTHORITY	PORT MACQUARIE			
PARISH				
COUNTY				
SITE AREA	280m <sup>2</sup>			

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas (c) 50mm above paved or concrete areas with fall away from the building

Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area	Gutter Description
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

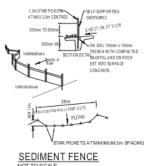
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

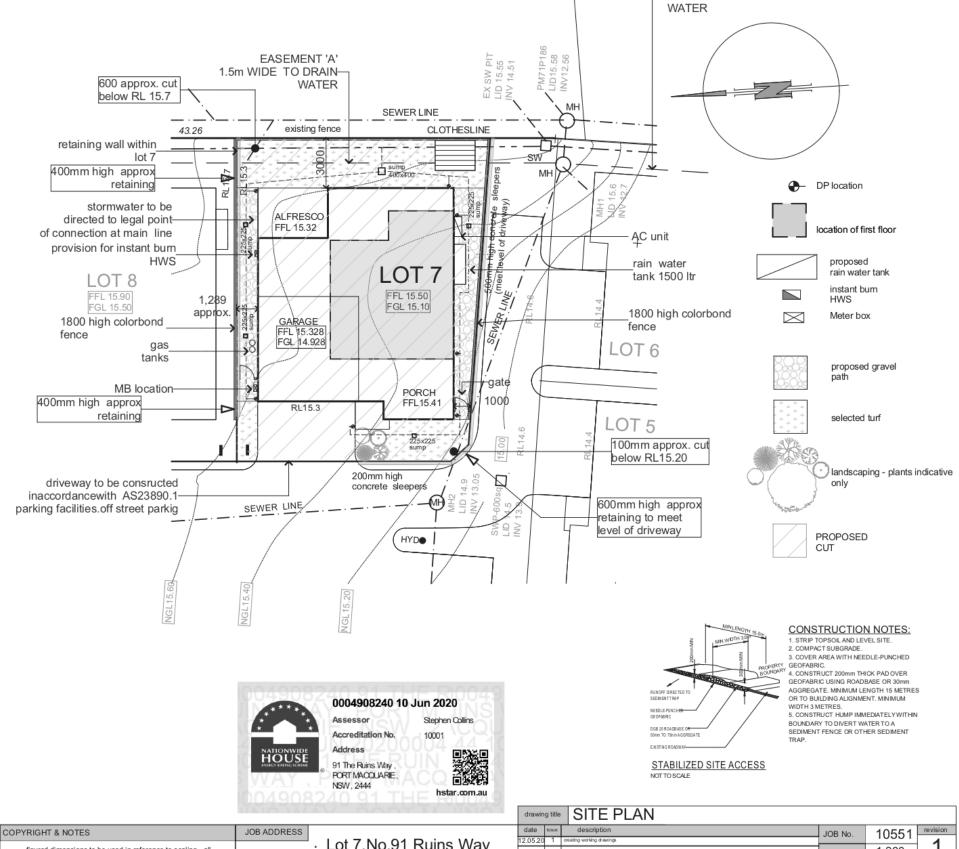
100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting



**CONSTRUCTION NOTES:** 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART. 3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED. 4. BACKFILL TRENCH OVER BASE OF FABRIC. 5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER. 6. JOIN SECTIONS OF FABRIC AT A SUPPORT PLAN POST WITH A 150mm OVERLAP





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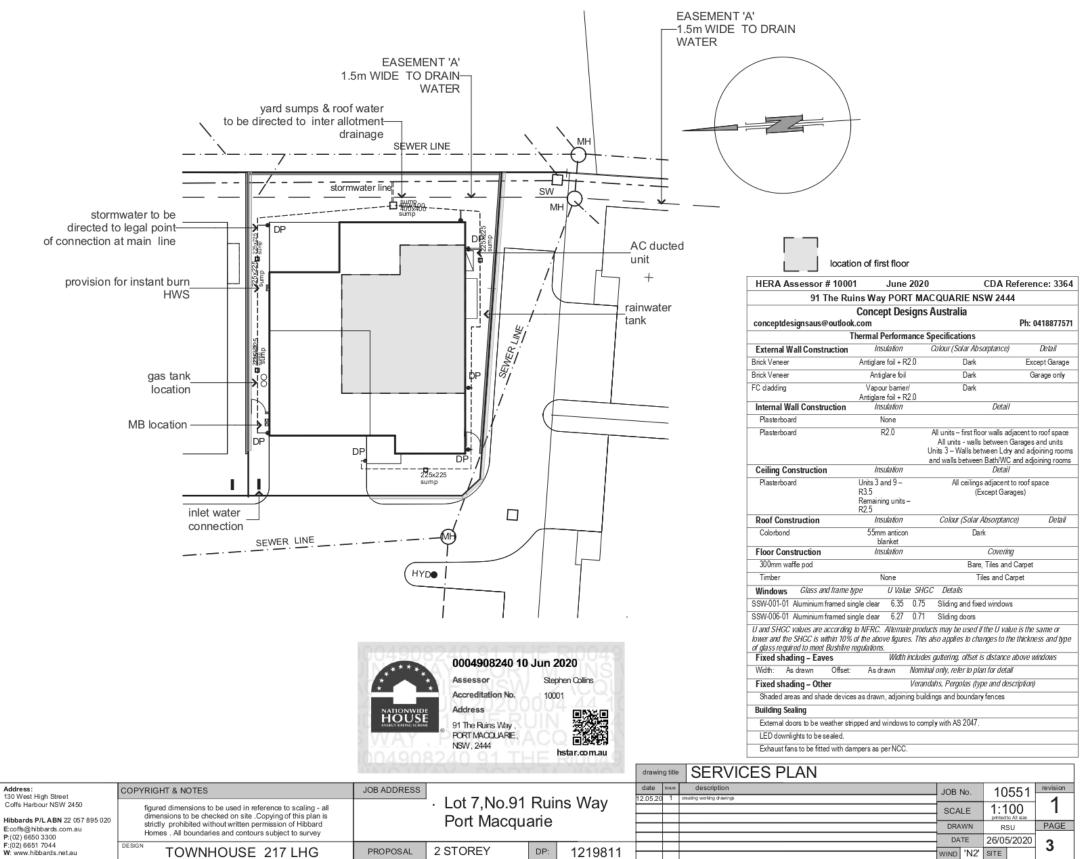
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Lot 7, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

PROPOSAL

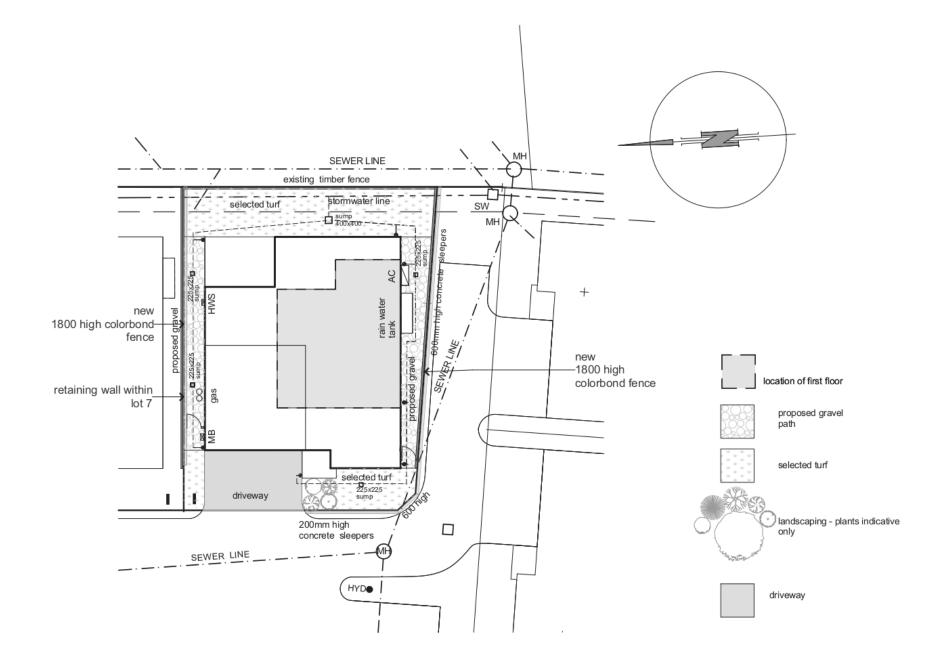
1:200 SCALE DRAWN RSU PAGE DATE 26/05/2020 2 WIND 'N2' SITE

EASEMENT 'A' -1.5m WIDE TO DRAIN



Note: Plant types will be selected from the following range by the nominated landscaper. Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers







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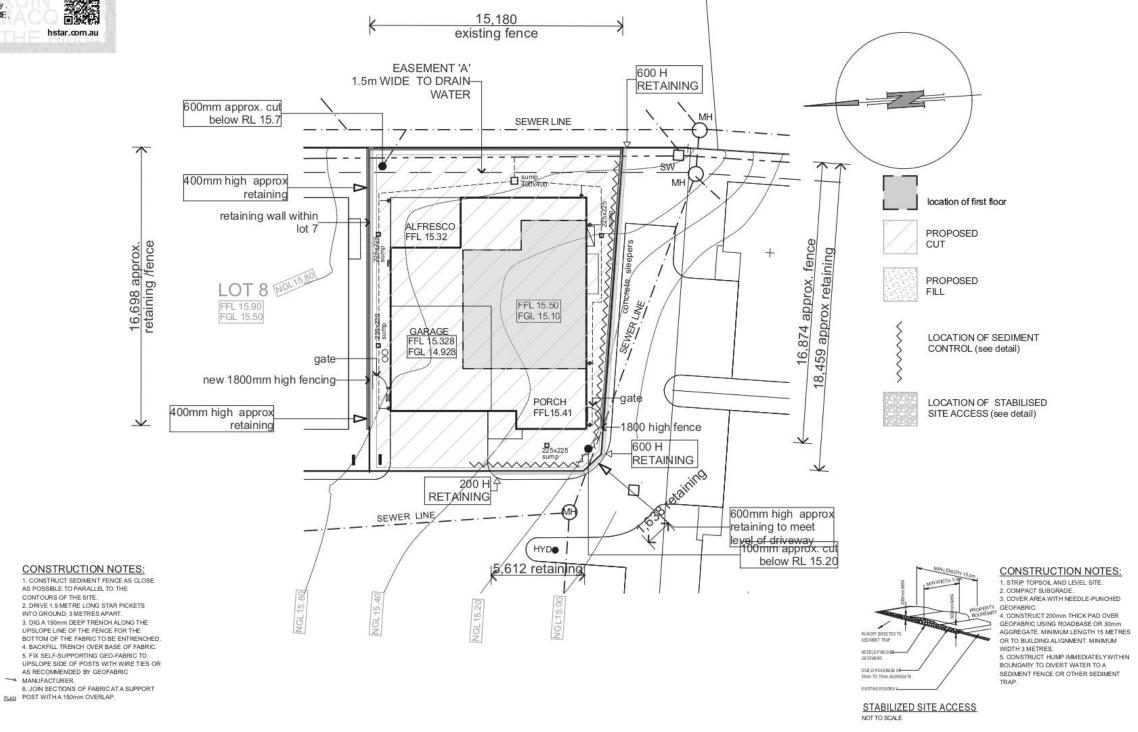
DESIGN
TOWNHOUSE 217 LHG
PROPOSAL 2 STOR

Lot 7,No.91 Ruins Way
 Port Macquarie

2 STOREY

DP: 1219811







SEDIMENT FENCE

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DESIGN

TOWNHOUSE 217 LHG

JOB ADDRESS

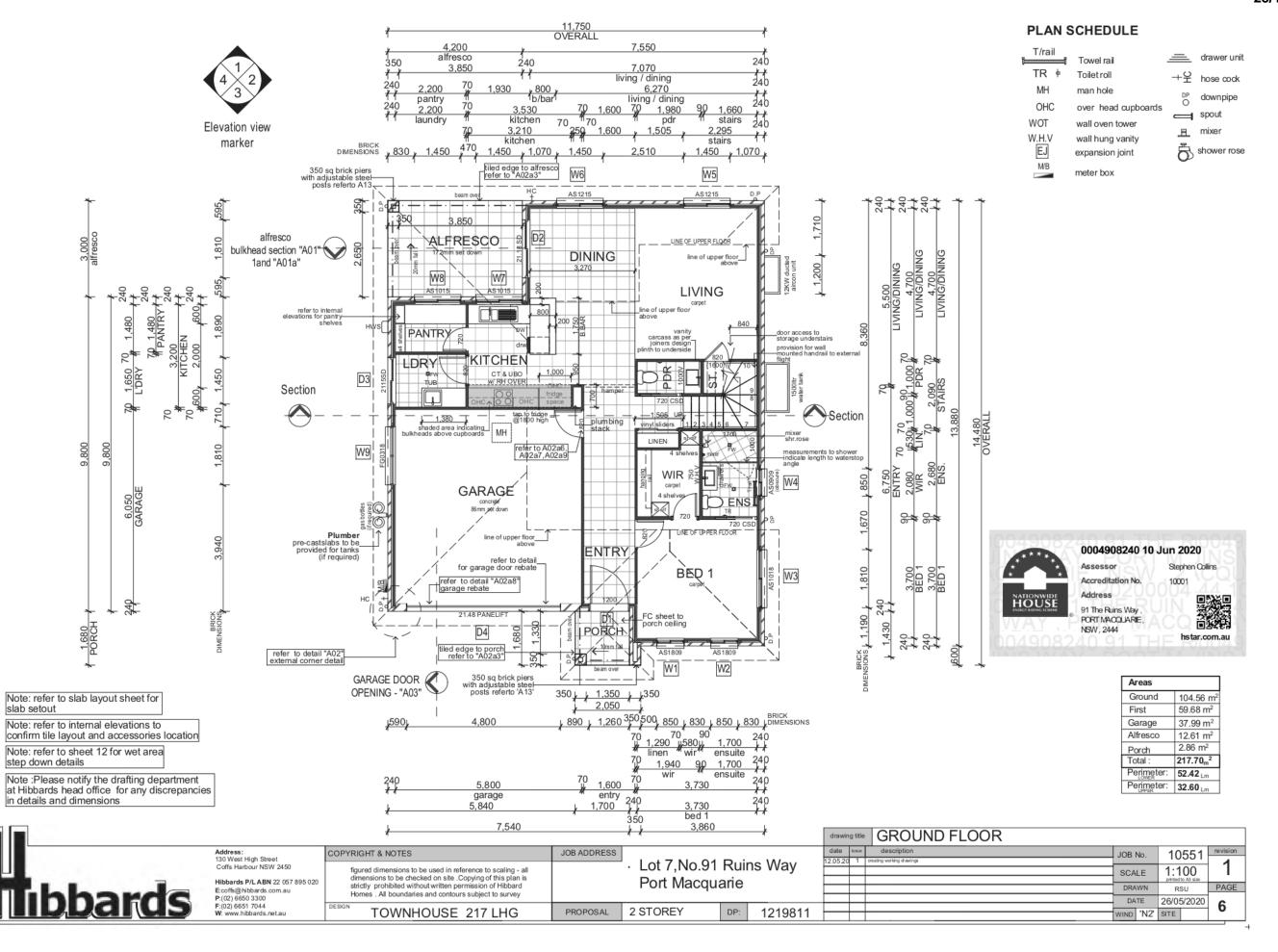
- Lot 7, No.91 Ruins Way Port Macquarie

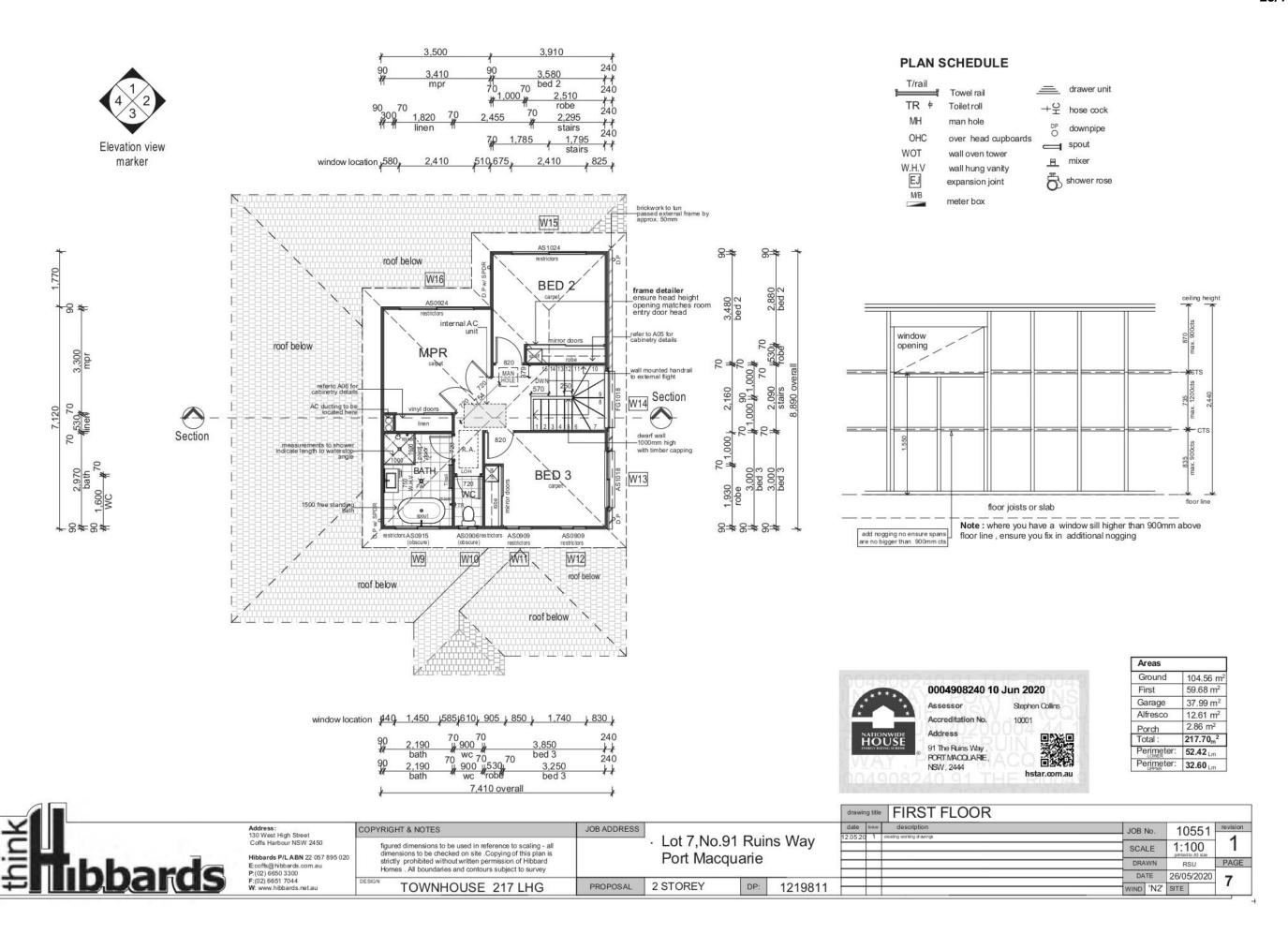
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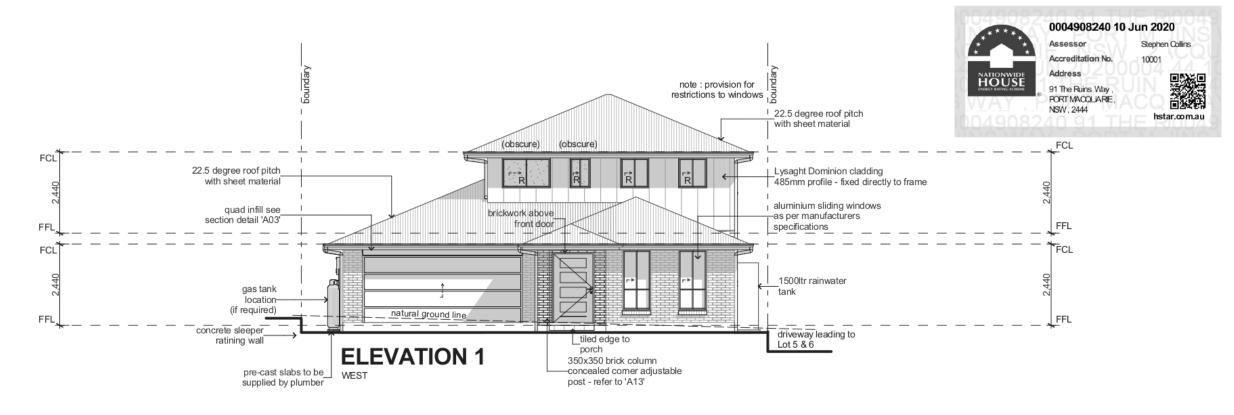
2 STOREY

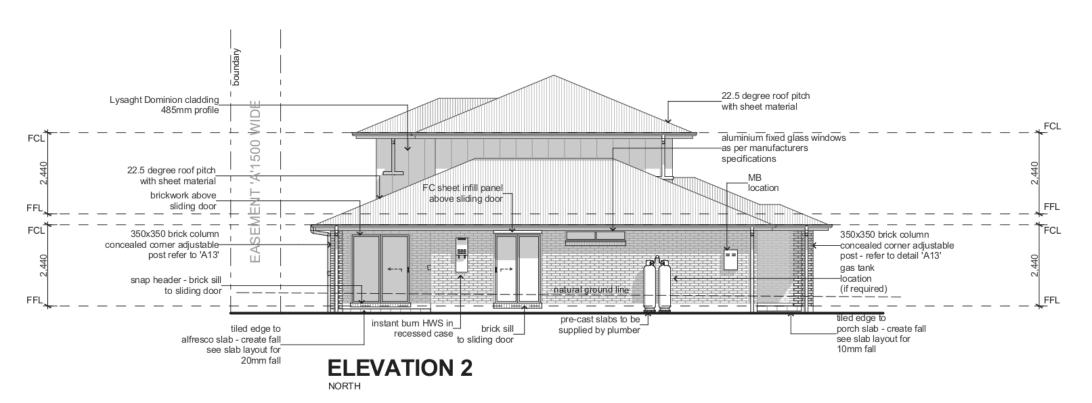
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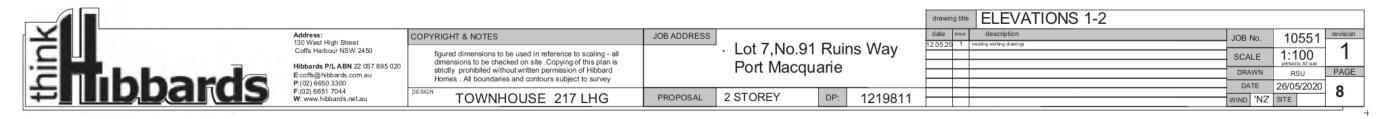
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da	ate	issue	description	JOB No.	10551	revision
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				DRAWN	RSU	PAGE
$\vdash$	_			DATE	26/05/2020	5
$\vdash$	-			WIND 'N2'	SITE	3

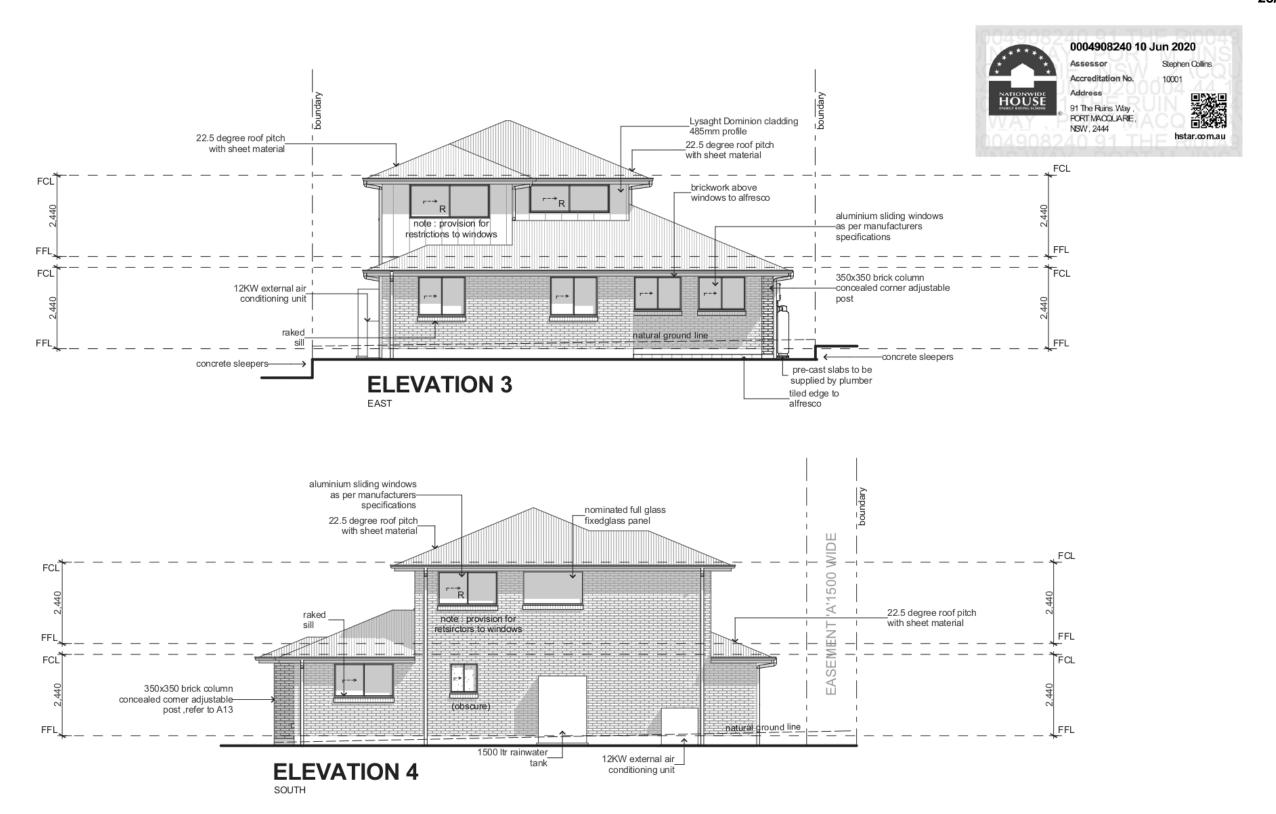


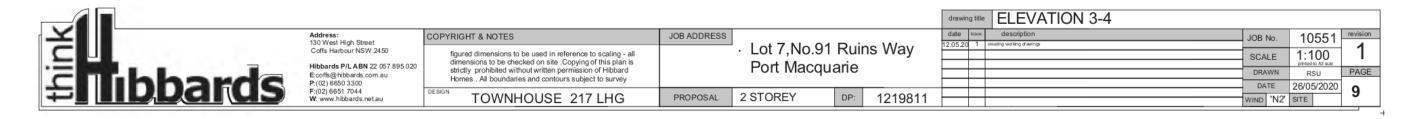


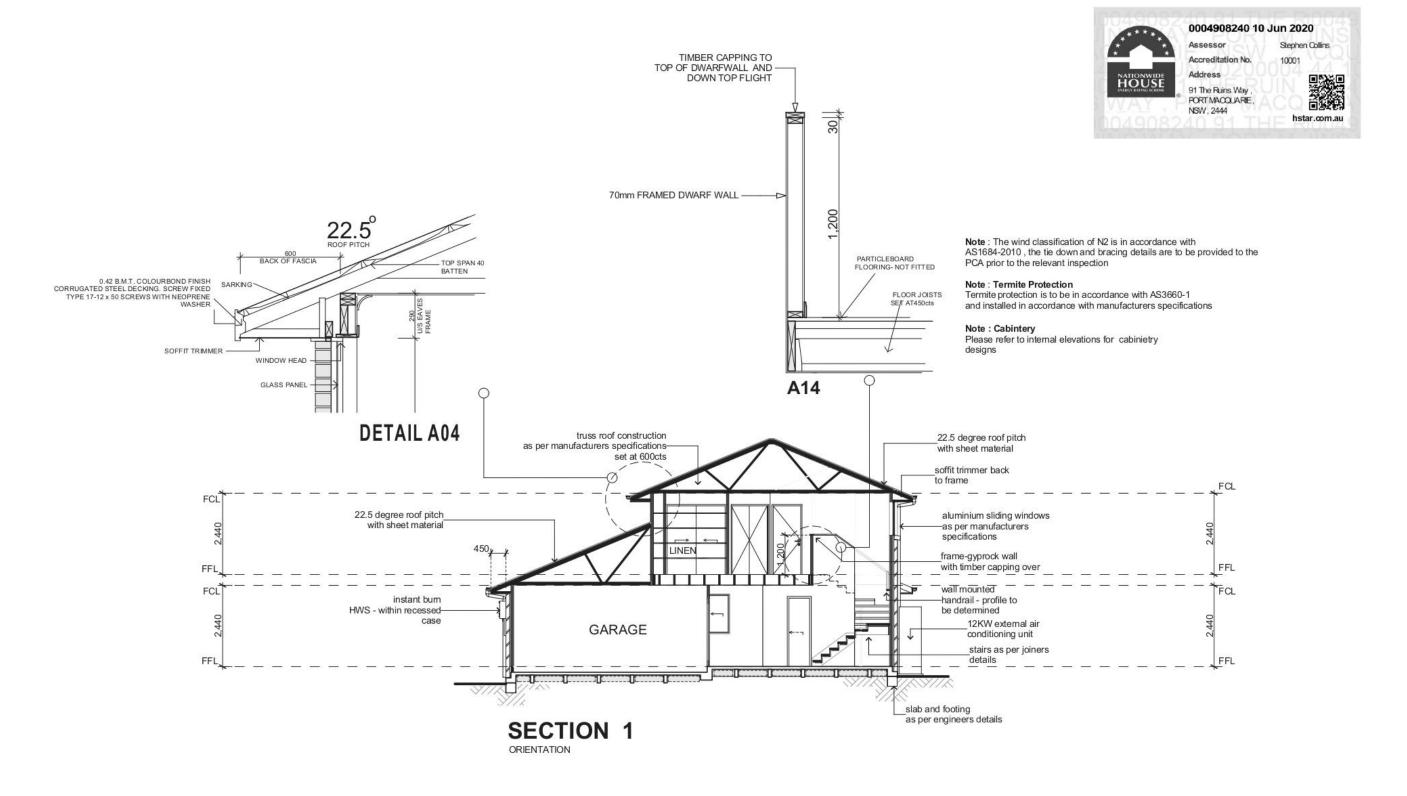


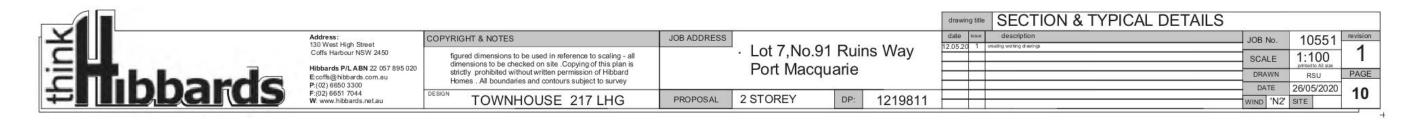












# DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE
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12	slab plan - penetrations- rebates
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16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
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### BASIX REQUIREMENTS

- 3-STARS SHOWERHEADS.
   4-STARS WC, 4-STARS TAPS
- 4-STARS WC, 4-STARS TAPS.

  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.

  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.

  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CVE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

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  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

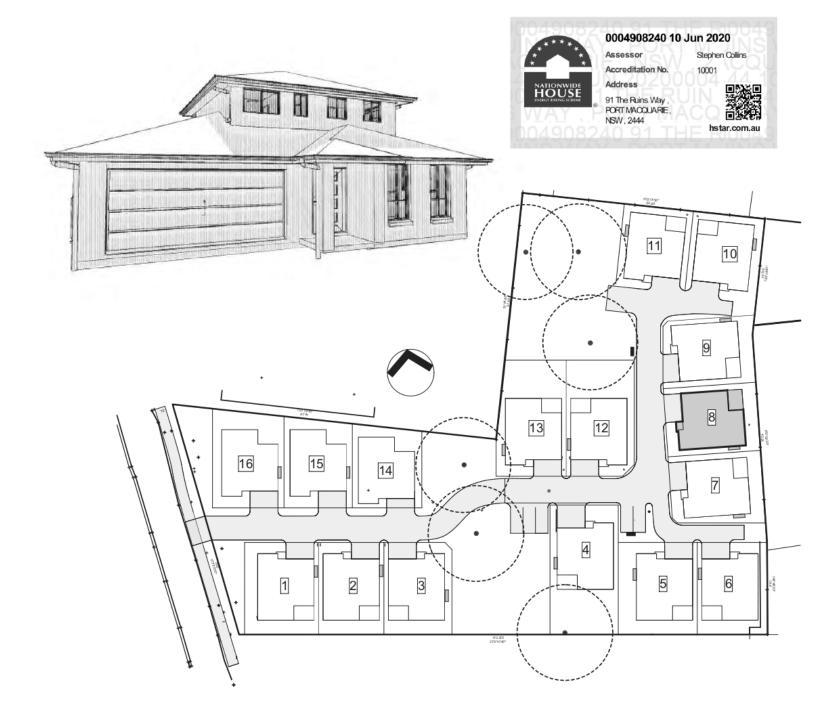
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  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

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## **GENERAL NOTES:**

1219811

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.

drawing title COVER SHEET

- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTIPMENT OF STATEMENT OF STATEMENT

DP:



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Lot 8, No. 91 Ruins Way Port Macquarie

2 STOREY

JOB ADDRESS

PROPOSAL

JOB No. SCALE DRAWN DATE 26/05/2020 WIND 'N2' SITE

10552

PAGE

1:100

RSU

SITE INFORMATION	
LOT NUMBER:	8
REGISTERED PLAN NUMBER SP	1219811
SUBURB	PORT MACQUARIE
LOCAL AUTHORITY	PORT MACQUARIE
PARISH	
COUNTY	
SITE AREA	276m <sup>2</sup>

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas (c) 50mm above paved or concrete areas with fall away from the building

Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area	Gutter Description
30 m2 40m2	115mm D Gutter
40m2 50m2	125mm D Gutter 150mm D Gutter
60m2	150mm D Gutter
OUTILE	roomin D Guller

Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

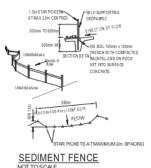
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

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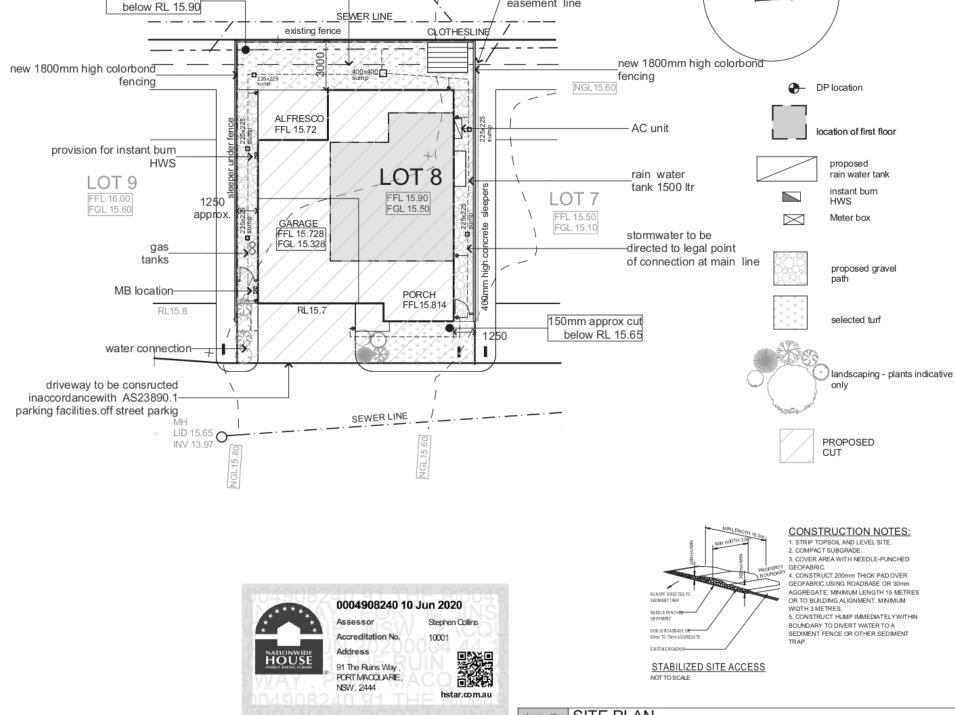
100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting



**CONSTRUCTION NOTES:** 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART. 3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED. 4. BACKFILL TRENCH OVER BASE OF FABRIC. 5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER. 6. JOIN SECTIONS OF FABRIC AT A SUPPORT PLAN POST WITH A 150mm OVERLAP



retaining ends at

easement line

EASEMENT 'A' 1.5m WIDE TO DRAIN-

400mm approx cut

WATER

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TOWNHOUSE 217 LHG

Lot 8, No.91 Ruins Way Port Macquarie

DP:

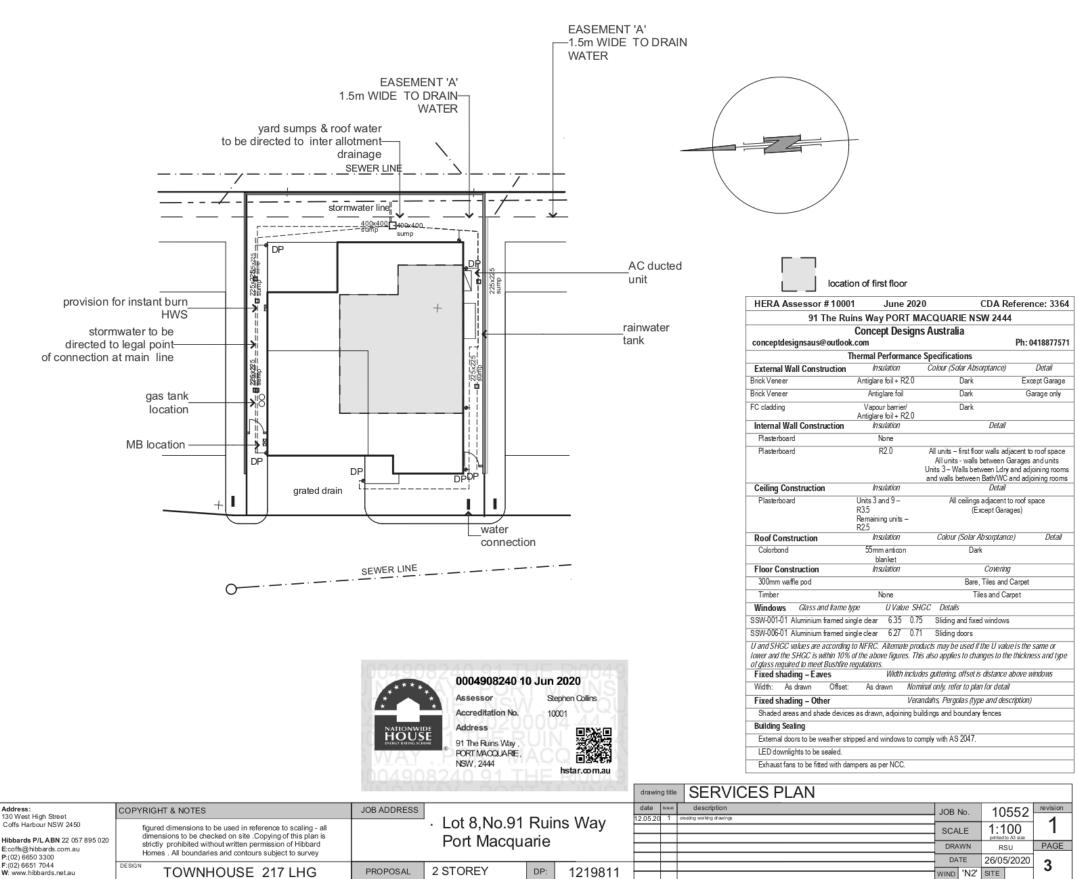
1219811

2 STOREY

JOB ADDRESS

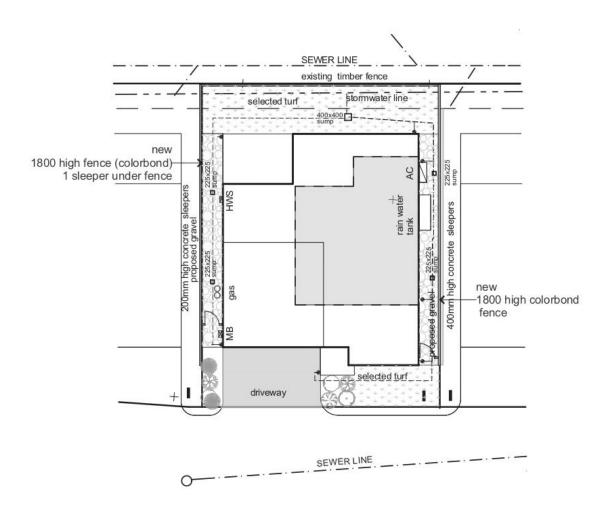
PROPOSAL

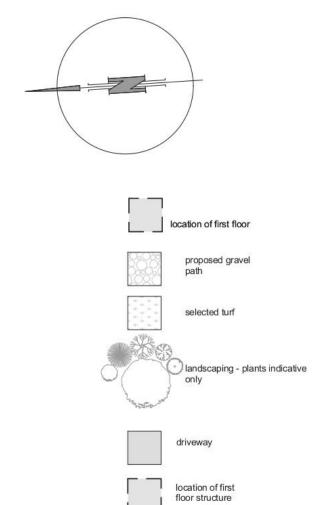
drawing title SITE PLAN 10552 JOB No. 1:200 SCALE DRAWN RSU PAGE DATE 26/05/2020 2 WIND 'N2' SITE



Note: Plant types will be selected from the following range by the nominated landscaper .Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers







JOB No.

SCALE

DRAWN

WIND 'N2' SITE

10552 revis

1:100

RSU DATE 26/05/2020



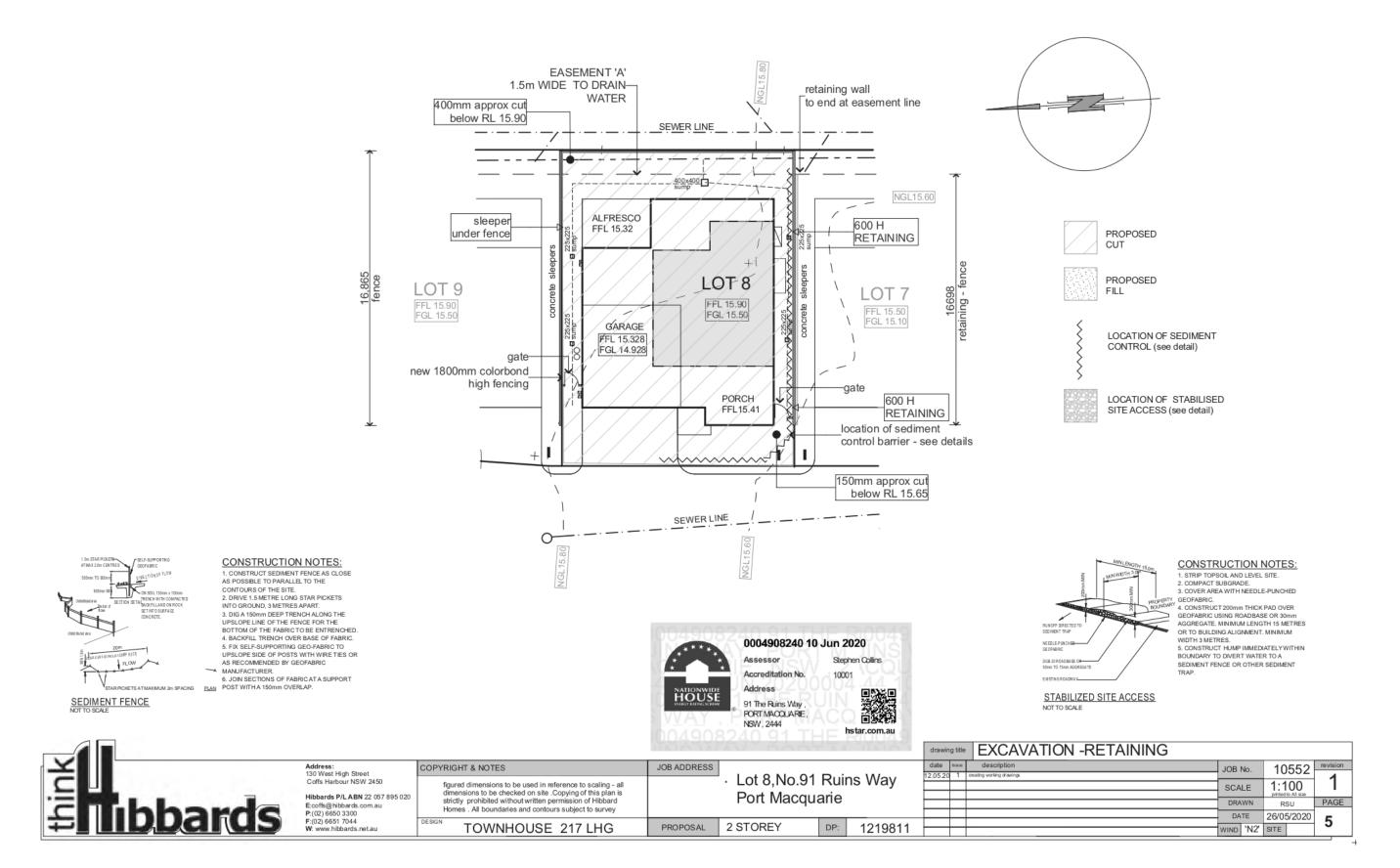
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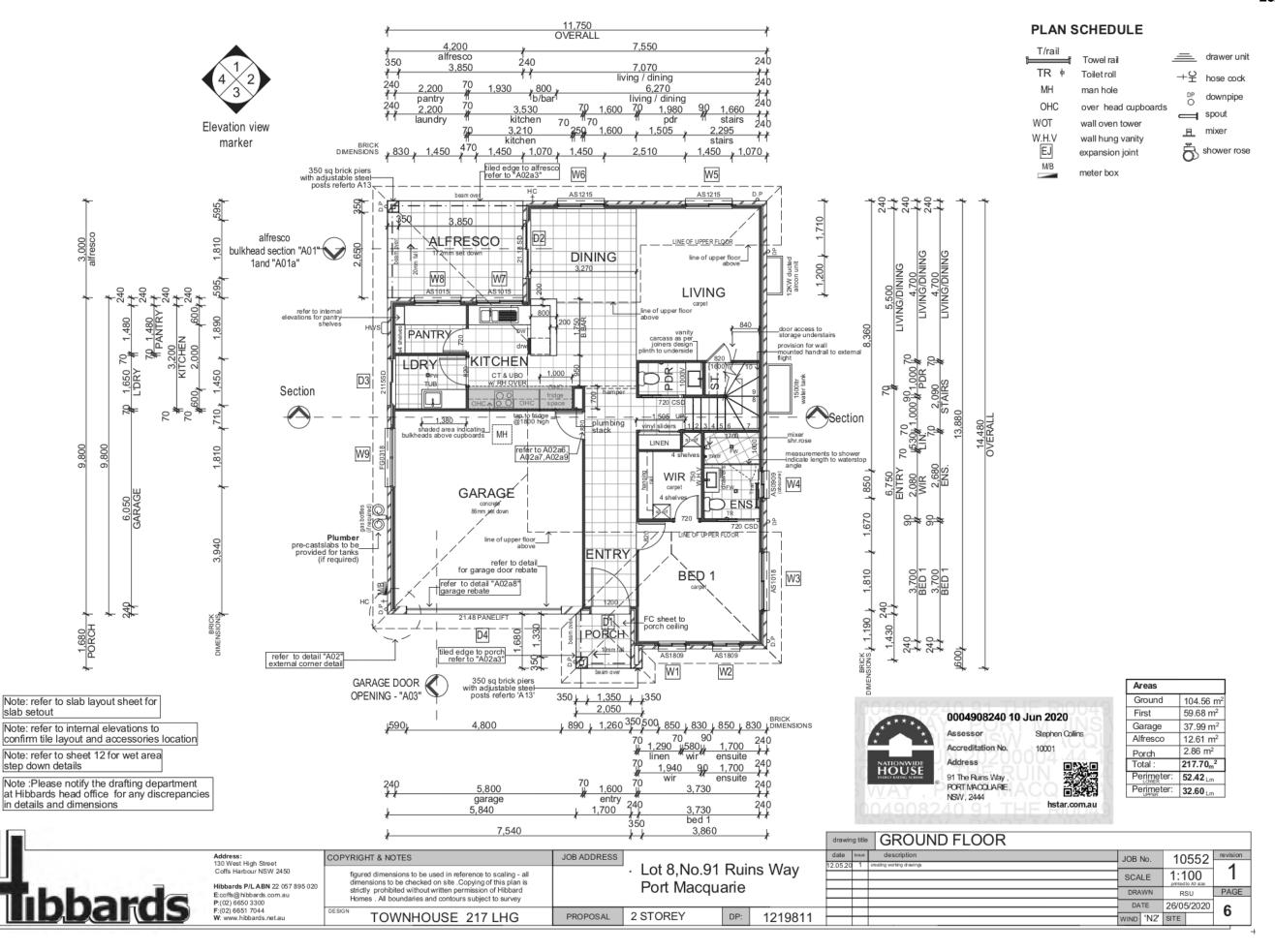
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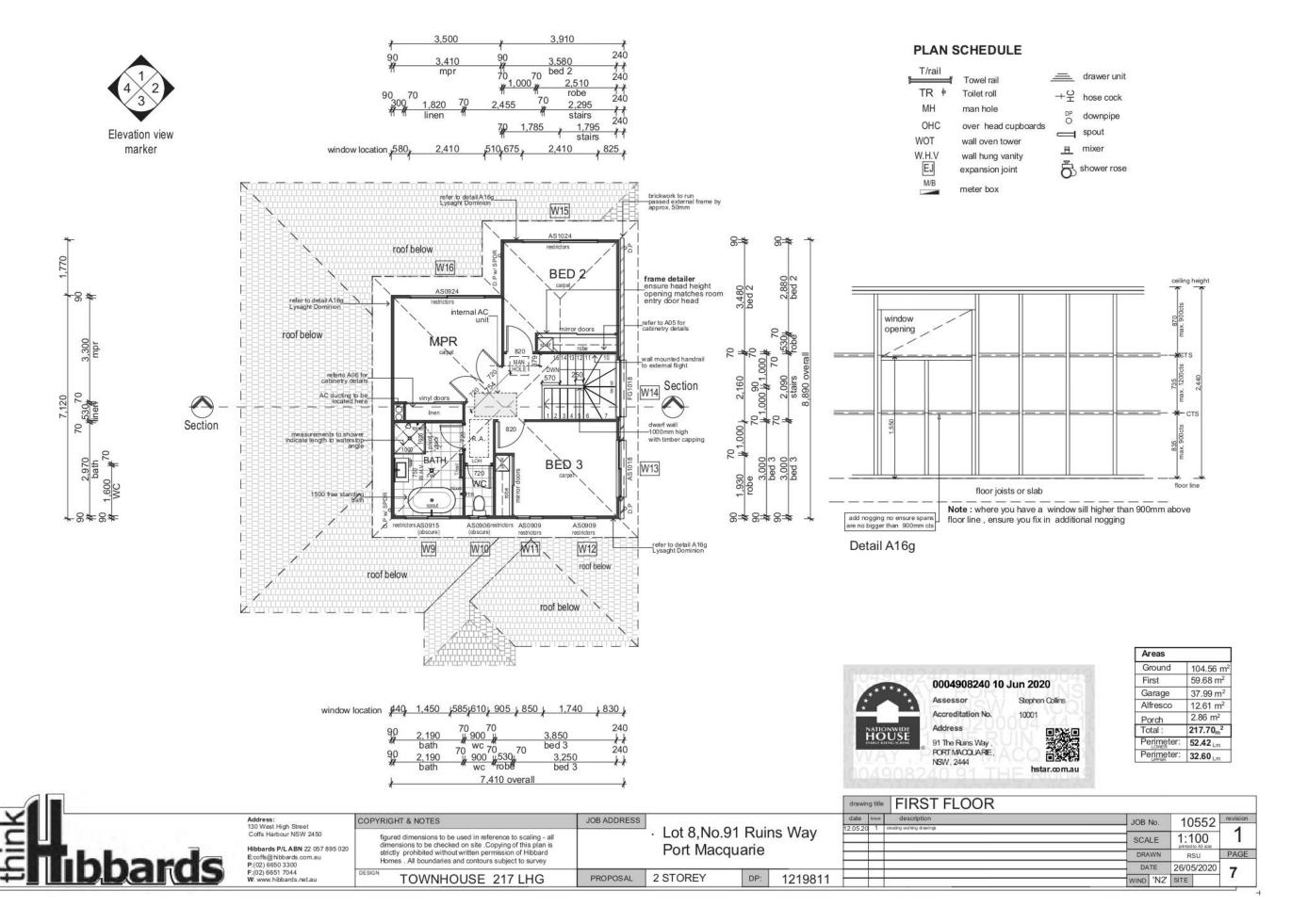
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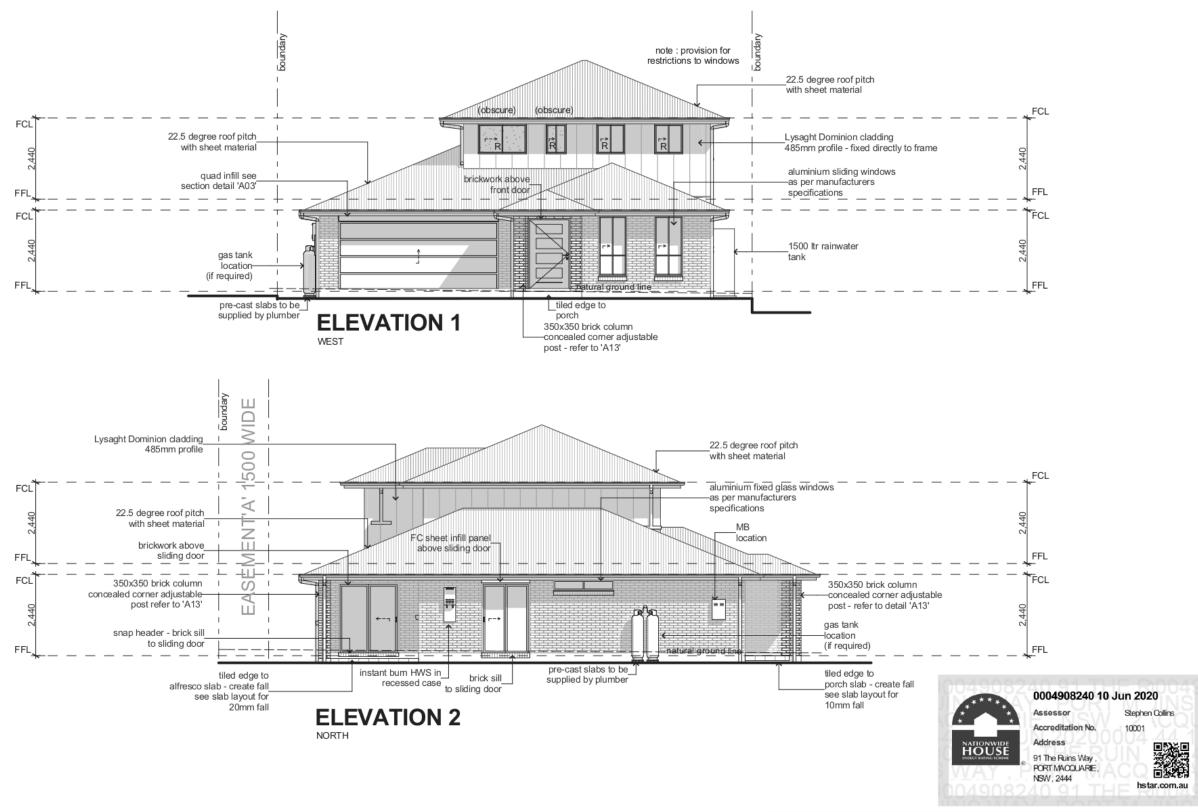
Lot 8, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

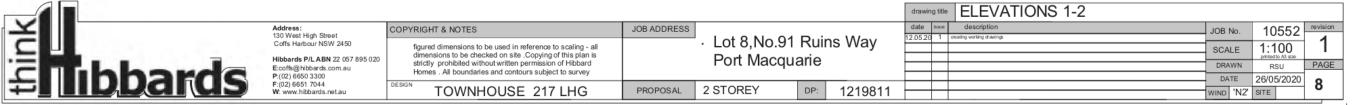
drawing title LANDSCAPE PLAN

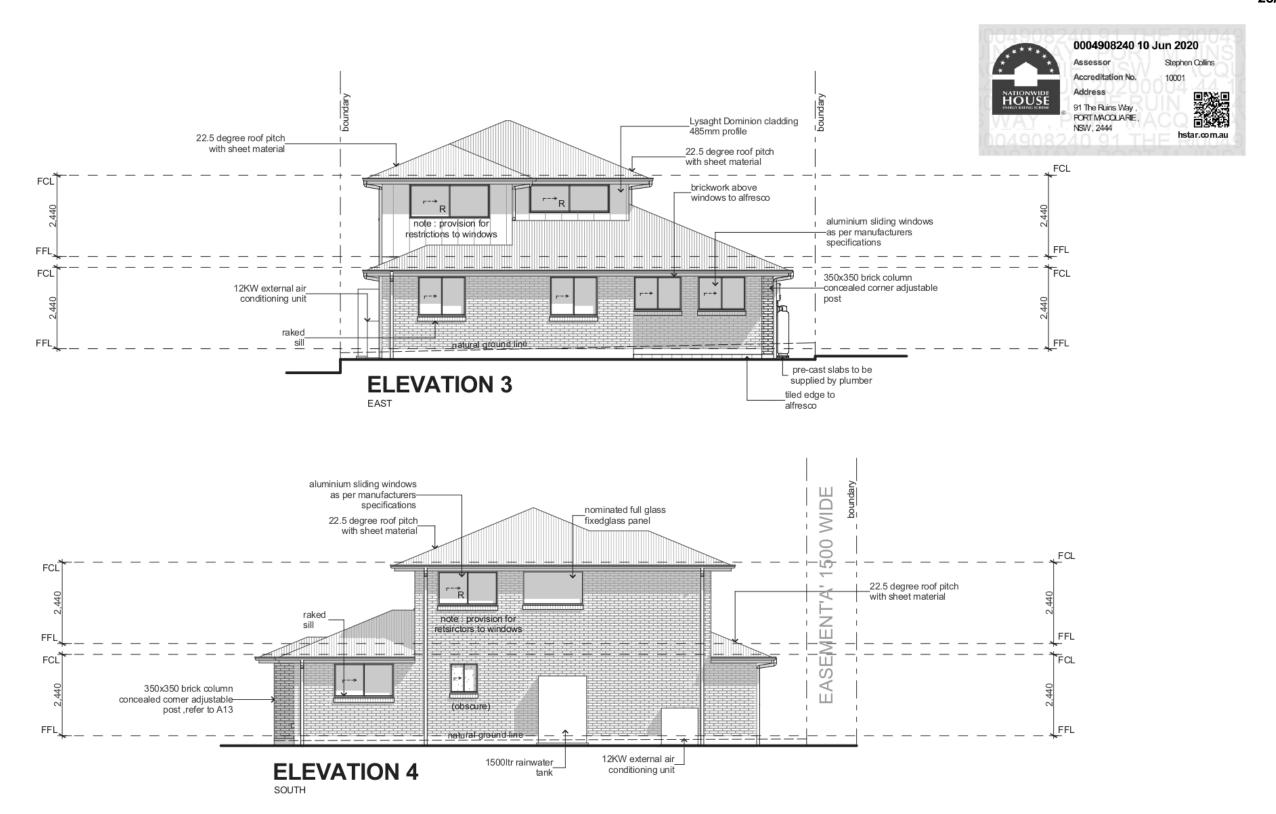


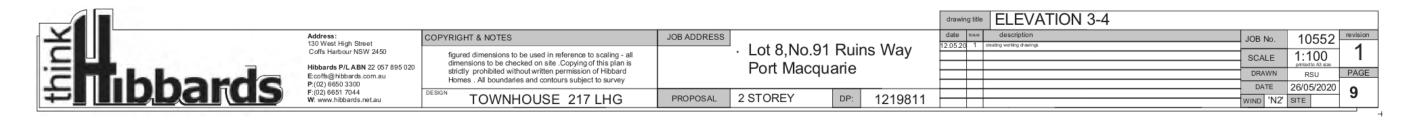


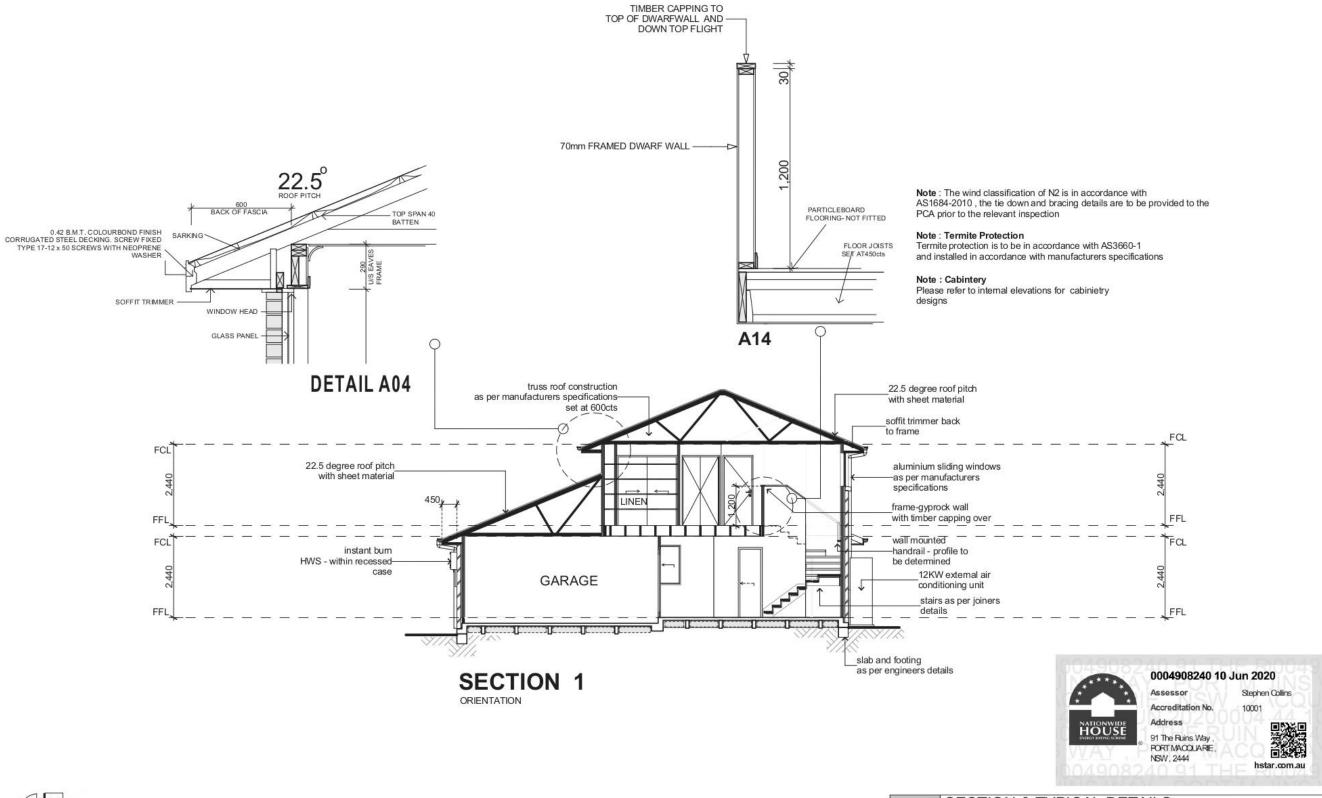


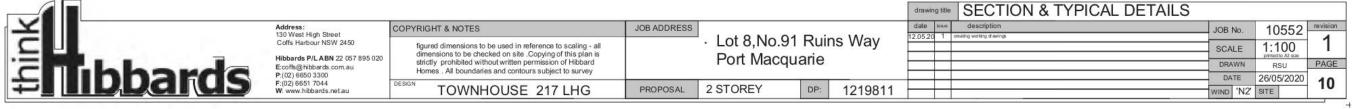












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SHEET	DESCRIPTION / TITLE
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26	articulation joints - expansion joints
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28	junction joint detail - Lysaght Dominion

#### BASIX REQUIREMENTS

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  3 STARS SHOWERHEADS.
  4 STARS WC, 4 STARS TAPS.
  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.
  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R SI INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.
  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CYE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

#### CONSTRUCTION NOTES

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

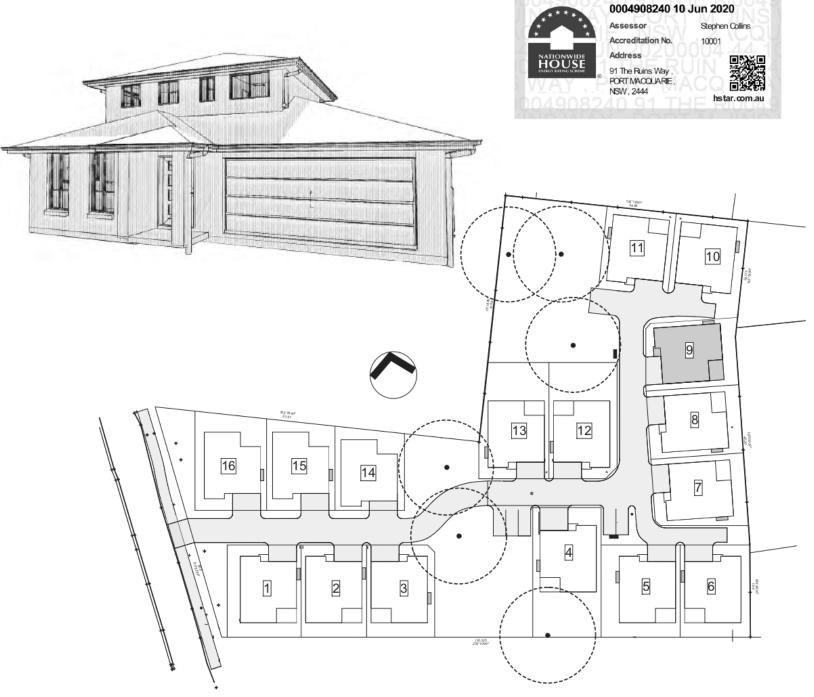
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## **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
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- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.

- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTIPMENT OF STATEMENT OF STATEMENT



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Lot 9, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811 drawing title COVER SHEET descriptio 10553 JOB No SCALE NTS DRAWN RSU PAGE DATE 26/05/2020 WIND 'N2' SITE

SITE INFORMATION					
LOT NUMBER:	9				
REGISTERED PLAN NUMBER SP	1219811				
SUBURB	PORT MACQUARIE				
LOCALAUTHORITY	PORT MACQUARIE				
PARISH					
COUNTY					
SITE AREA	266m <sup>2</sup>				

#### Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas
- (c) 50mm above paved or concrete areas with fall away from the building

#### Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

CatchinentArea	Odder Description
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

#### Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

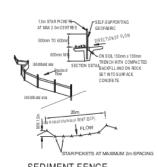
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting



## 1. CONSTRUCT SEDIMENT FENCE AS CLOSE

AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.

3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.

4. BACKFILL TRENCH OVER BASE OF FABRIC.

5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC. AS POSSIBLE TO PARALLEL TO THE AS RECOMMENDED BY GEOFABRIC

SEDIMENT FENCE

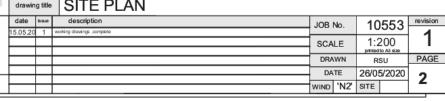


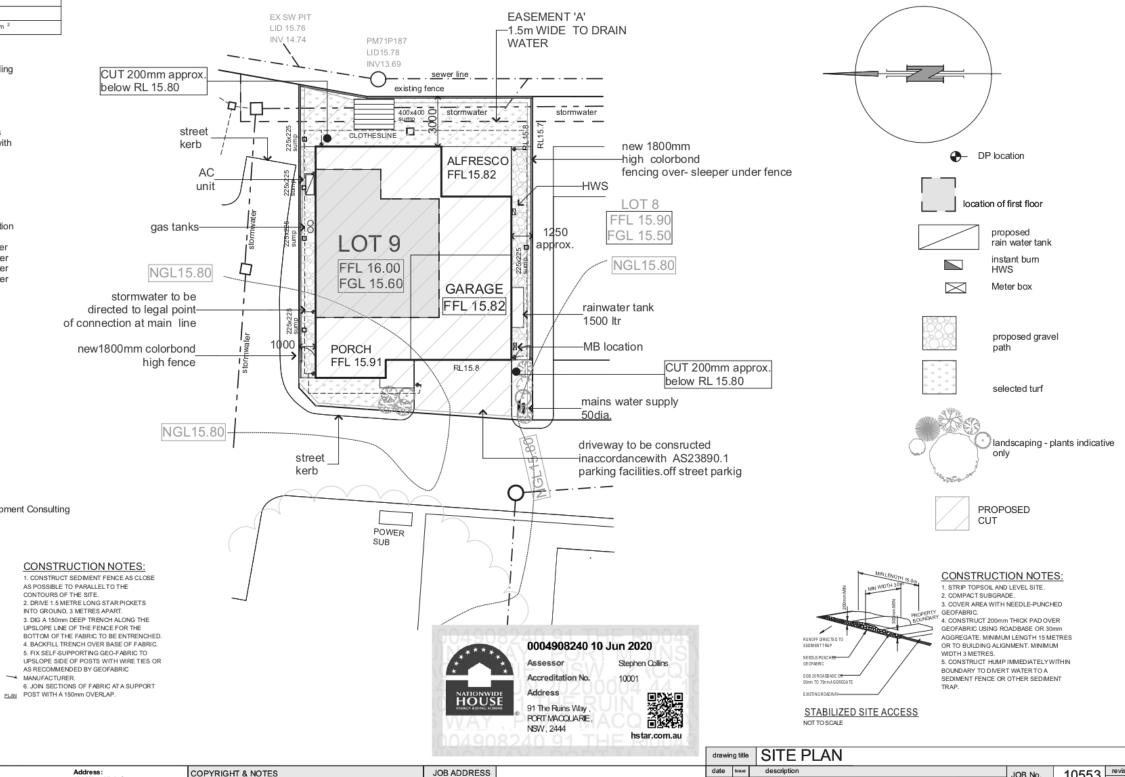


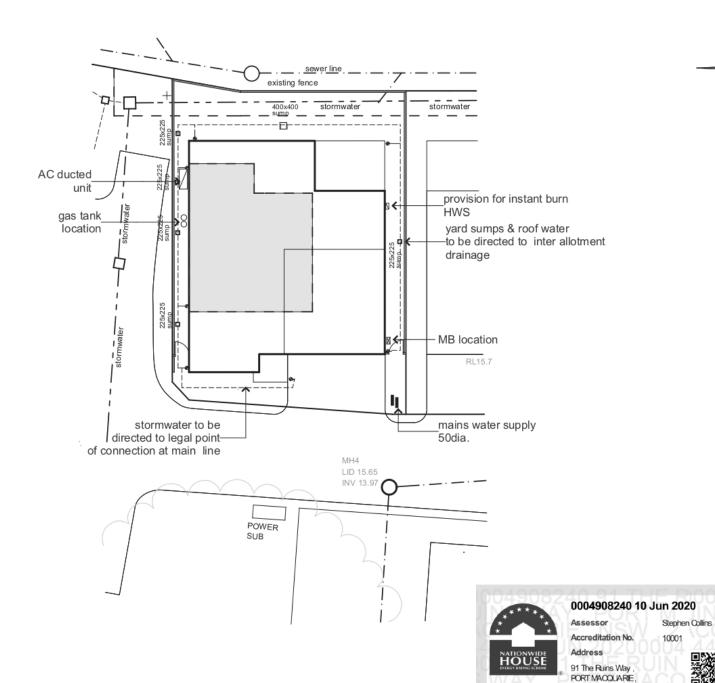
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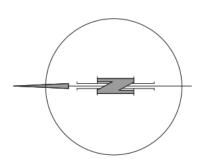
Lot 9, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

PROPOSAL











HERA Assessor # 1000			eference: 336	
91 The Ru		ACQUARIE NSW 244	4	
	Concept Design	s Australia		
conceptdesignsaus@outlook		- 101 -1	Ph: 041887757	
	hermal Performanc			
External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail	
Brick Veneer	Antiglare foil + R2.0	Dark	Except Garage	
Brick Veneer	Antiglare foil	Dark	Garage only	
FC cladding	Vapour barrier/	Dark		
Internal Wall Construction	Antiglare foil + R2.0 Insulation	Detail		
Plasterboard	None			
Plasterboard	R2.0	All units – first floor walls ad	iacent to roof space	
		All units - walls between (	arages and units	
		Units 3 – Walls between Ldry		
Ceiling Construction	Insulation	and walls between Bath/WC  Detail	and adjoining room	
Plasterboard	Units 3 and 9 –	All ceilings adjacent	to roof space	
T MOTOL DOGLA	R3.5	(Except Garages)		
	Remaining units — R2 5			
Roof Construction	Insulation	Colour (Solar Absorptano	ce) Detail	
Colorbond	55mm anticon	Dark		
-1	blanket			
Floor Construction	Insulation	Covering		
300mm waffle pod		Bare, Tiles and	-	
Timber	None	Tiles and Ca	irpet	
Windows Glass and frame ty				
SSW-001-01 Aluminium framed sin	-			
SSW-006-01 Aluminium framed si	-			
U and SHGC values are according lower and the SHGC is within 10%				
of glass required to meet Bushfire I		dos auttorina, offsat is distance	ahawa windawa	
Fixed shading – Eaves Width: As drawn Offset		des guttering, offset is distance		
		ninal only, refer to plan for detail		
Fixed shading – Other		andahs, Pergolas (type and des	сприоп)	
Shaded areas and shade device	s as drawn, adjoining b	uldings and boundary fences		
Building Sealing				
External doors to be weather stri	ipped and windows to co	omply with AS 2047.		
LED downlights to be sealed.				
Exhaust fans to be fitted with da	mpers as per NCC			



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DESIGN

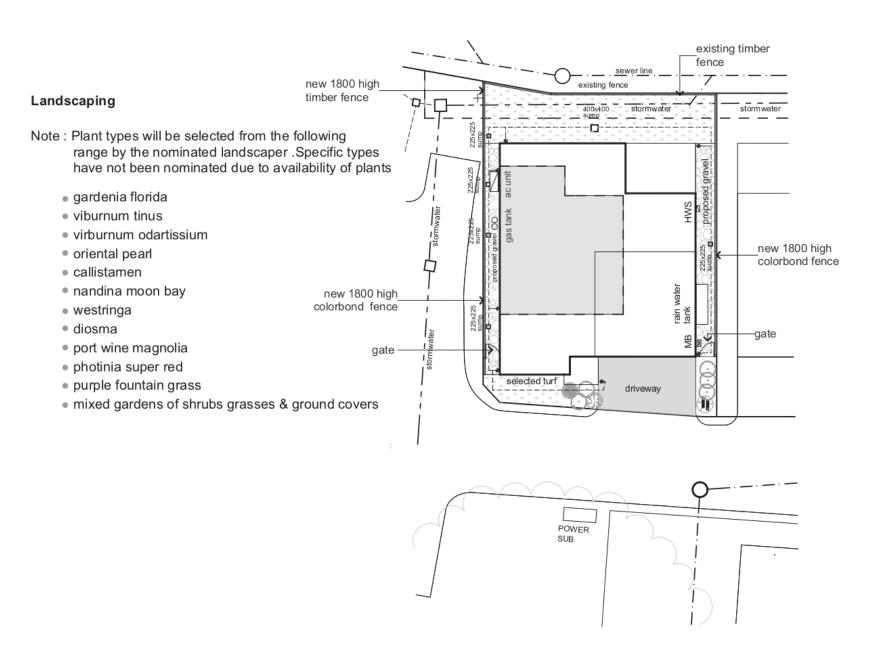
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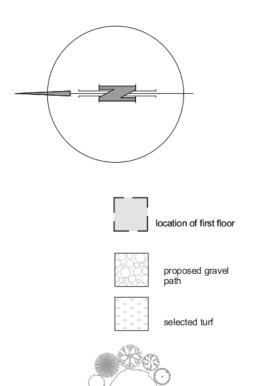
PROPOSAL 2

Lot 9, No.91 Ruins Way
 Port Macquarie

2 STOREY

DP: 1219811

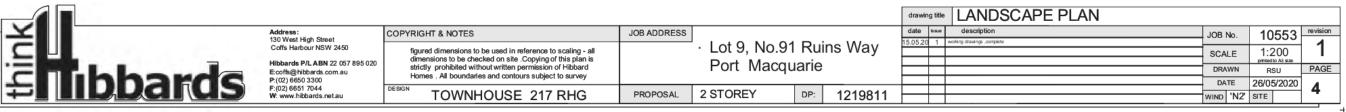


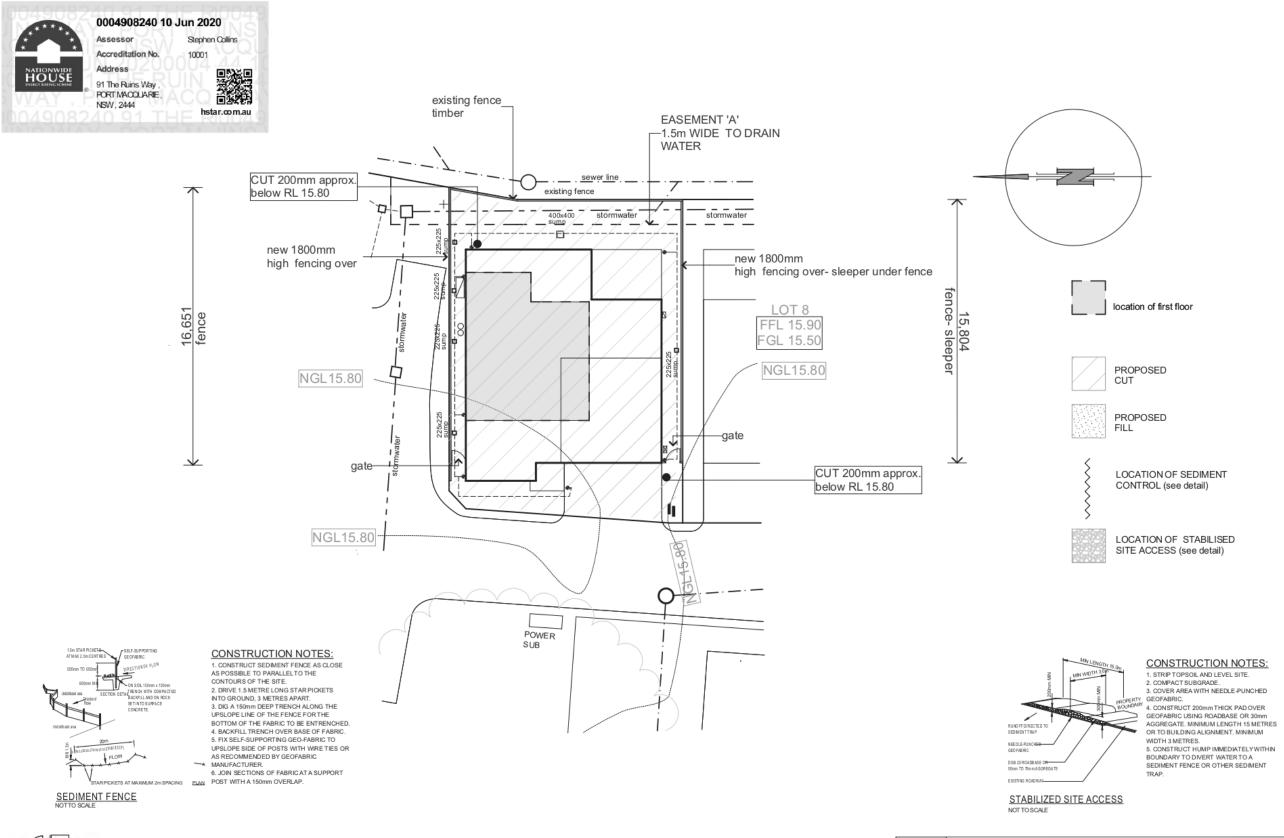




only location of first floor structure

landscaping - plants indicative





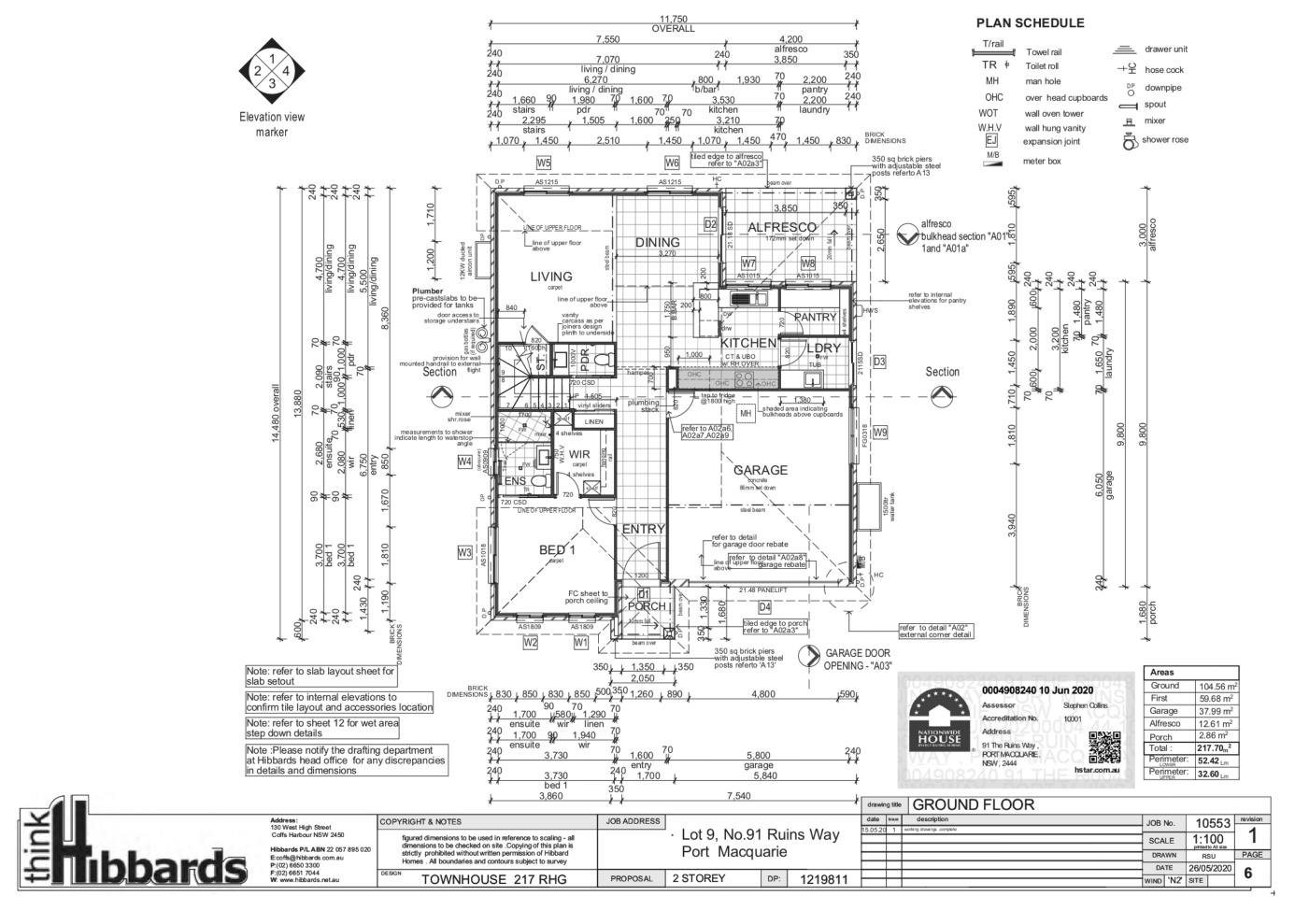


130 West High Street Coffs Harbour NSW 2450

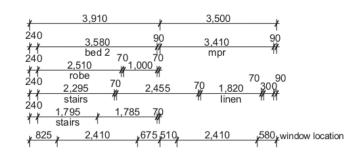
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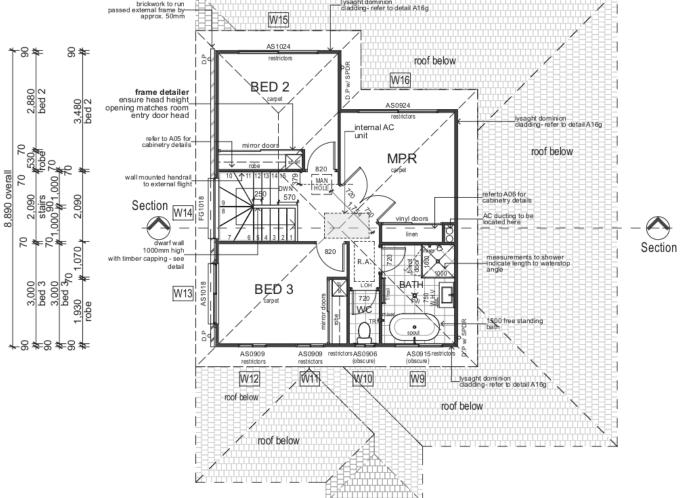
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TOWNHOUSE 217 RHG	PROPOSAL	2 STOREY	DP:	1219811			

	drawing title		EXCAVATION - RETAINING																					
	date	issue	description	JOB	JOB No.		553	revision																
	15.05.20	1	working drawings ,complete		SCALE		SCALE 1:200 printed to A3 size				-													1
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				WIND	'N2'	SITE																		





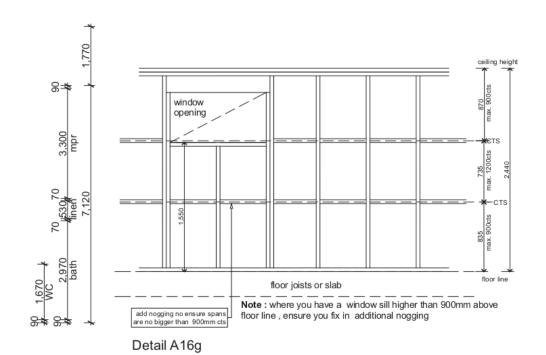




<u>∤</u> 830 ∤	1,740 } 8	50 <sub>j</sub> . 905 <sub>j</sub> 610j58	5, 1,450	440	window location	
240 ** 240	3,850 bed 3	70 70 1 900 1	2,190 bath	90		
240 ╁╁	3,250 bed 3	70 70 WC 70 1530 J. 900 J. Tobe wc	2,190 bath	90		
*		7,410 overall		+		

#### **PLAN SCHEDULE**

T/rail	Towelrail	_	drawer unit
TR +	Toilet roll	+오	hose cock
MH	man hole	DP	downpipe
OHC	over head cupboards	0	spout
WOT	wall oven tower	_	
W.H.V	wall hung vanity	丑	mixer
EJ	expansion joint	$\bar{\Box}$	shower rose
M/B	meter box		





Areas	
Ground	104.56 m <sup>2</sup>
First	59.68 m <sup>2</sup>
Garage	37.99 m <sup>2</sup>
Alfresco	12.61 m <sup>2</sup>
Porch	2.86 m <sup>2</sup>
Total:	217.70 <sub>m</sub> <sup>2</sup>
Perimeter:	52.42 Lm
Perimeter:	32.60 Lm



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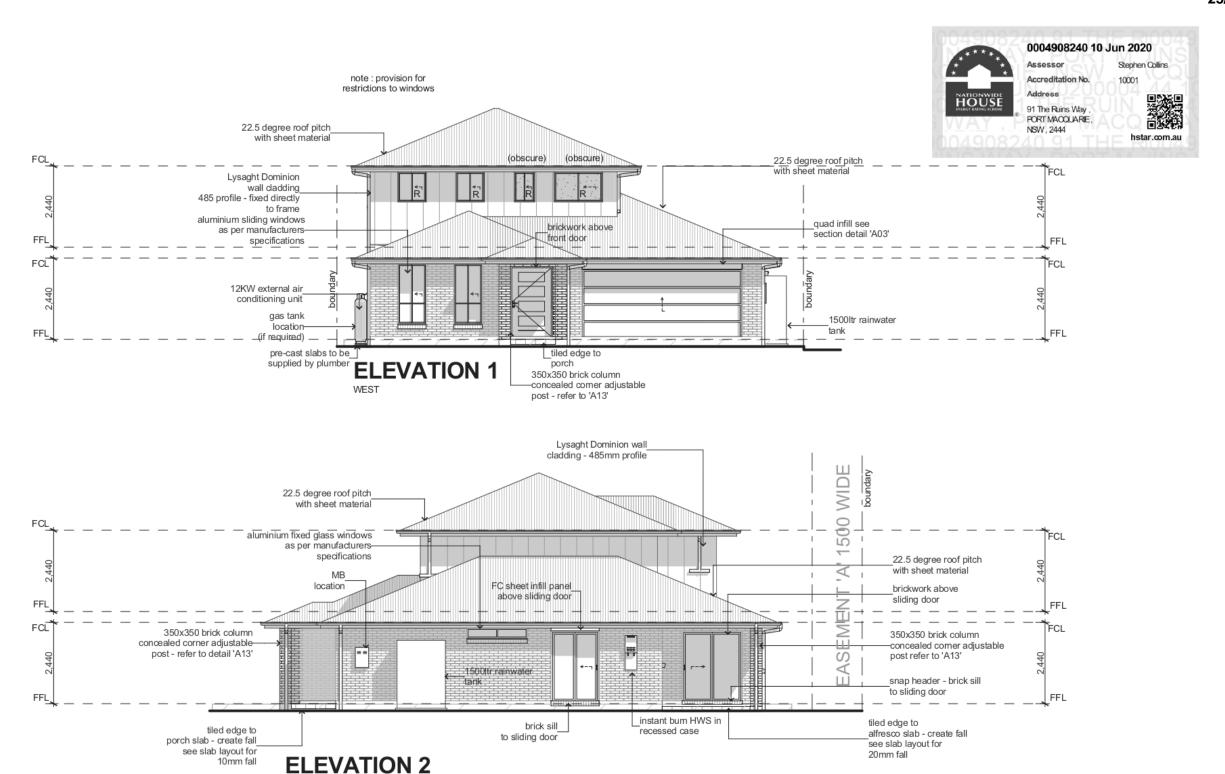
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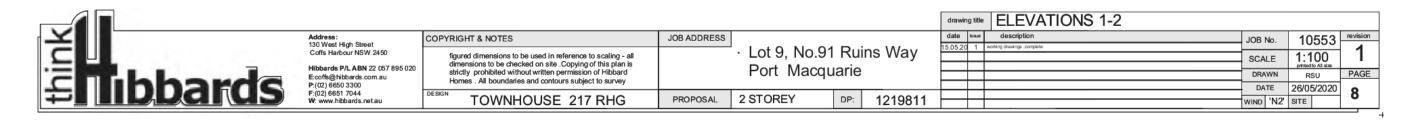
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TOWNHOUSE 217 RHG

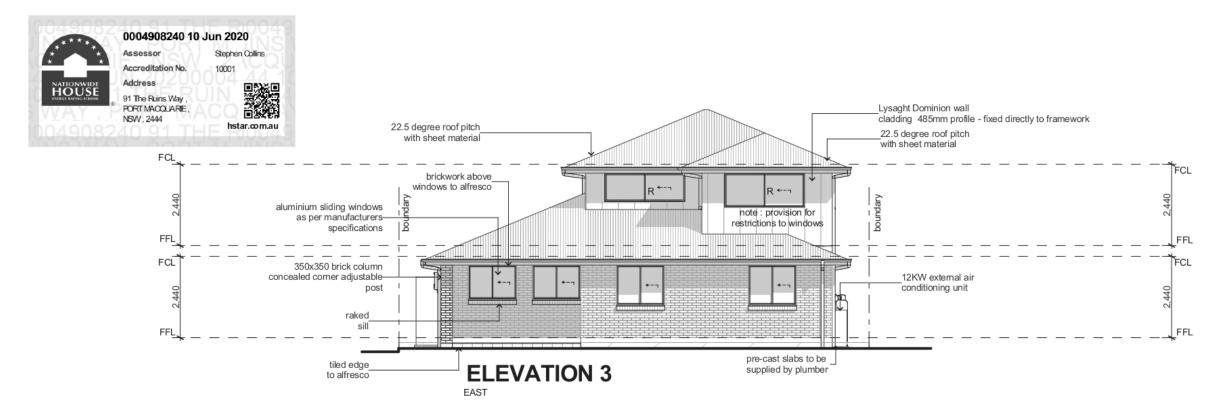
- Lot 9, No.91 Ruins Way
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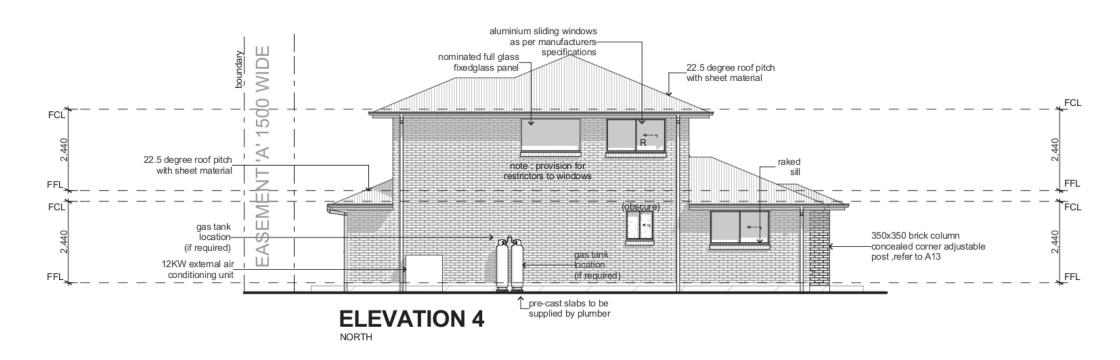
PROPOSAL 2 STOREY DP: 1219811



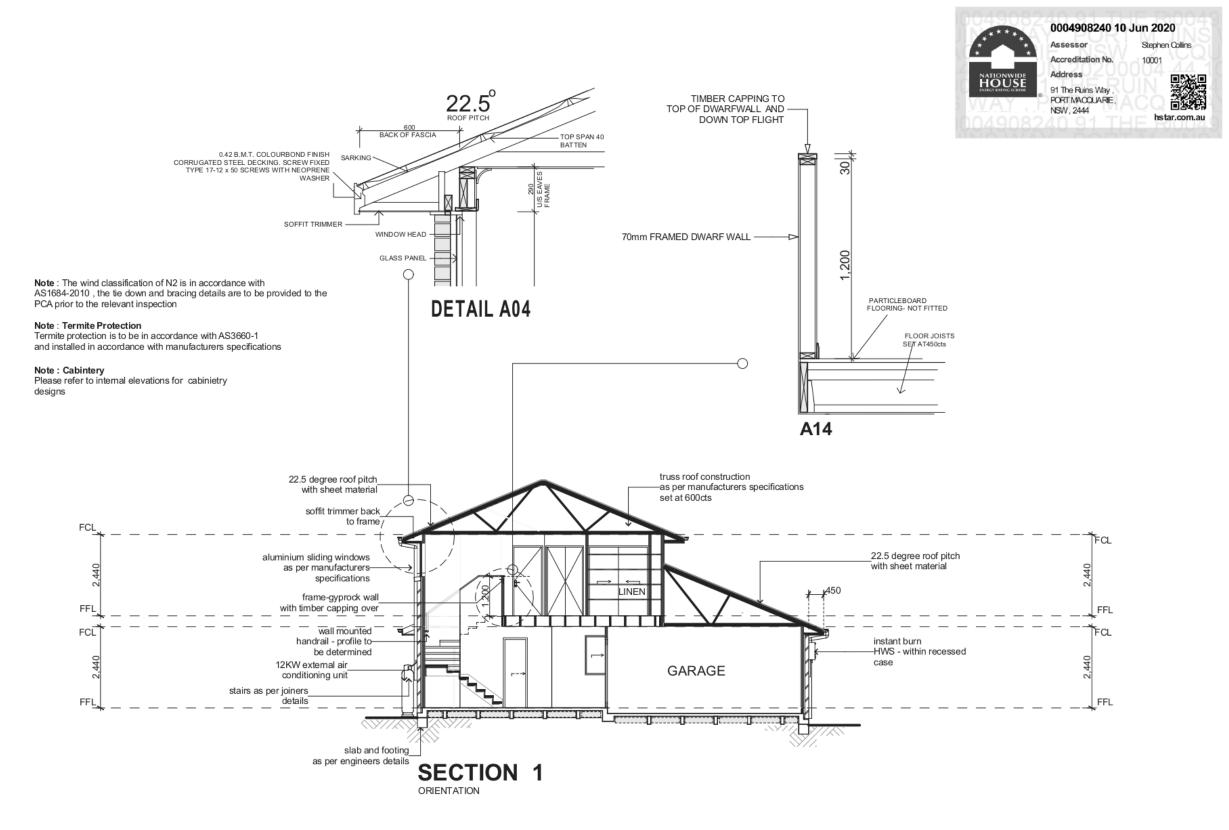


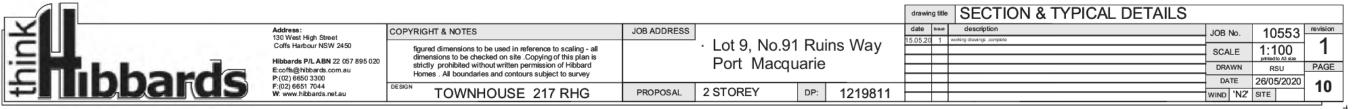
SOUTH





								drawing title	ELEVATION 3-4			
×		Address: 130 West High Street	COPYRIGHT & NOTES	JOB ADDRESS				date issue	description	JOB No.	10553	revision
Elibbards	Coffs Harbour NSW 2450	figured dimensions to be used in reference to scaling - all	d on site. Copying of this plan is			ns Way	15.05.20 1	working drawlings ,complete	SCALE	1:100	1	
	Hibbards P/L ABN 22 057 895 020	dimensions to be checked on site .Copying of this plan is strictly prohibited without written permission of Hibbard							DRAWN	printed to A3 size	PAGE	
	E:coffs@hibbards.com.au P:(02) 6650 3300	Homes . All boundaries and contours subject to survey								26/05/2020		
	F:(02) 6651 7044 W: www.hibbards.net.au	TOWNHOUSE 217 RHG	PROPOSAL	2 STOREY	DP:	1219811			WIND 'N2'		9	
												<del></del> ,





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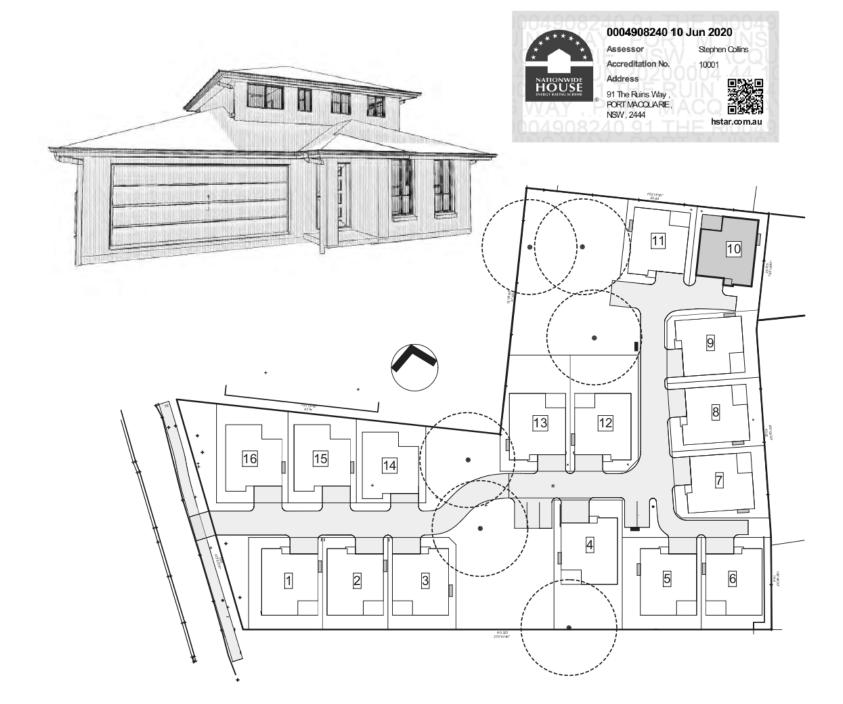
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- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTE
  CUT AND FILL TO BUILDER'S DISCRETION.
  NOMINATED WATER TO TANK. OVERFLOW TO STREET.
  BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.
  WIND E.G. "N3"
  SITE E.G. "P"
  SOIL E.G. "M"



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TOWNHOUSE 217 LHG

JOB ADDRESS Lot 10, No.91 Ruins Way Port Macquarie

2 STOREY PROPOSAL DP: 1219811

drawing title		COVER SHEET								
date	issue	description	JOB No.		o. 10554		revision			
			SCA	SCALE				1:100		
			DRAWN		DRAWN		R		PAGE	
			DATE		ATE 26/05/2020		1			
			WIND	'N2'	SITE		'			

SITE INFORMATION					
LOT NUMBER:	10				
REGISTERED PLAN NUMBER SP	1219811				
SUBURB	PORT MACQUARIE				
LOCAL AUTHORITY	PORT MACQUARIE				
PARISH					
COUNTY					
SITE AREA	252m <sup>2</sup>				



Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas (c) 50mm above paved or concrete areas with fall away from the building

#### Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area	Gutter Description
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

#### Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

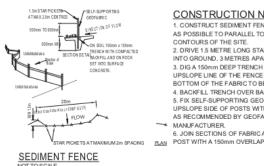
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting

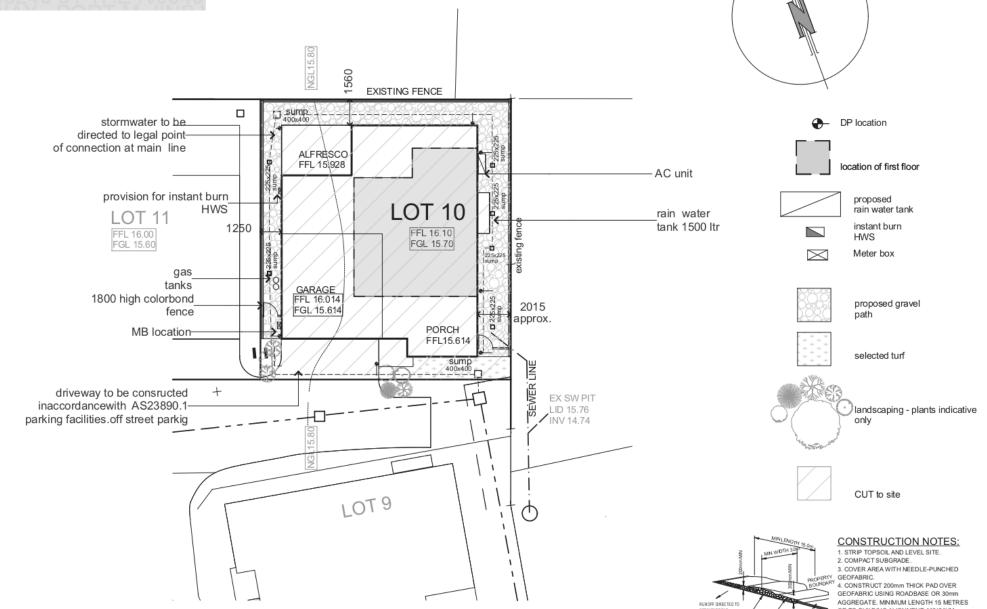


**CONSTRUCTION NOTES:** 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART. IN O GROUND, SMEIRES APART.

3. DIG A 150mm DEEP TRENCH ALONG THE
UPSLOPE LINE OF THE FENCE FOR THE
BOTTOM OF THE FABRIC TO BE ENTRENCHED.

4. BACKFILL TRENCH OVER BASE OF FABRIC. BACK-ILL TRENOT OVER BASE OF FABRIC.
 FIX SELF-SUPPORTING GEO-FABRIC TO
 UPSLOPE SIDE OF POSTS WITH WIRE TIES OR
 AS RECOMMENDED BY GEOFABRIC
 MANUFACTURER.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT





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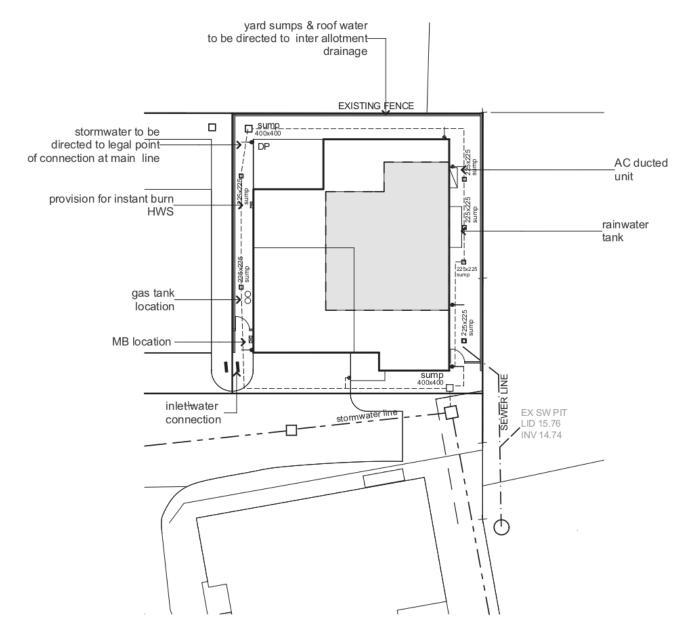
	drawin	g title	SITE PLAN					
	date	issue	description	JOB	No.	10	554	revision
				SCA	LE		200 to A3 size	1
				DRA	WN	R	su	PAGE
				. DA	TE	26/0	5/2020	2
				WIND	'N2'	SITE		_

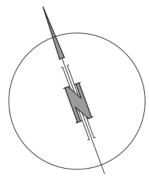
STABILIZED SITE ACCESS

OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.

5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT









HERA Assessor # 1000	1 June 202	20 CDA R	eference: 3364		
91 The Ruins Way PORT MACQUARIE NSW 2444					
	Concept Design	ıs Australia			
conceptdesignsaus@outloo			Ph: 041887757		
	Thermal Performanc				
External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail		
Brick Veneer	Antiglare foil + R2.0	Dark	Except Garage		
Brick Veneer	Antiglare foil	Dark	Garage only		
FC cladding	Vapour barrier/ Antiglare foil + R2.0	Dark			
Internal Wall Construction	Insulation	Detail			
Plasterboard	None				
Plasterboard	R2.0	All units – first floor walls ad All units - walls between G Units 3 – Walls between Ldry and walls between Bath/WC	Sarages and units and adjoining roon		
Ceiling Construction	Insulation	Detail			
Plasterboard	Units 3 and 9 — All ceilings adjacent to roof space R3.5 (Except Garages) Remaining units — R2.5				
Roof Construction	Insulation	Colour (Solar Absorptanc	e) Detail		
Colorband	55mm anticon blanket	Dark			
Floor Construction	Insulation	Covering	7		
300mm waffle pod		Bare, Tiles and	Carpet		
Timber	None	Tiles and Ca	rpet		
Windows Glass and frame t	ype U Value Si	HGC Details			
SSW-001-01 Aluminium framed si	ingle clear 6.35 0.7	5 Sliding and fixed windows			
SSW-006-01 Aluminium framed si	ingle dear 6.27 0.7	1 Sliding doors			
U and SHGC values are according lower and the SHGC is within 10% of glass required to meet Bushfire	of the above figures. The regulations.	is also applies to changes to the	e thickness and typ		
Fixed shading – Eaves		des guttering, offset is distance i			
Width: As drawn Offset:		ninal only, refer to plan for detail			
Fixed shading – Other		andahs, Pergolas (type and desi	cnption)		
Shaded areas and shade device	s as drawn, adjoining b	uildings and boundary fences			
Building Sealing					
External doors to be weather str	ipped and windows to c	omply with AS 2047.			
LED downlights to be sealed.					
Exhaust fans to be fitted with da	mpers as per NCC.				



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DESIGN TOWNHOUSE 217 LHG

JOB ADDRESS

Lot 10, No.91 Ruins Way Port Macquarie

Proposal 2 STOREY

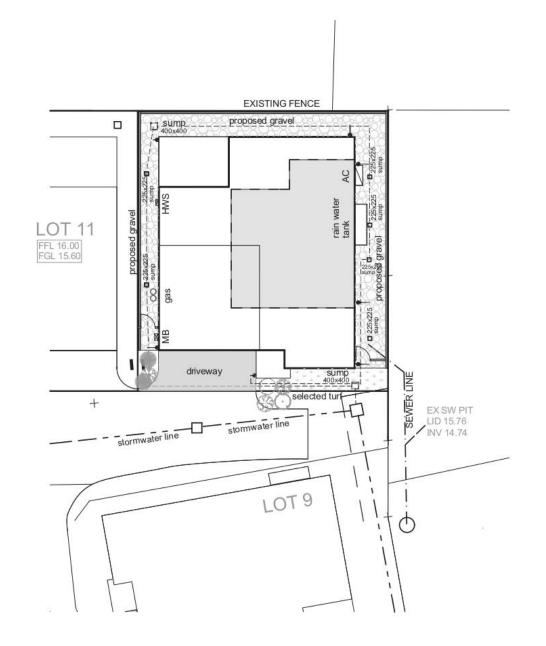
DP: 1219811

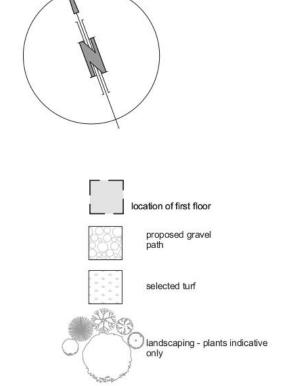
	drawin	frawing title SERVICES PLAN						
	date	issue	description	JOB	No.	10	554	revision
				SCA	LE		00 to A3 size	1
				DRA	WN	R	su	PAGE
_				DA	TE	26/0	5/2020	2
				WIND	'N2'	SITE		3

## Landscaping

Note: Plant types will be selected from the following range by the nominated landscaper .Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers





driveway



JOB No.

SCALE

DRAWN

WIND 'N2' SITE

10554 rev

1:100

RSU DATE 26/05/2020



Address: 130 West High Street Coffs Harbour NSW 2450

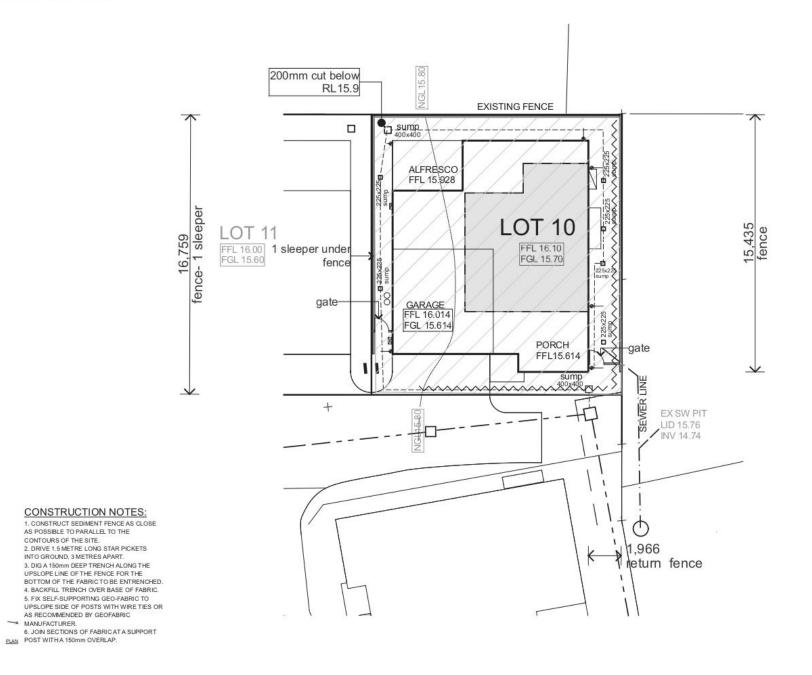
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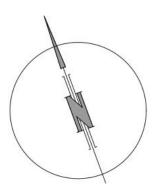
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Lot 10, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

drawing title LANDSCAPE PLAN









PROPOSED

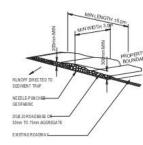
PROPOSED

FILL

LOCATION OF SEDIMENT CONTROL (see detail)



LOCATION OF STABILISED SITE ACCESS (see detail)



#### CONSTRUCTION NOTES:

- STRIP TOPSOIL AND LEVEL SITE.
   COMPACT SUBGRADE.
   COVER AREA WITH NEEDLE-PUNCHED. GEOFABRIC.
- 4. CONSTRUCT 200mm THICK PAD OVER GEOFABRIC USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
- WIDTH 3 METERS.

  5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT

STABILIZED SITE ACCESS



SEDIMENT FENCE

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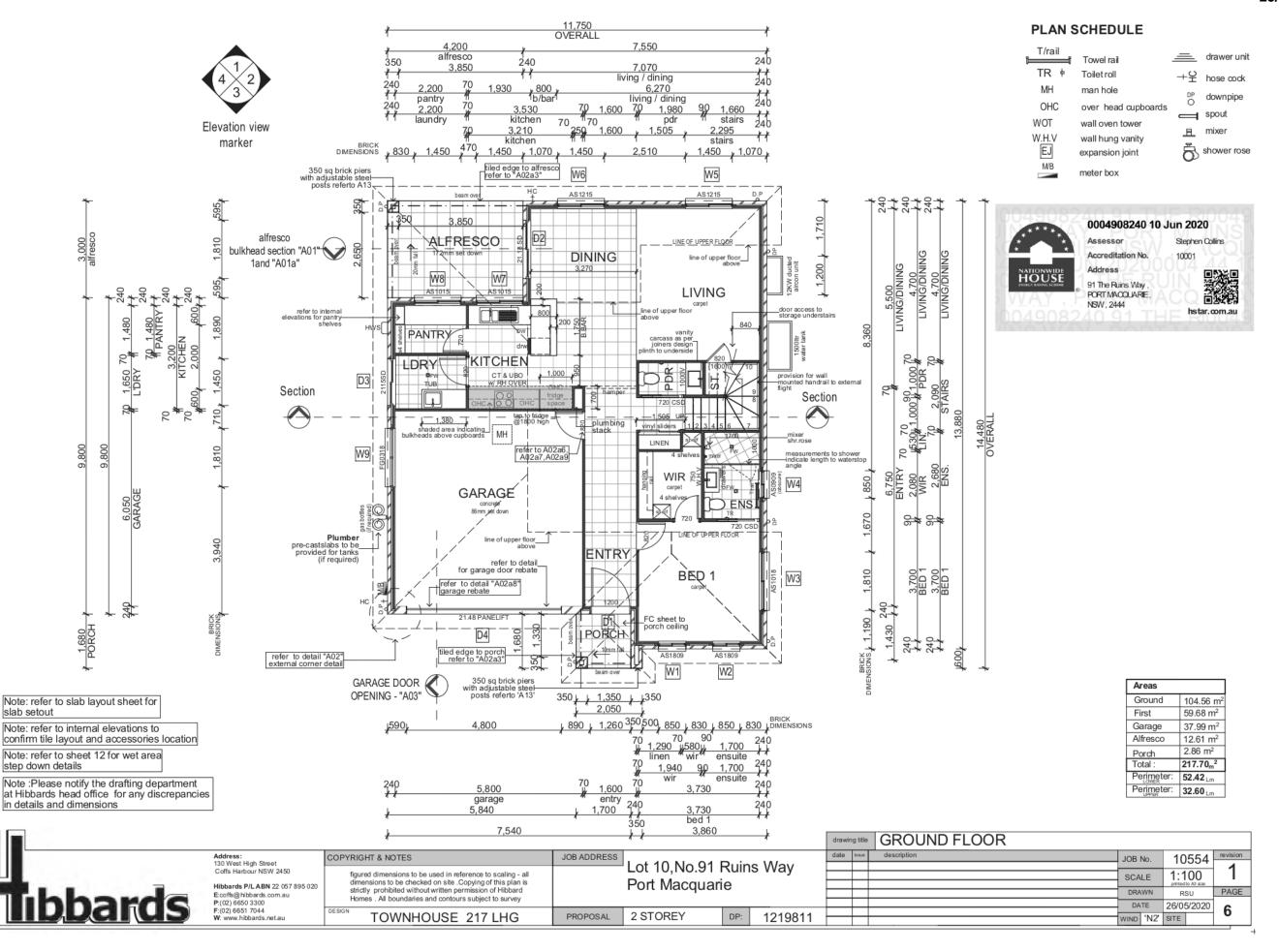
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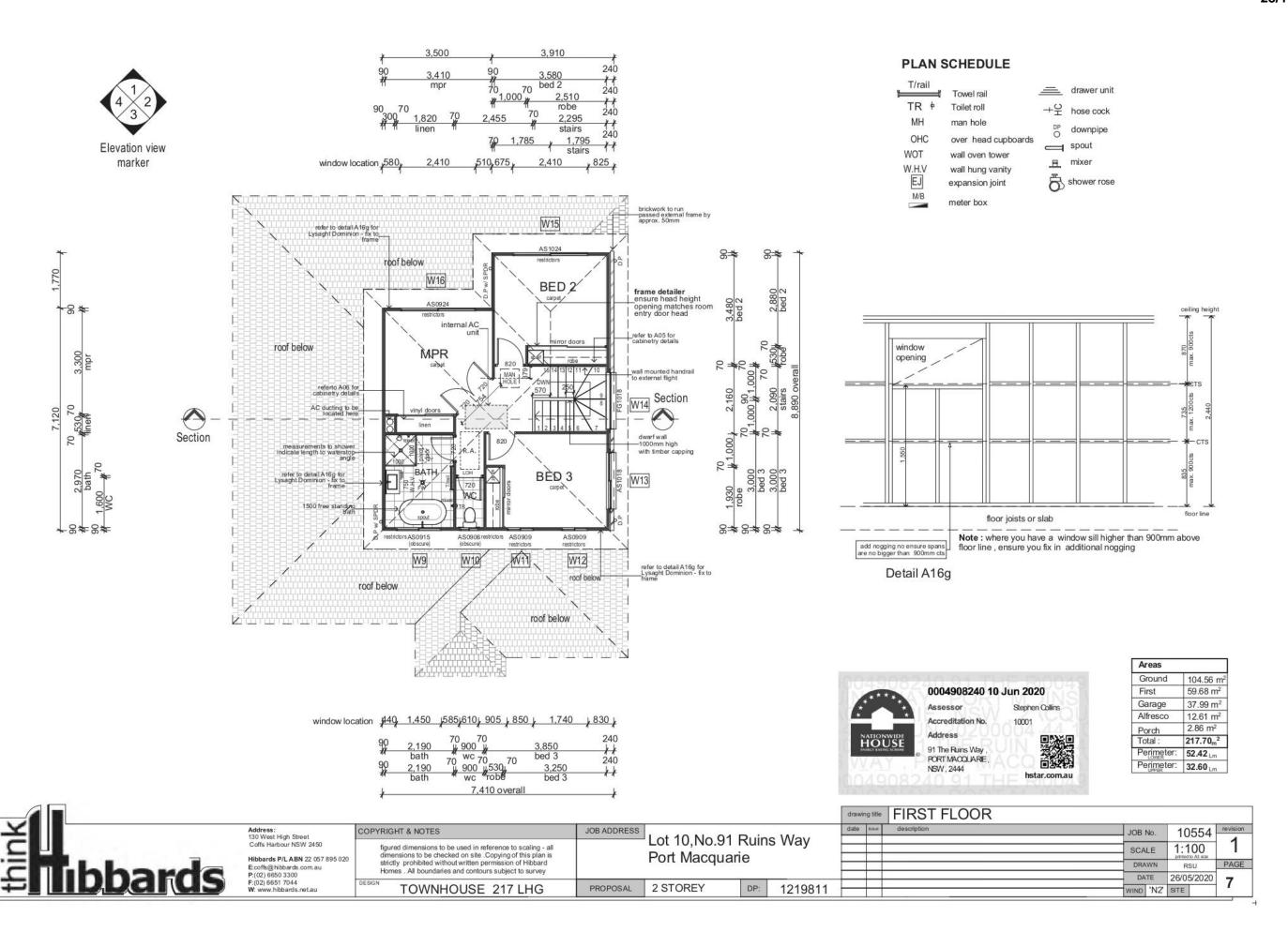
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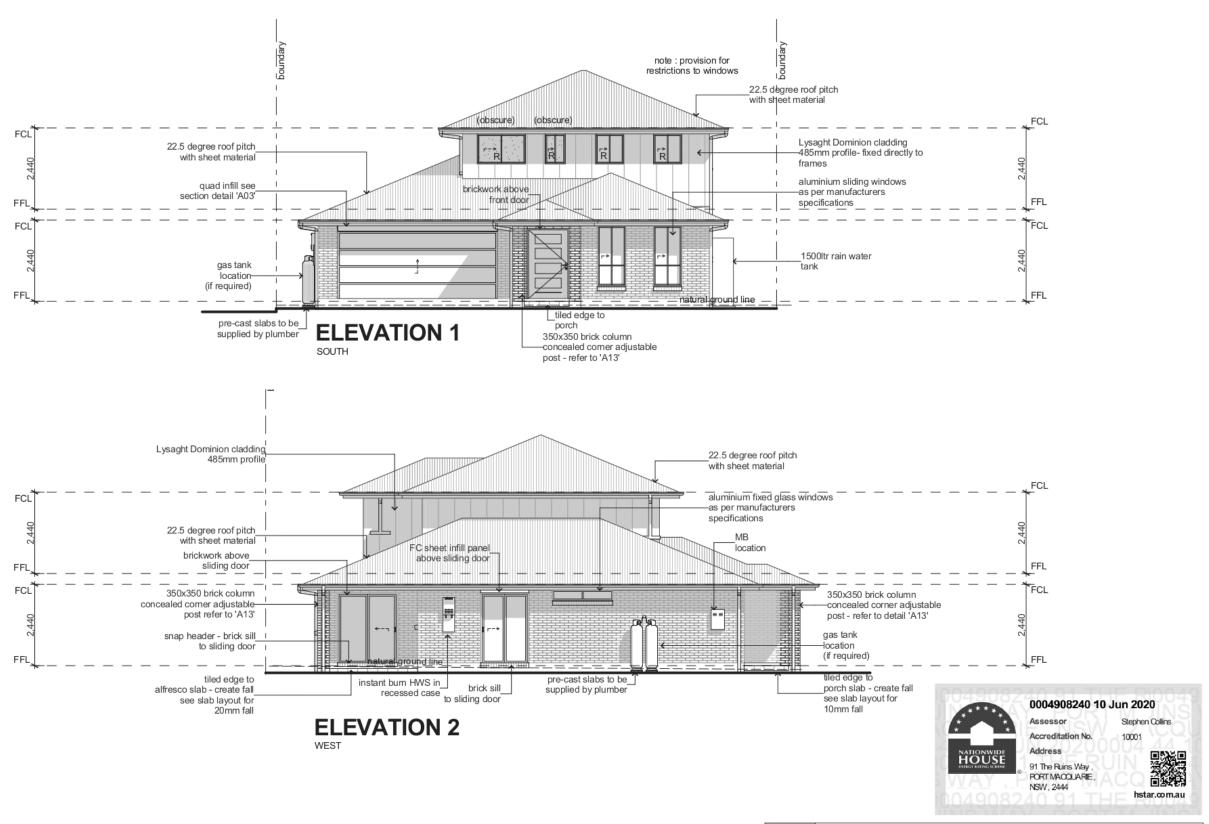
2 STOREY

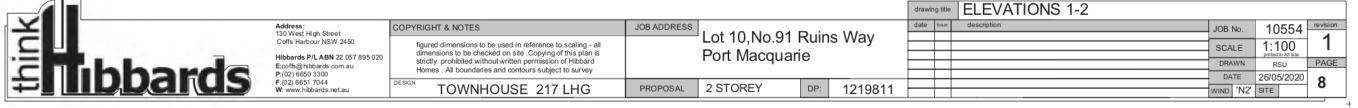
PROPOSAL

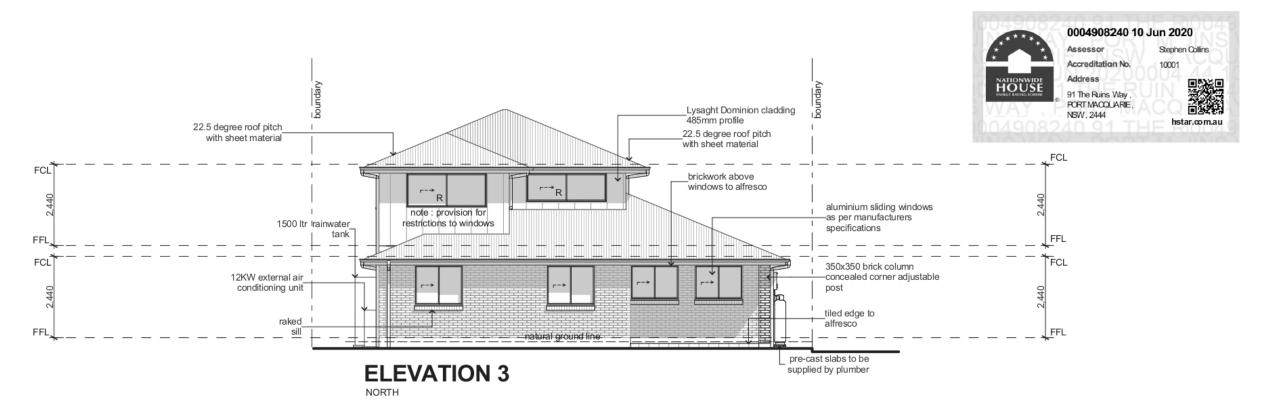
drawing title EXCAVATION -RETAINING 10554 revision JOB No. SCALE 1:100 DRAWN PAGE RSU DATE 26/05/2020 5 WIND 'N2' SITE

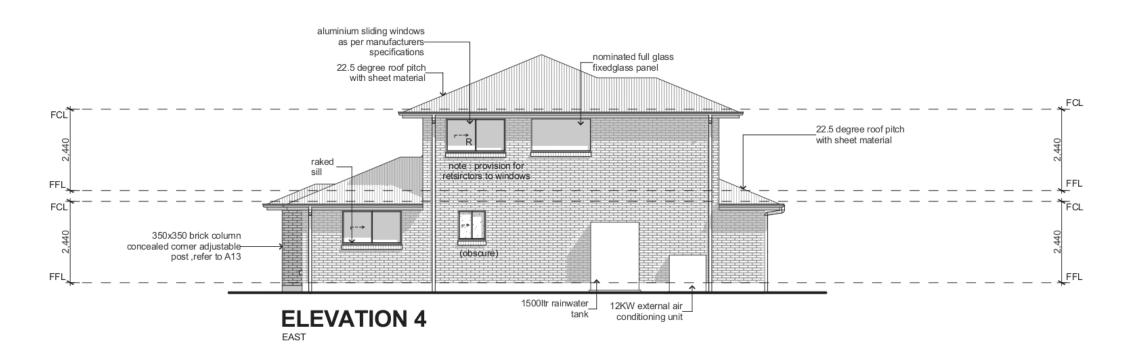


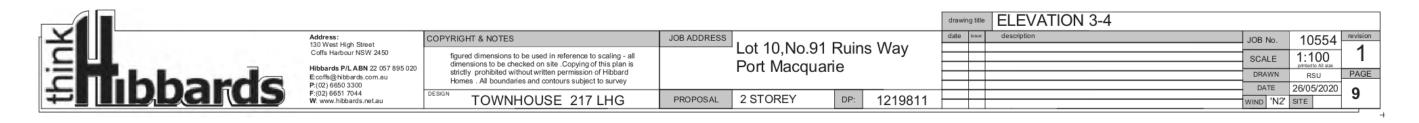


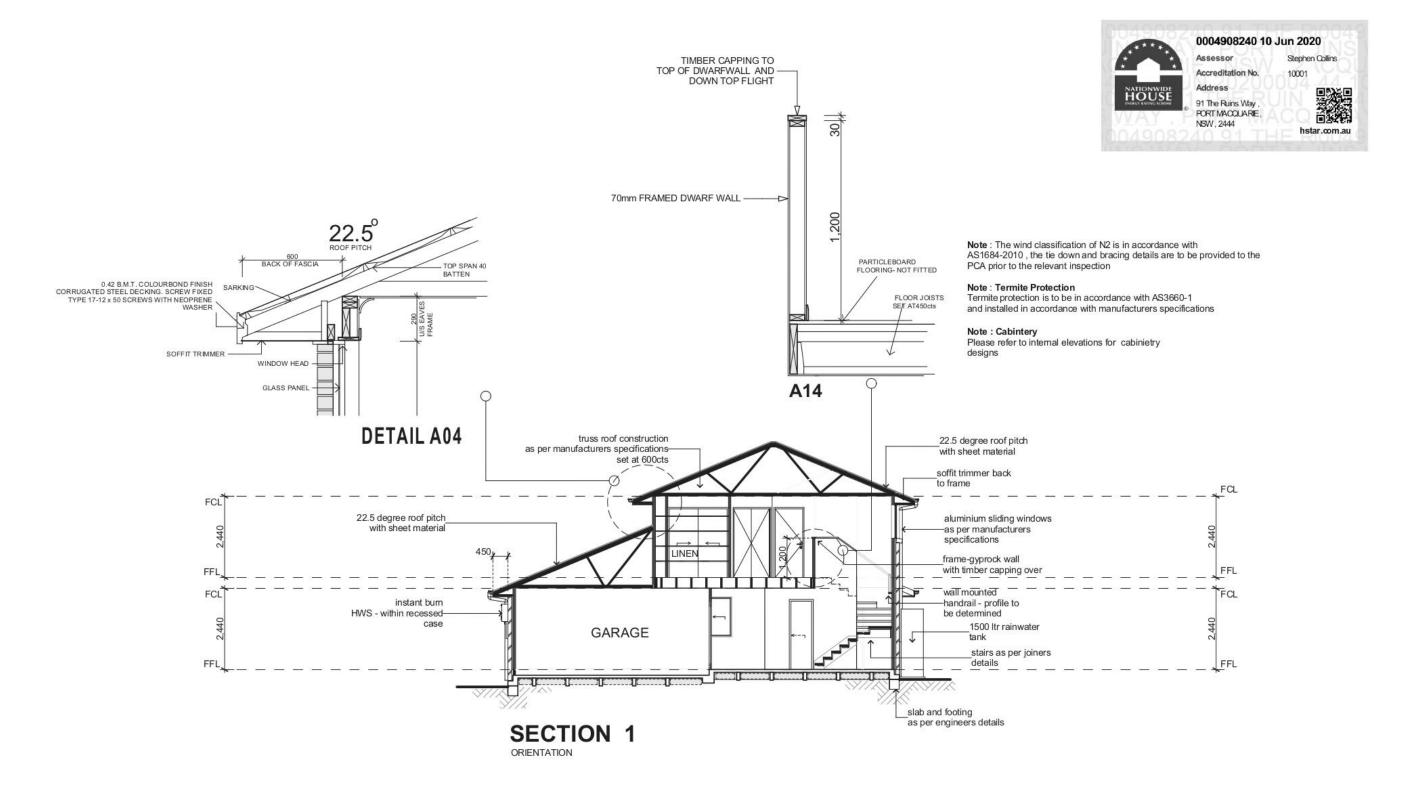


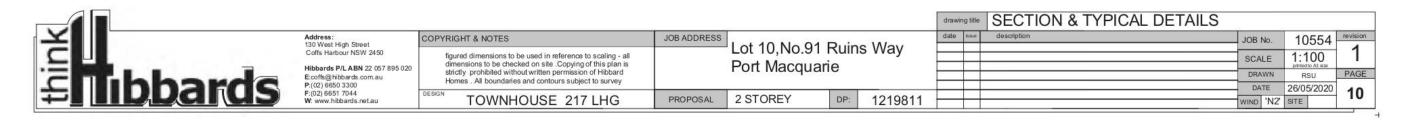












# DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
2	site plan
3	services plan
4	landscape plan
6	excavation + retaining walls
7	ground floor
8	first floor
9	elevations 1-2
10	elevation 3-4
11	section & typical detail
12	slab plan - penetrations- rebates
13	floor joists layout (indicative only) - refer to framers details
14	electrical layout
15	kitchen / laundryinternal elevations
16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
21	bracing details - first floor
22	A13- adjustable steel posts
23	Alfresco beam and sliding door section details
24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

#### BASIX REQUIREMENTS

- 3-STARS SHOWERHEADS.
   4-STARS WC, 4-STARS TAPS
- 4-STARS WC, 4-STARS TAPS.

  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.

  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.

  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CVE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

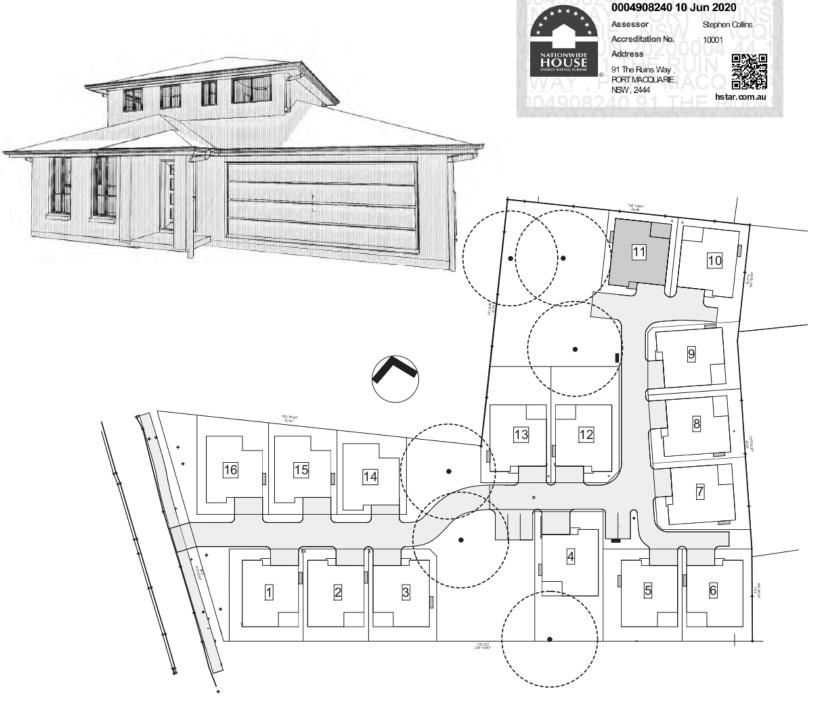
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

  WET AREAS ARE TO BE SEALED ATTHE INTERSECTION OF THE FLOOR AND WALLAND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEA!
- POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
   ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTE
  CUT AND FILL TO BUILDER'S DISCRETION.
  NOMINATED WATER TO TANK. OVERFLOW TO STREET.
  BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.
  WIND E.G. "N3"
  SITE E.G. "P"
  SOIL E.G. "M"



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Lot 11, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811 drawing title COVER SHEET descriptio 10555 JOB No NTS SCALE. DRAWN RSU PAGE DATE 26/05/2020 WIND 'N2' SITE

SITE INFORMATION					
LOT NUMBER:	11				
REGISTERED PLAN NUMBER SP	1219811				
SUBURB	PORT MACQUARIE				
LOCALAUTHORITY	PORT MACQUARIE				
PARISH					
COUNTY					
SITE AREA	243m²				

Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas
- (c) 50mm above paved or concrete areas with fall away from the building

Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area	Gutter Description
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

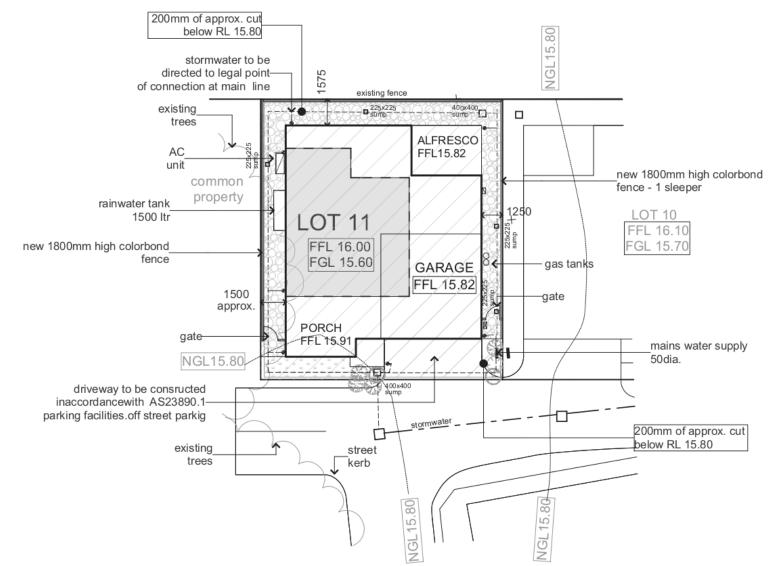
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

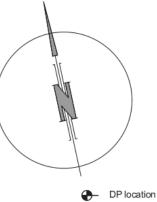
Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting







location of first floor



proposed rain water tank instant burn



HWS Meter box



proposed gravel



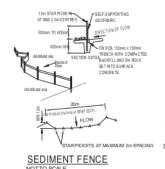
selected turf



landscaping - plants indicative only



PROPOSED CUT



#### CONSTRUCTION NOTES:

LONS TRUCT TION NOTES:

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLELTO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC

MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT



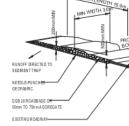
JOB ADDRESS

PROPOSAL

# 0004908240 10 Jun 2020 Assessor Stephen Collins Accreditation No. 10001

hstar.com.au

91 The Ruins Way , PORT MACQUARIE , NSW , 2444



#### CONSTRUCTION NOTES:

STRIP TOPSOIL AND LEVEL SITE.
 COMPACT SUBGRADE.
 COVER AREA WITH NEEDLE-PUNCHED GEOFABRIC.

A CONSTRUCT 200mm THICK PAD OVER GEOFABRIC USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.

CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

STABILIZED SITE ACCESS



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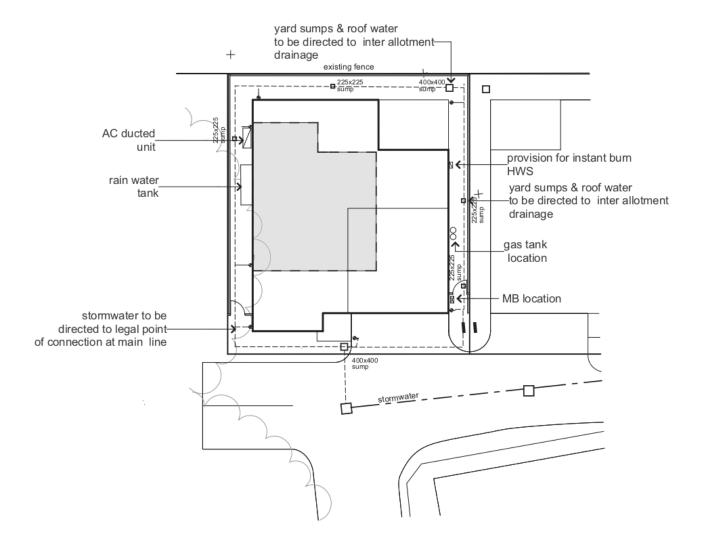
TOWNHOUSE 217 RHG

Lot 11, No.91 Ruins Way
 Port Macquarie

2 STOREY

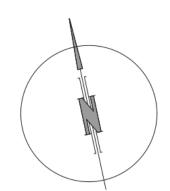
DP: 1219811

PAGE





2 STOREY





HERA Assessor # 10001					ence: 336
			QUARIE NSW	2444	
	Concept Des	igns A	ustralia	D.	044007757
conceptdesignsaus@outlook.				PI	n: 041887757
	ermal Perform	-			
External Wall Construction	Insulation		olour (Solar Absorpta		Detail
Brick Veneer	Antiglare foil + R	2.0	Dark		Except Garage
Brick Veneer	Antiglare foil		Dark		Garage only
FC cladding	Vapour barrier Antiglare foil + R		Dark		
Internal Wall Construction	Insulation		D	etail	
Plasterboard	None				
Plasterboard	R2.0	А	ll units – first floor wa		
			All units - walls betw		
			its 3 – Walls betweer id walls between Bath		
Ceiling Construction	Insulation			etail	.,
Plasterboard	Units 3 and 9 –		All ceilings adja		fspace
	R3.5		(Except Garages)		
	Remaining units - R25	-			
Roof Construction			Colour (Solar Absorptance)		Detail
Calarband	55mm anticon		Dark		
Floor Construction	blanket Insulation		Co	vering	
300mm waffle pod	modicion		Bare, Tile:		et
Timber	None			nd Carpet	
Windows Glass and frame typ		e SHGC	Details	ia carpet	
SSW-001-01 Aluminium framed since		0.75	Sliding and fixed win	dowe	
SSW-006-01 Aluminium framed sing	,	0.71	Sliding doors	uoma	
	,		-	Lualua i- i	ho camo a-
U and SHGC values are according to lower and the SHGC is within 10% of					
of glass required to meet Bushfire re		o. mo an	applies to enanges	to the who	
Fixed shading – Eaves	Width i	includes g	uttering, offset is dist	ance abov	e windows
Width: As drawn Offset:	As drawn	Nominal	only, refer to plan for	detail	
Fixed shading - Other		Veranda	hs, Pergolas (type an	d des cripti	on)
Shaded areas and shade devices	as drawn, adjoinii	ng buildin	gs and boundary fend	es	
Building Sealing					
External doors to be weather strip	ped and windows	to comply	with AS 2047.		
LED downlights to be sealed.					
Exhaust fans to be fitted with dam	Non				



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· Lot 11, No.91 Ruins Way Port Macquarie

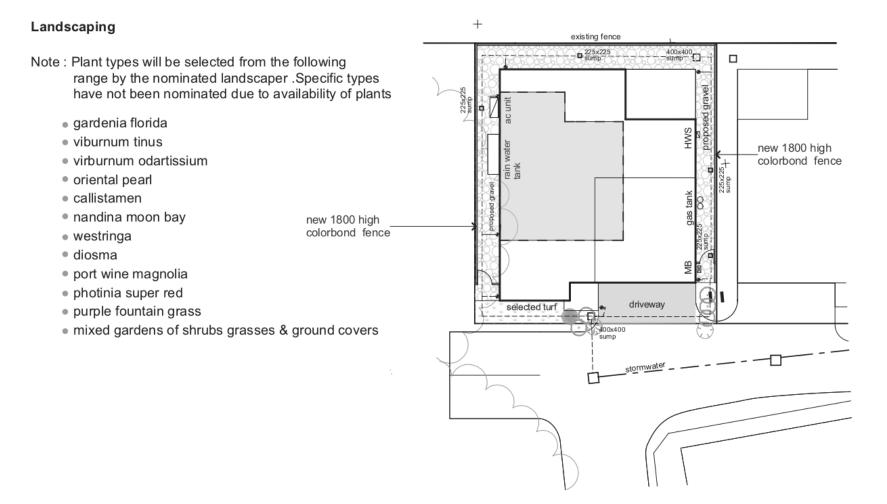
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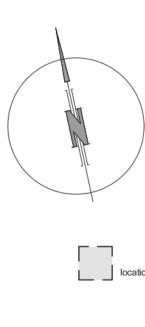
JOB No. SCALE DRAWN DATE 26/05/2020 WIND 'N2' SITE

drawing title SERVICES PLAN

10555

1:200 printed to A3 size RSU



















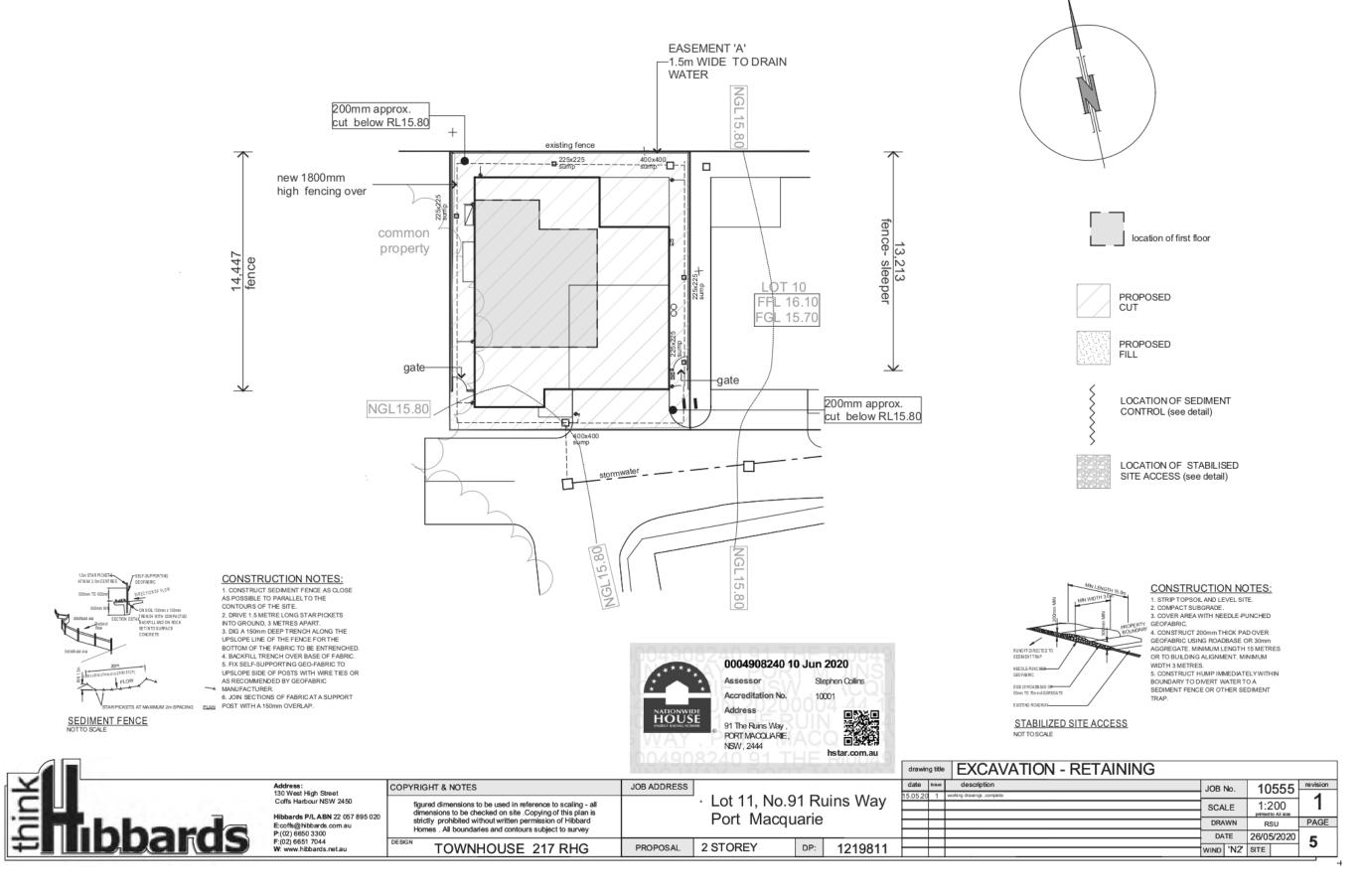


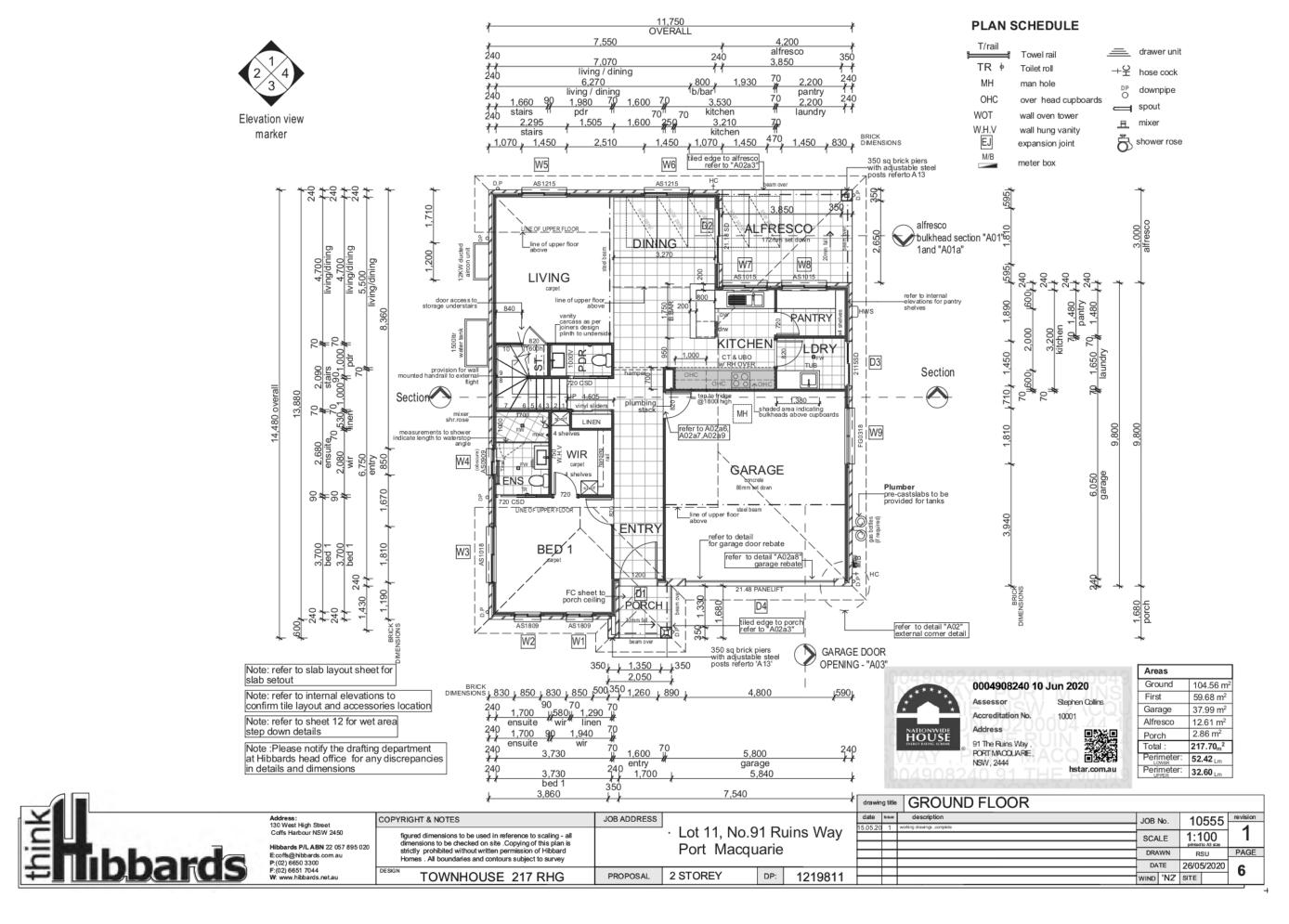
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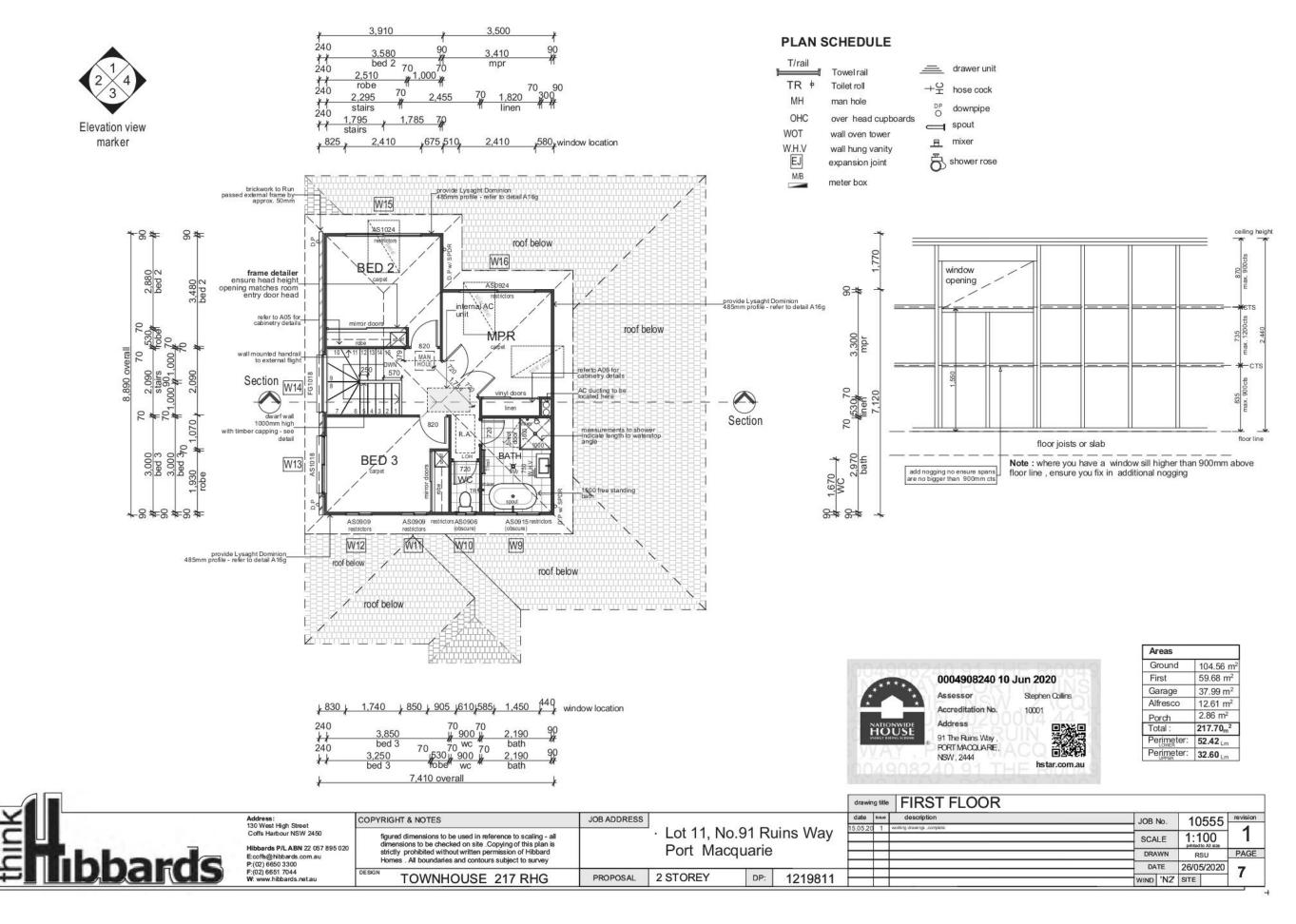
Hibbards P/L ABN 22 057 895 020

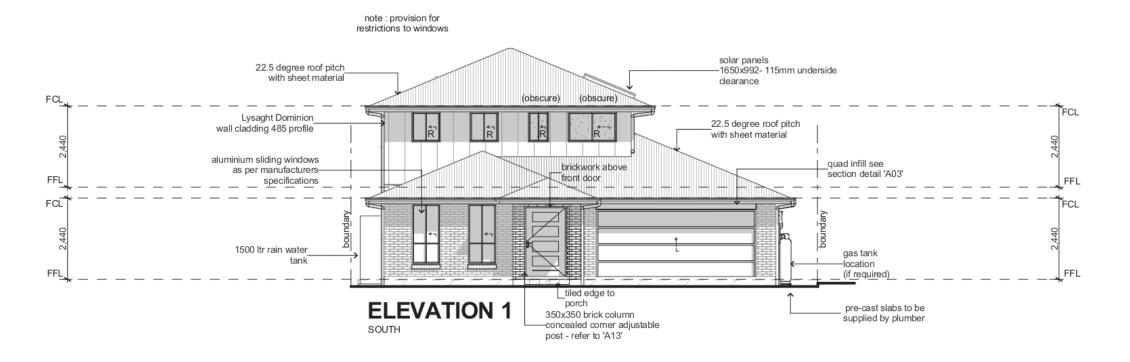
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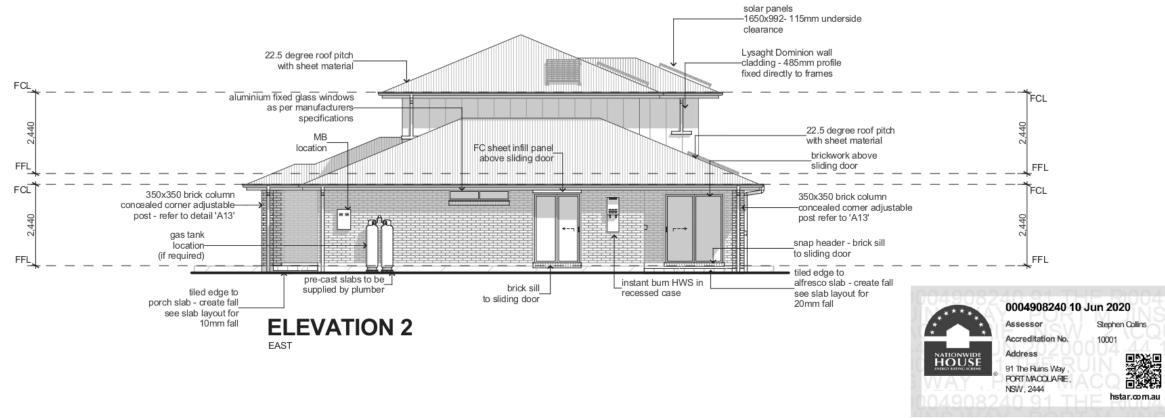
	drawing title LANDSCAPE PLAN						
	date	issue	description	JOB	No.	10555	revision
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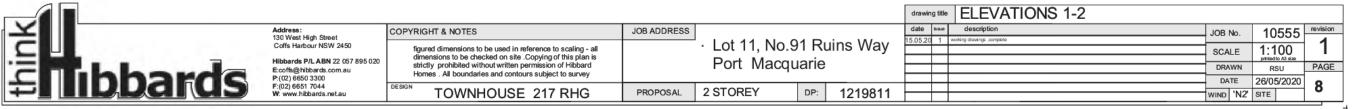


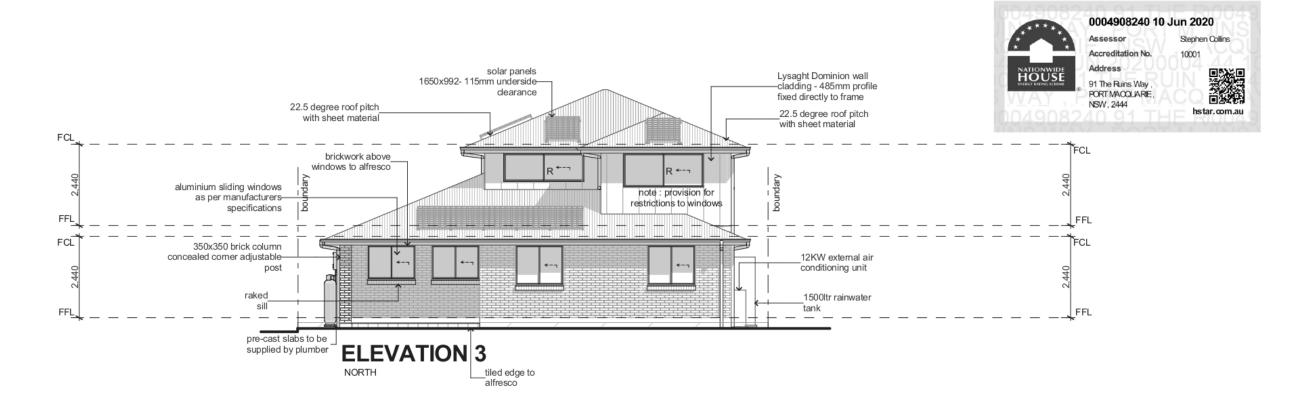


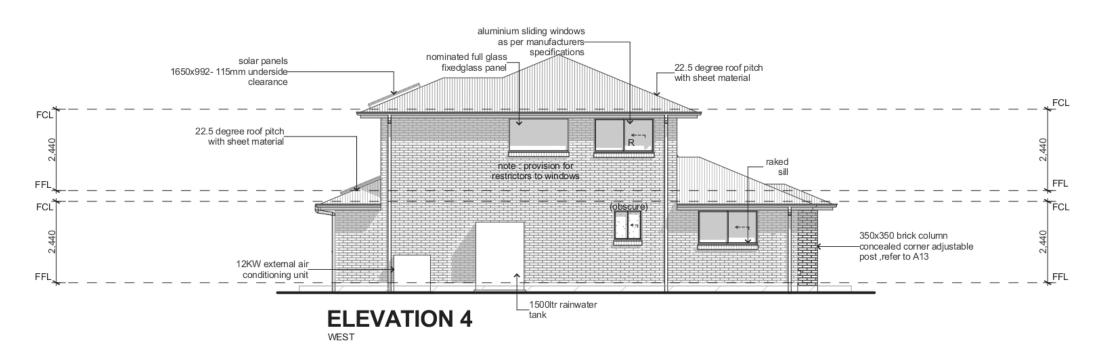


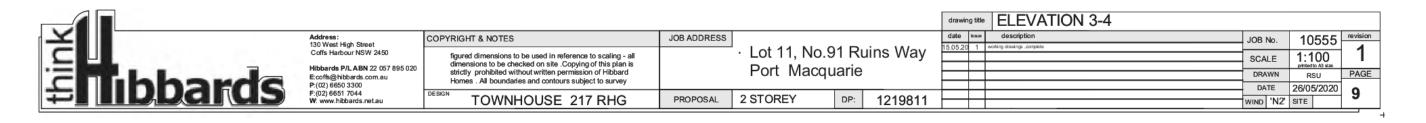


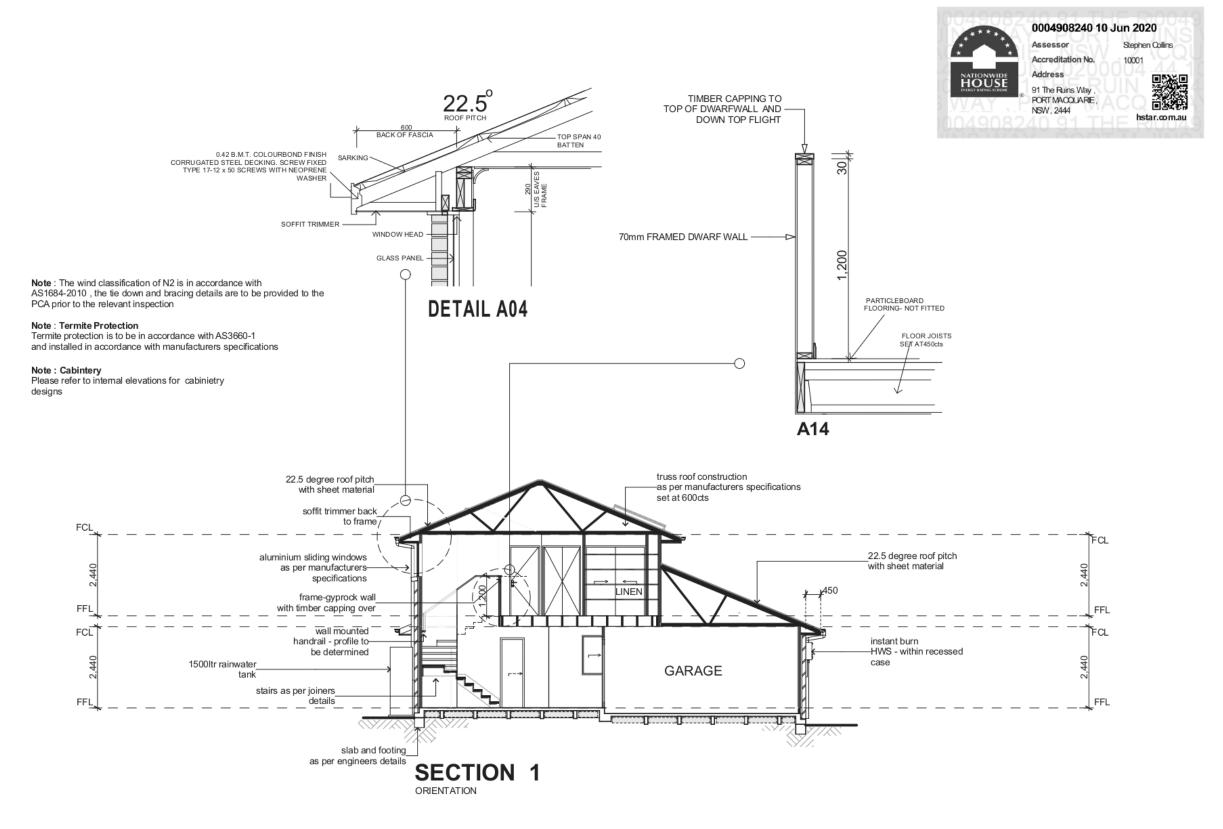


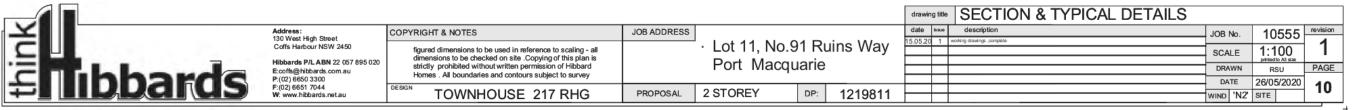












# DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
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3	services plan
4	landscape plan
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8	first floor
9	elevations 1-2
10	elevation 3-4
11	section & typical detail
12	slab plan - penetrations- rebates
13	floor joists layout (indicative only) - refer to framers details
14	electrical layout
15	kitchen / laundryinternal elevations
16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
21	bracing details - first floor
22	A13- adjustable steel posts
23	Alfresco beam and sliding door section details
24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

#### BASIX REQUIREMENTS

- 3-STARS SHOWERHEADS.4-STARS WC, 4-STARS TAPS
- 4-STARS WC, 4-STARS TAPS.

  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.

  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.
  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CVE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

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  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

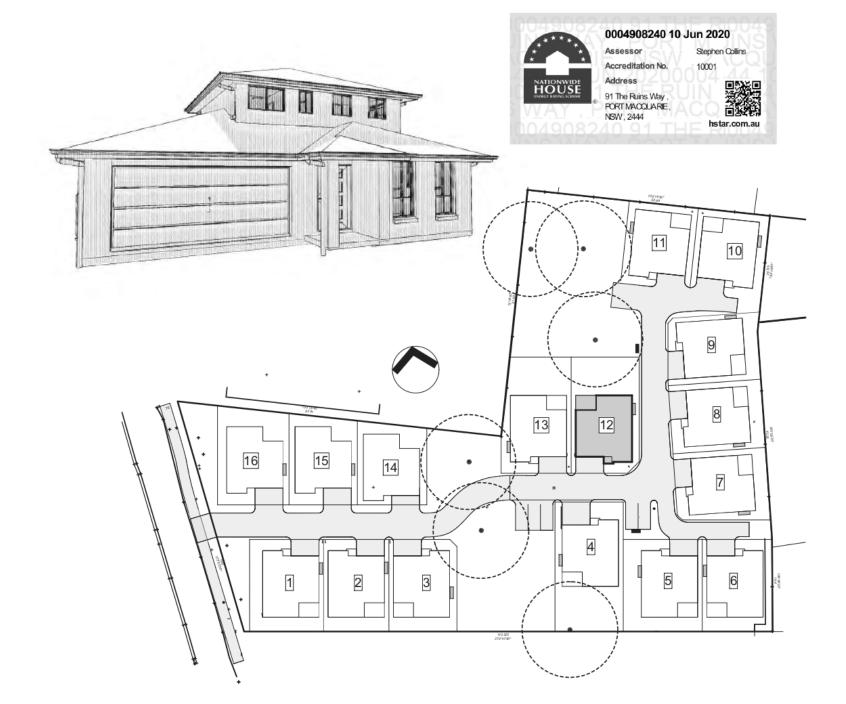
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

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   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



#### **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL. REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTE
  CUT AND FILL TO BUILDER'S DISCRETION.
  NOMINATED WATER TO TANK. OVERFLOW TO STREET.
  BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.
  WIND E.G. "N3"
  SITE E.G. "P"
  SOIL E.G. "M"

DP:



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TOWNHOUSE 217 LHG

JOB ADDRESS Lot 12, No.91 Ruins Way Port Macquarie

2 STOREY

PROPOSAL

1219811

drawing title COVER SHEET 00000 JOB No. 1:100 SCALE DRAWN RSU PAGE DATE 26/05/2020 WIND 'N2' SITE

SITE INFORMATION					
LOT NUMBER:	12				
REGISTERED PLAN NUMBER SP	1219811				
SUBURB	PORT MACQUARIE				
LOCAL AUTHORITY	PORT MACQUARIE				
PARISH					
COUNTY					
SITE AREA	341m 2				

Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas (c) 50mm above paved or concrete areas with fall away from the building

#### Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area	Gutter Description	
30 m2	115mm D Gutter	
40m2	125mm D Gutter	
50m2	150mm D Gutter	
60m2	150mm D Gutter	

#### Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

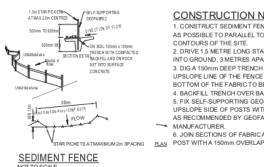
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

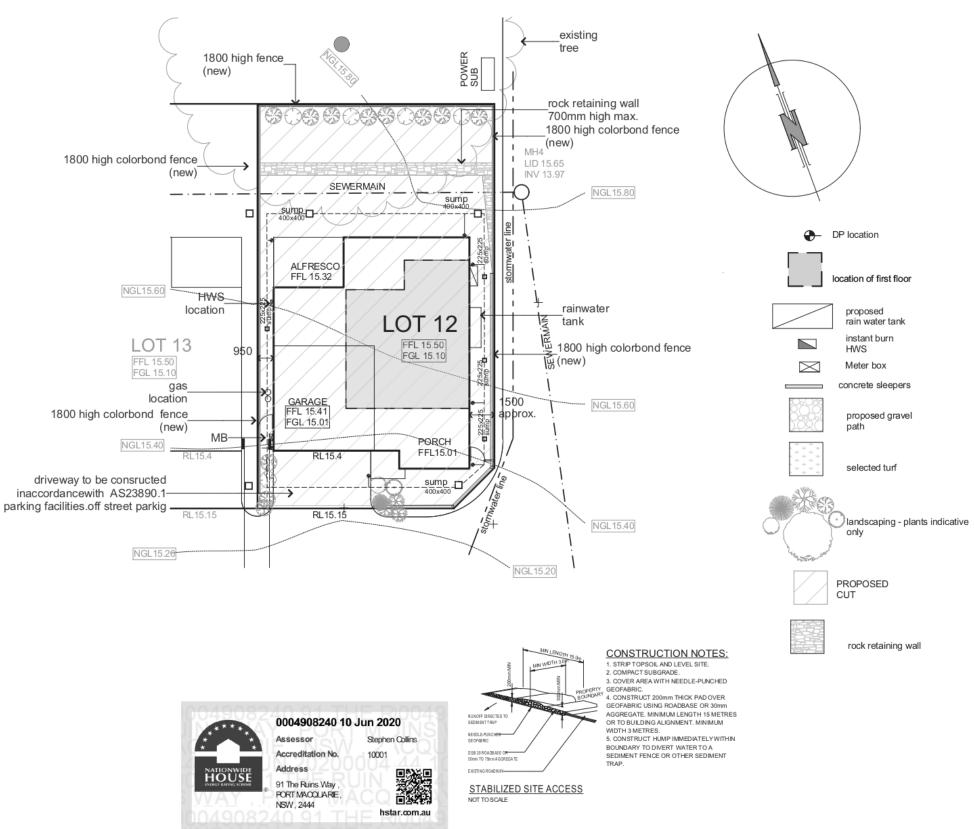
Contuors & Levels provided by: B.R Development Consulting



**CONSTRUCTION NOTES:** 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART. 3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED. 4. BACKFILL TRENCH OVER BASE OF FABRIC. 5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER. 6. JOIN SECTIONS OF FABRIC AT A SUPPORT







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JOB ADDRESS Lot 12, No.91 Ruins Way Port Macquarie

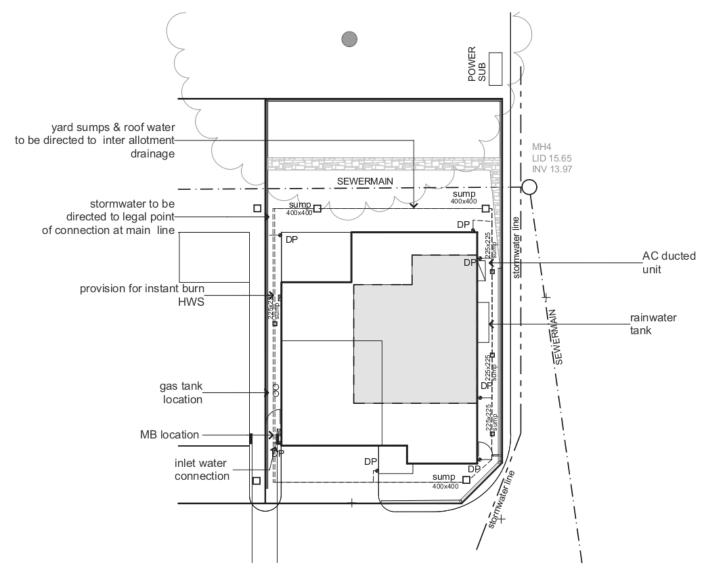
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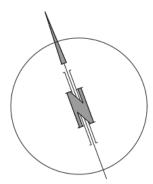
1219811

2 STOREY

PROPOSAL

drawing title SITE PLAN 00000 JOB No. 1:200 SCALE PAGE DRAWN RSU DATE 26/05/2020 2 WIND 'N2' SITE







HERA Assessor # 1000	1 June 202	20 CDA Re	eference: 3364	
91 The Ruins Way PORT MACQUARIE NSW 2444				
	Concept Design	s Australia		
conceptdesignsaus@outlook	.com		Ph: 041887757	
	hermal Performanc	e Specifications		
External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail	
Brick Veneer	Antiglare foil + R2.0	Dark	Except Garage	
Brick Veneer	Antiglare foil	Dark	Garage only	
FC cladding	Vapour barrier/ Antiglare foil + R2.0	Dark		
Internal Wall Construction	Insulation	Detail		
Plasterboard	None			
Plasterboard	R2.0	All units – first floor walls adjacent to roof space All units - walls between Garages and units Units 3 – Walls between Ldry and adjoining rooms and walls between Bath/WC and adjoining rooms		
Ceiling Construction	Insulation	Detail		
Plasterboard	Units 3 and 9 – R3.5 Remaining units – R2.5	All ceilings adjacent to (Except Gara		
Roof Construction	Insulation	Colour (Solar Absorptano	e) Detail	
Colorbond	55mm anticon	Dark		
Floor Construction	blanket Insulation	Covering	,	
300mm waffle pod		Bare, Tiles and		
Timber	None	Tiles and Car	rpet	
Windows Glass and frame t	ne U Value Si	HGC Details	•	
SSW-001-01 Aluminium framed sir	,	5 Sliding and fixed windows		
SSW-006-01 Aluminium framed sir	-	-		
U and SHGC values are according lower and the SHGC is within 10% of glass required to meet Bushfire r	to NFRC. Alternate pro of the above ligures. The egulations.	ducts may be used if the U valuities also applies to changes to the	e thickness and type	
Fixed shading – Eaves		des guttering, offset is distance a		
Width: As drawn Offset:	As drawn Non	ninal only, refer to plan for detail		
Fixed shading – Other		andahs, Pergolas (type and desc	cription)	
Shaded areas and shade device	s as drawn, adjoining b	uildings and boundary fences		
Building Sealing				
External doors to be weather stri	pped and windows to co	omply with AS 2047.		
LED downlights to be sealed.				
Exhaust fans to be fitted with dar	mpers as per NCC.			



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DESIGN

TOWNHOUSE 217 LHG

PROPOSAL

2 STATEMENT OF TOWNHOUSE 217 LHG

Lot 12,No.91 Ruins Way
Port Macquarie

0004908240 10 Jun 2020

Assessor
Accreditation No.

Address 91 The Ruins Way , PORT MACQUARIE , NSW , 2444 Stephen Collins

hstar.com.au

10001

Landscaping

• gardenia florida viburnum tinus

oriental pearl callistamen

westringa diosma

virburnum odartissium

nandina moon bay

port wine magnolia

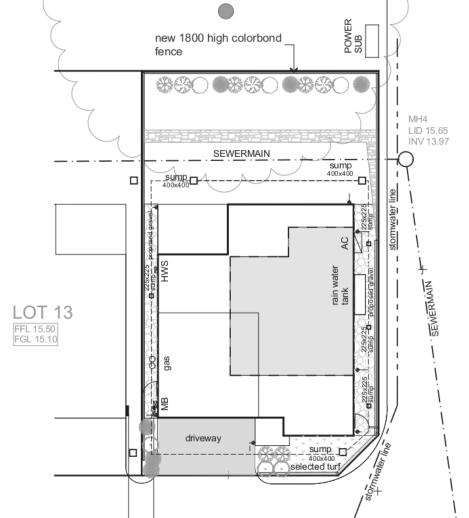
photinia super red purple fountain grass

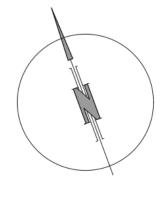
Note: Plant types will be selected from the following

range by the nominated landscaper .Specific types

mixed gardens of shrubs grasses & ground covers

have not been nominated due to availability of plants









proposed gravel



selected turf



landscaping - plants indicative

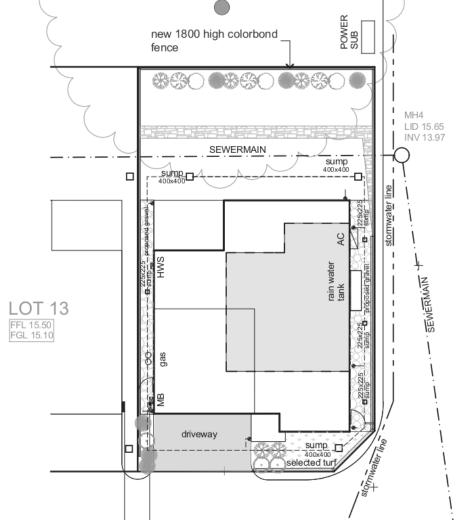




location of first



rock retaining wall





00000 revis

1:100

RSU

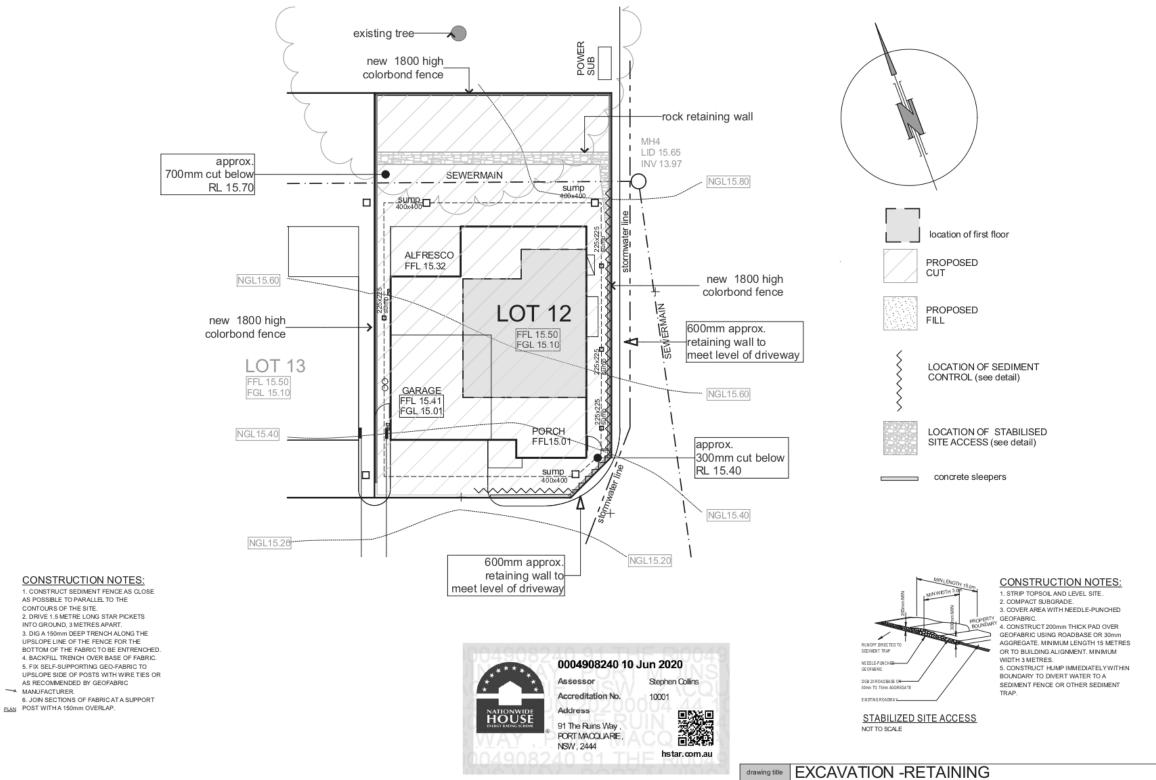


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Lot 12, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811 JOB No. SCALE DRAWN DATE 26/05/2020 WIND 'N2' SITE

drawing title LANDSCAPE PLAN





SEDIMENT FENCE

Address: 130 West High Street Coffs Harbour NSW 2450

AS RECOMMENDED BY GEOFABRIC

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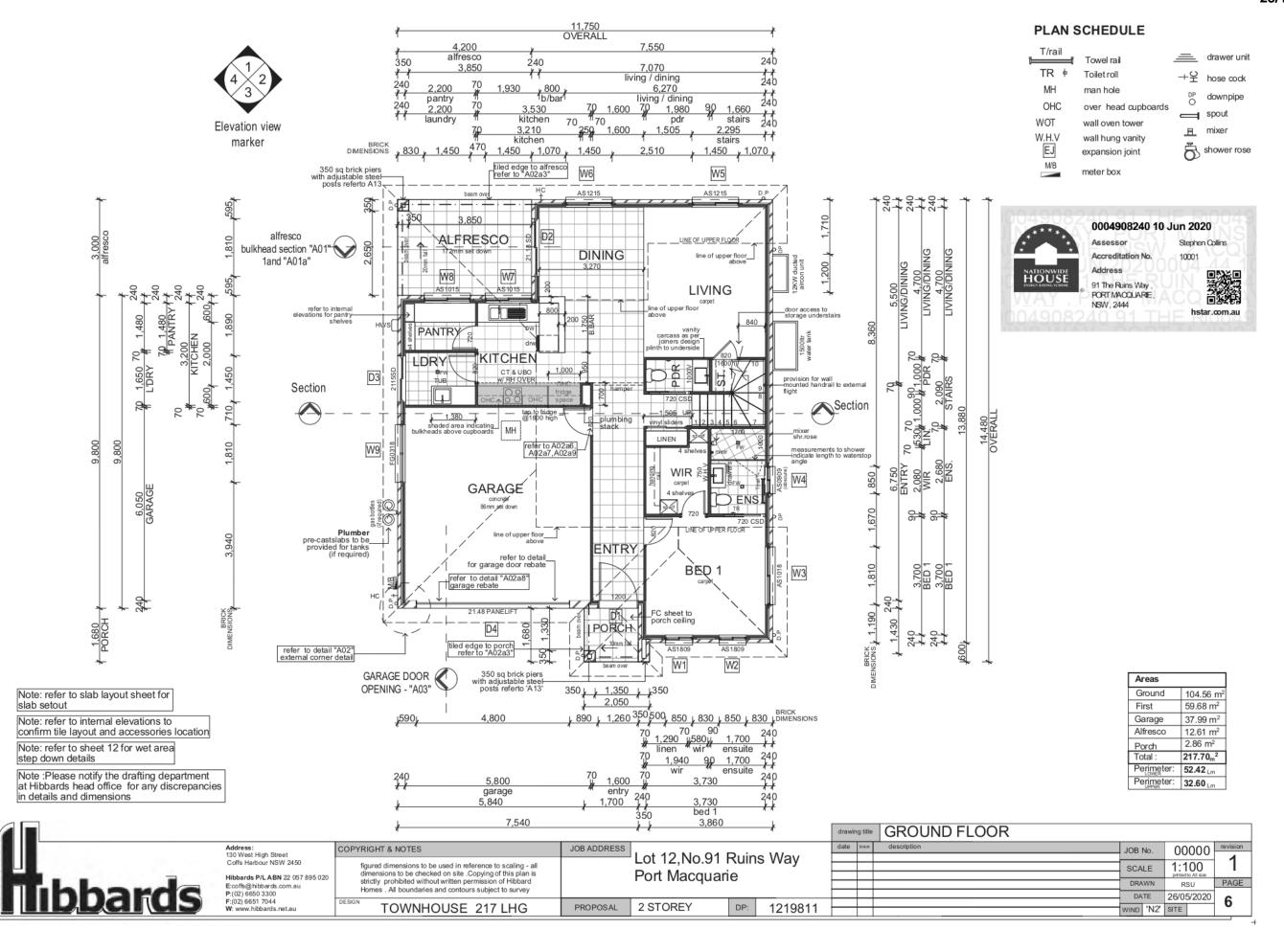
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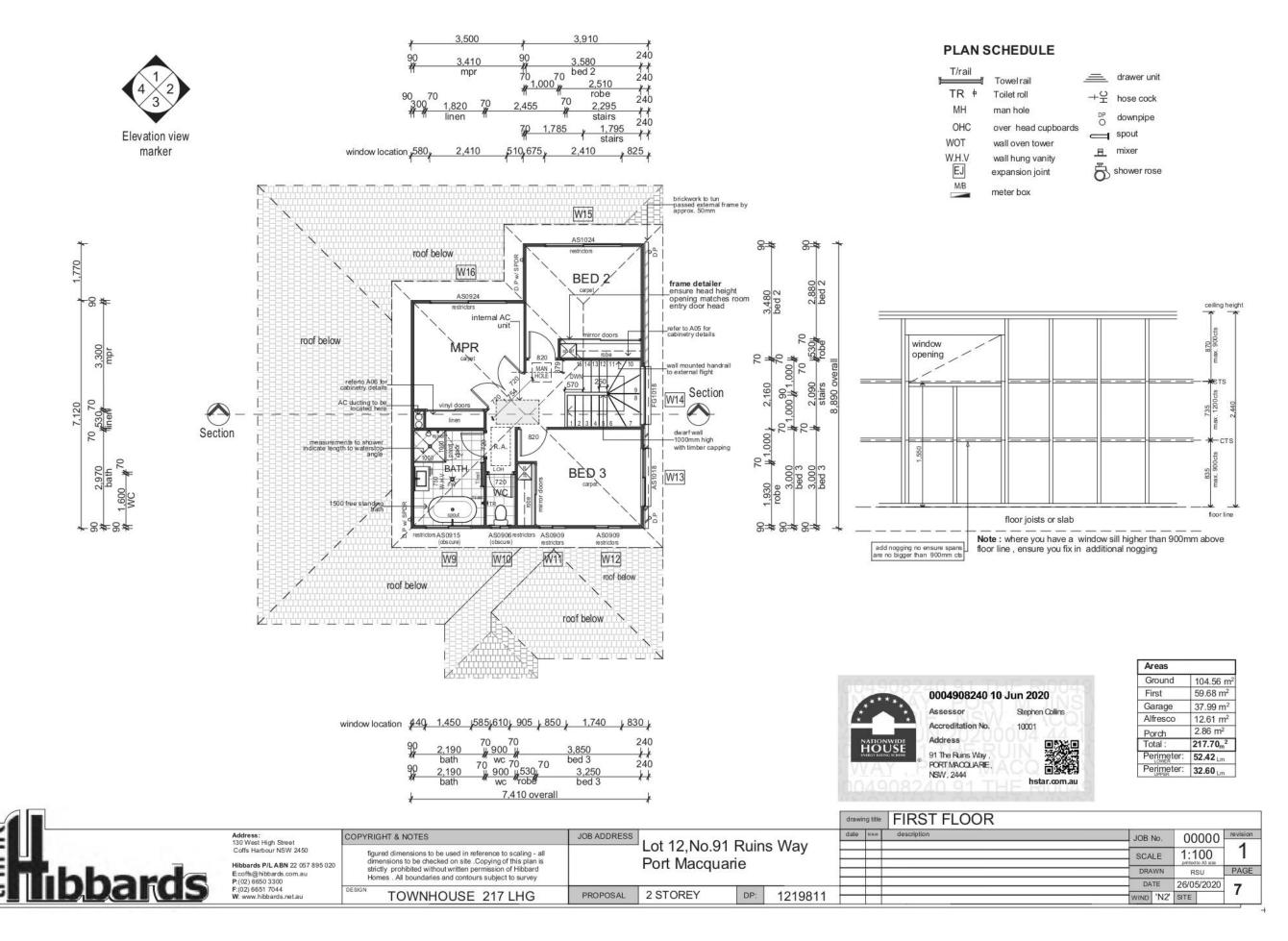
Lot 12, No.91 Ruins Way Port Macquarie

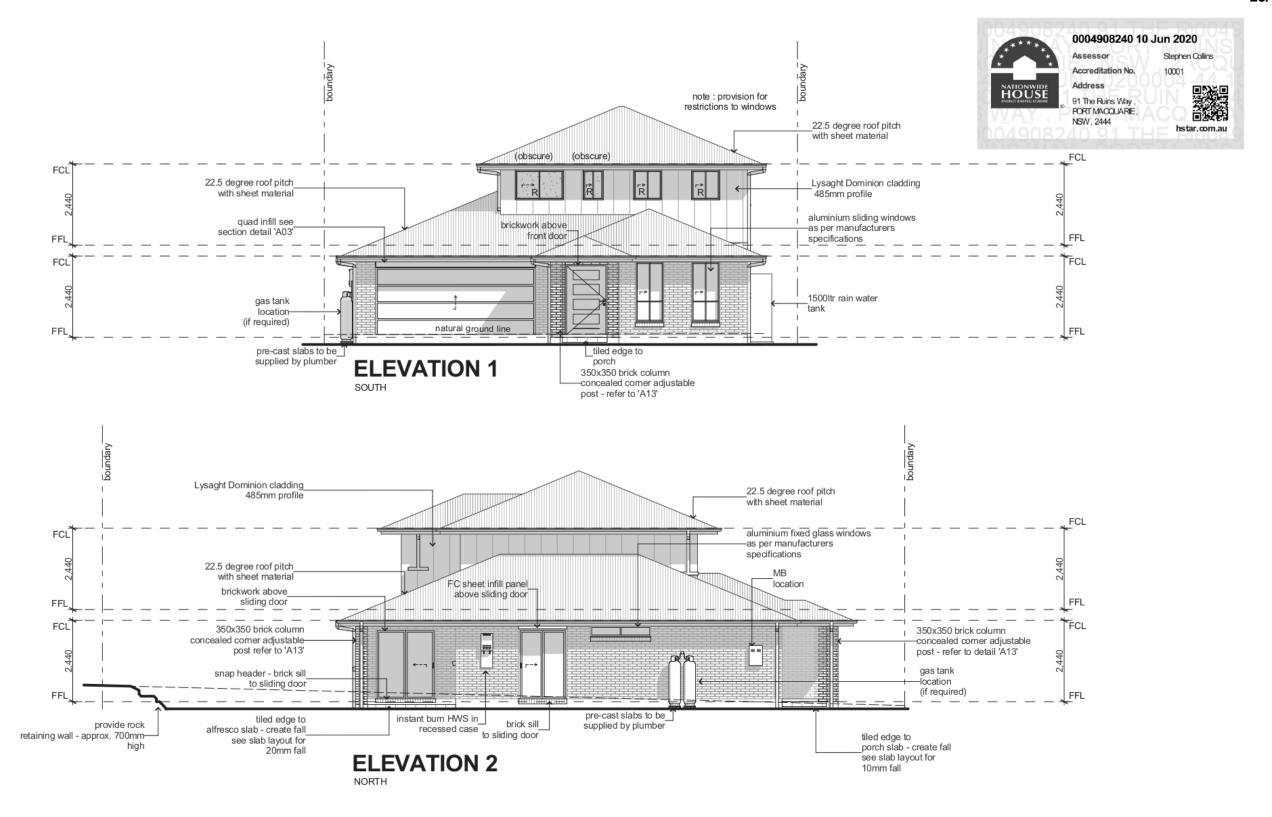
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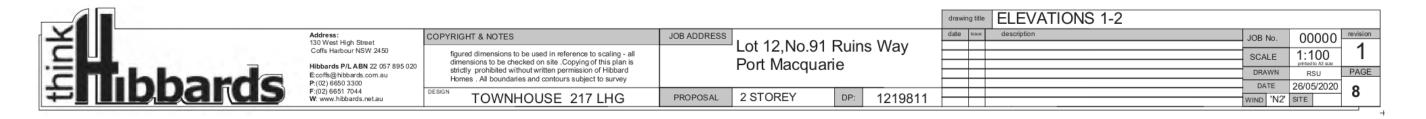
2 STOREY

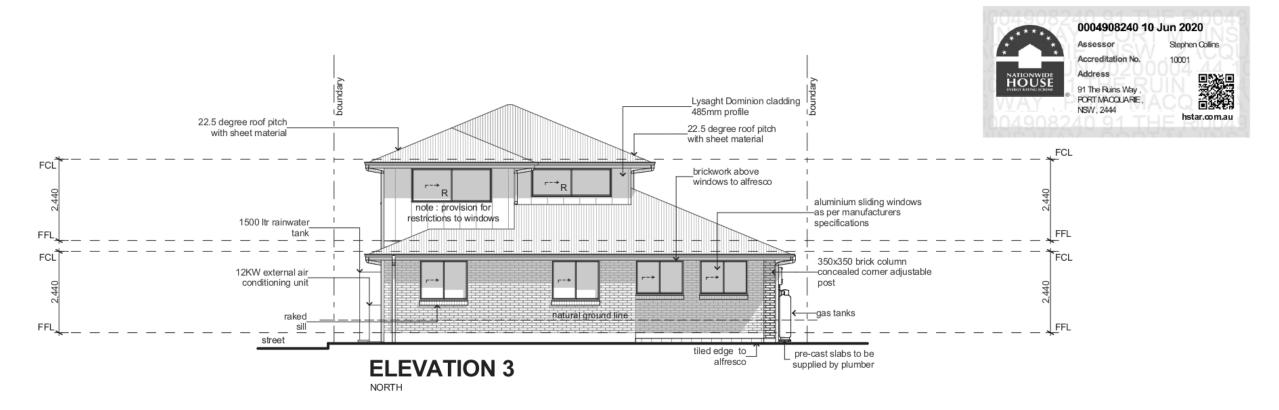
00000 revision JOB No. 1:100 SCALE DRAWN PAGE RSU DATE 26/05/2020 5 1219811 WIND 'N2' SITE

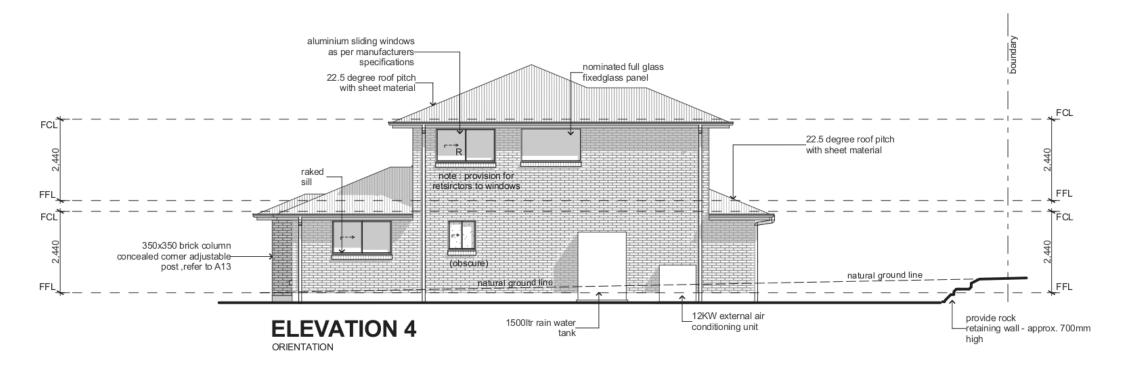


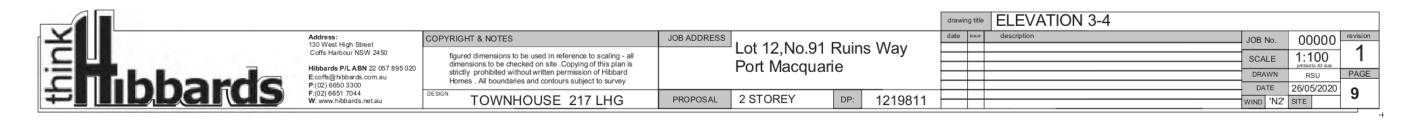


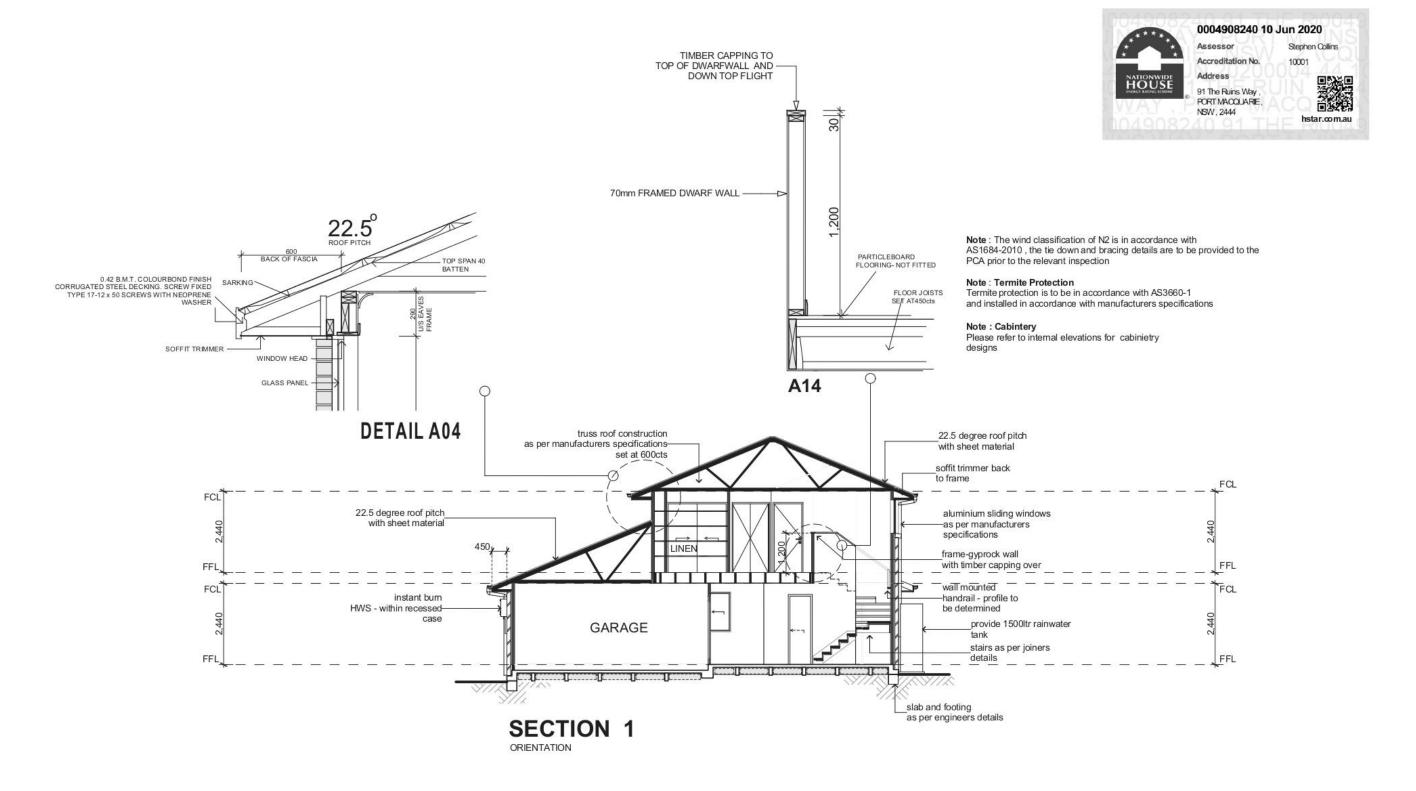


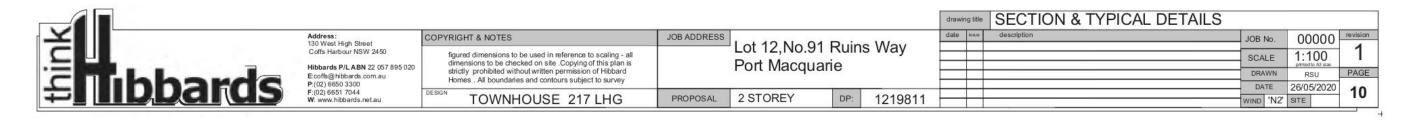












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### BASIX REQUIREMENTS

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   4-STARS WC, 4-STARS TAPS
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  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.

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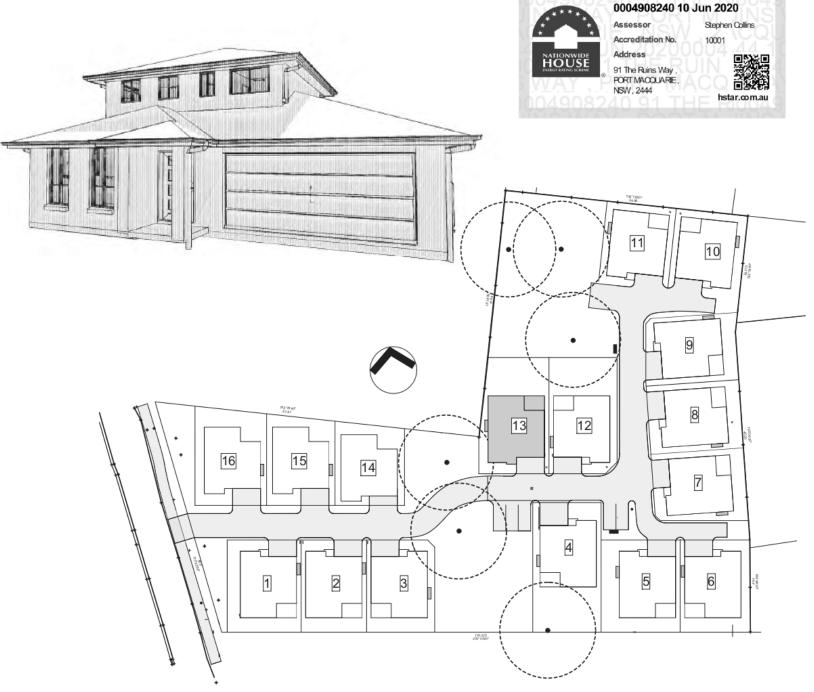
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## **GENERAL NOTES:**

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- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTE
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  WIND E.G. "N3"
  SITE E.G. "P"
  SOIL E.G. "M"



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TOWNHOUSE 217 RHG

JOB ADDRESS Lot 13, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

PROPOSAL

drawing title COVER SHEET descriptio 00000 JOB No NTS SCALE. DRAWN RSU PAGE DATE 26/05/2020 WIND 'N2' SITE

SITE INFORMATION				
LOT NUMBER:	13			
REGISTERED PLAN NUMBER SP				
SUEURB	PORT MACQUARIE			
LOCAL AUTHORITY	PORT MACQUARIE			
COUNTY				
SITE AREA	338m²			

Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas
- (c) 50mm above paved or concrete areas with fall away from the building

Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area	Gutter Description			
30 m2	115mm D Gutter			
40m2	125mm D Gutter			
50m2	150mm D Gutter			
60m2	150mm D Gutter			

Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

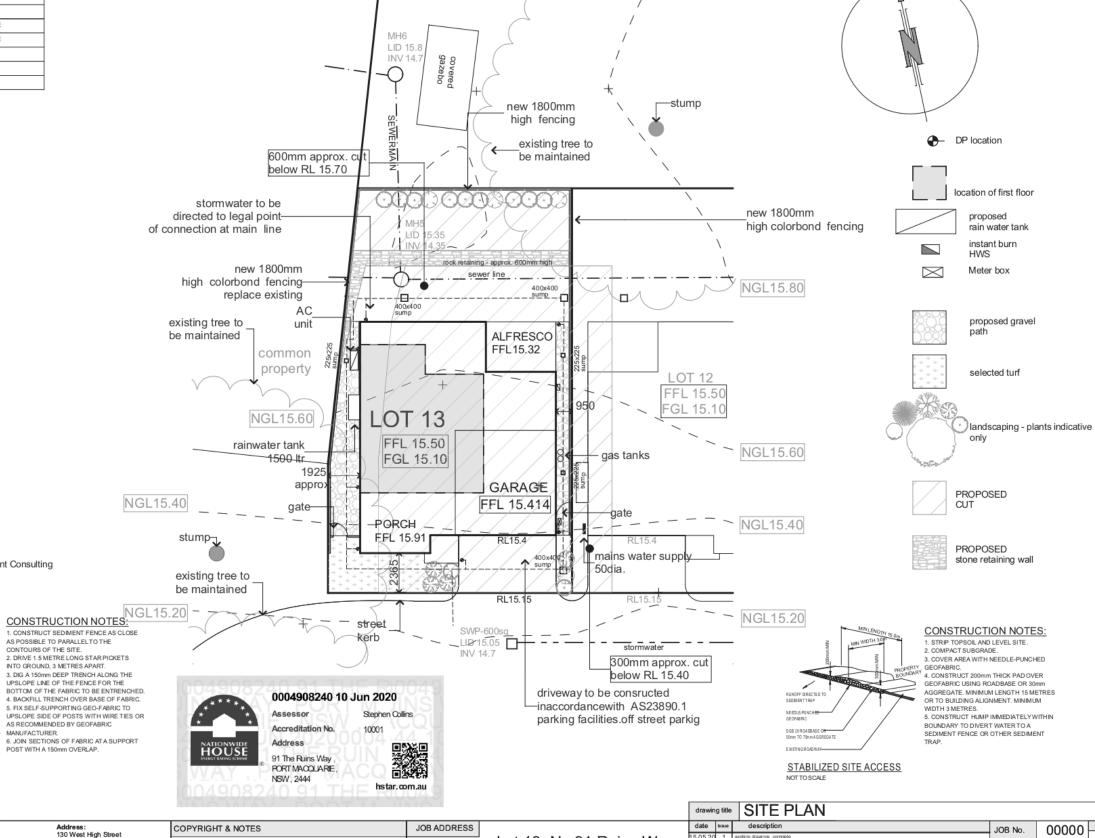
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting



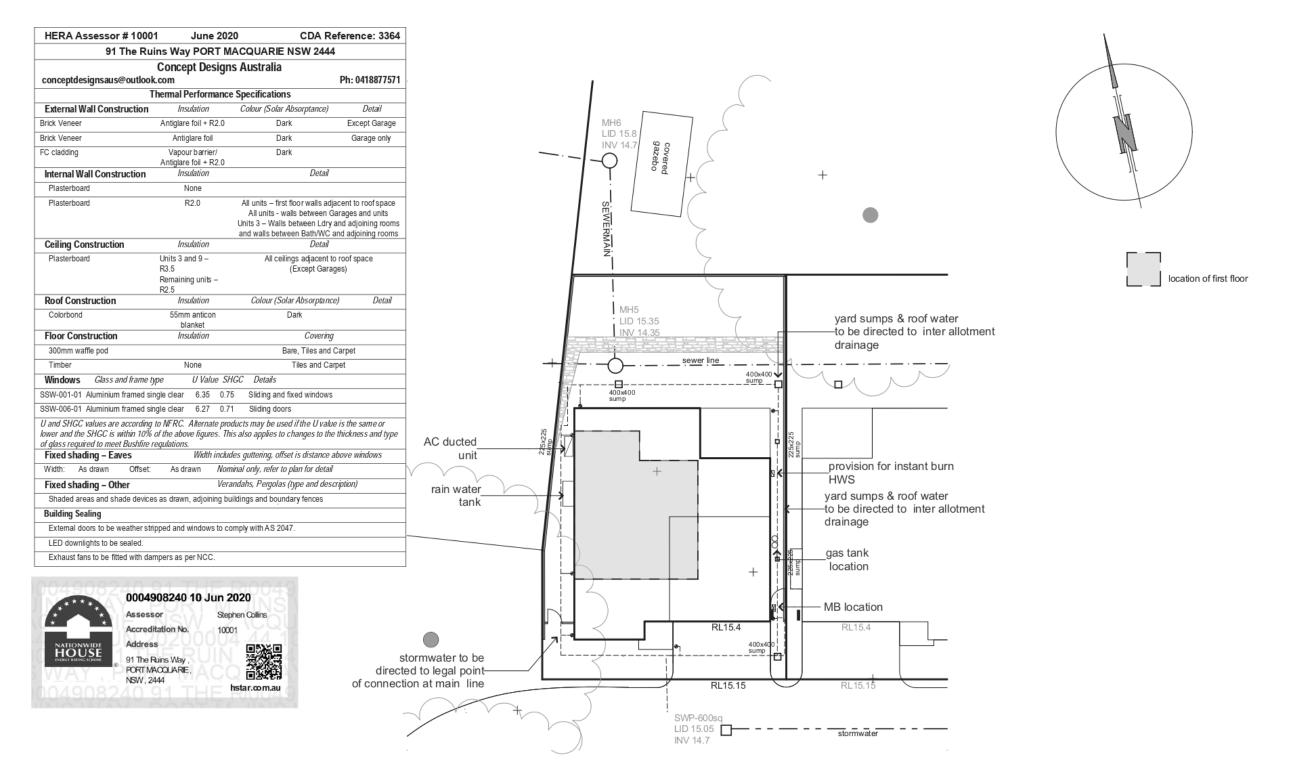


SEDIMENT FENCE

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1:200 SCALE DRAWN RSU PAGE DATE 26/05/2020 2 WIND 'N2' SITE



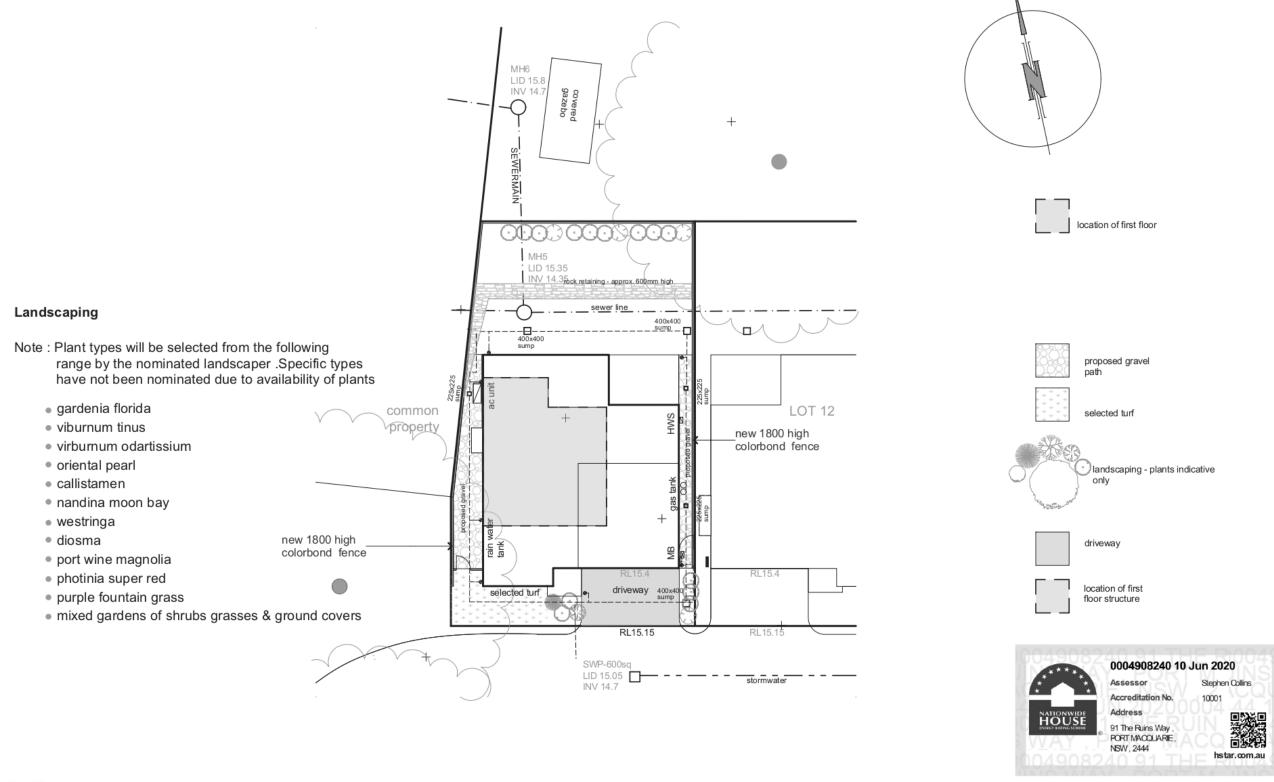


130 West High Street Coffs Harbour NSW 2450

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TOWNHOUSE 217 RHG	PROPOSAL	2 STOREY	DP:	1219811

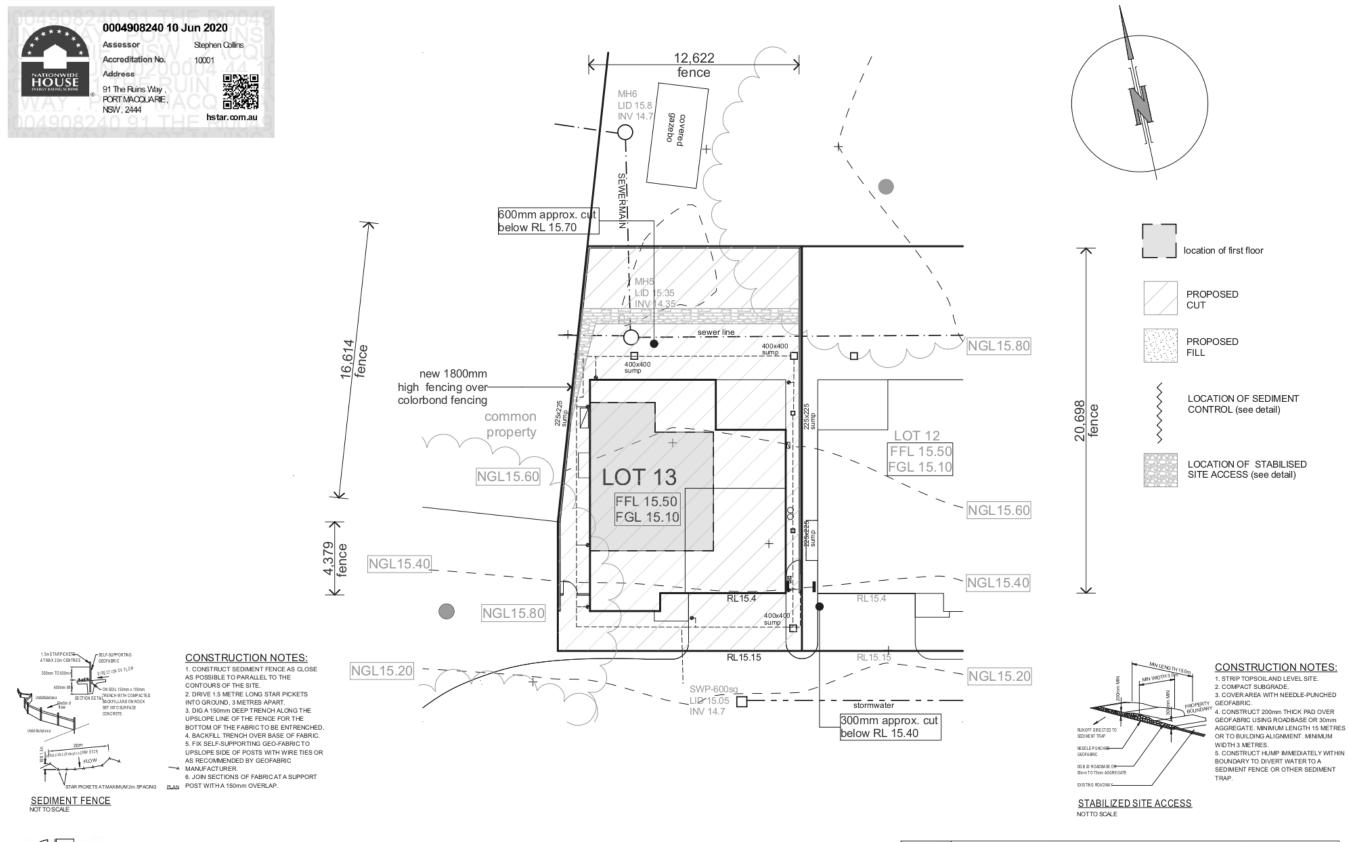
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TOWNHOUSE 217 RHG	PROPOSAL	2 STOREY	DP:	1219811



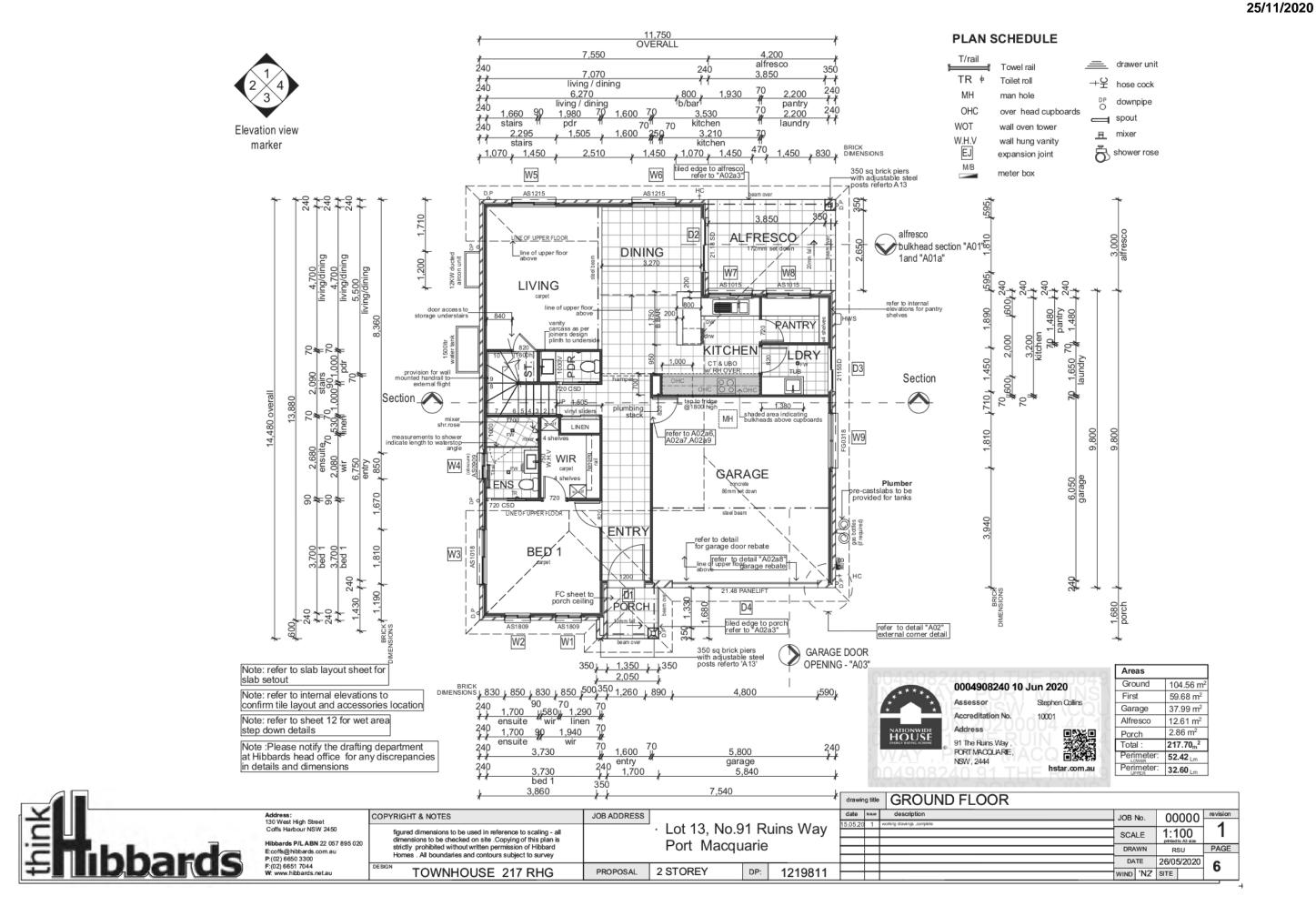


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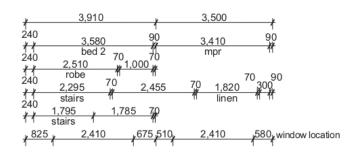
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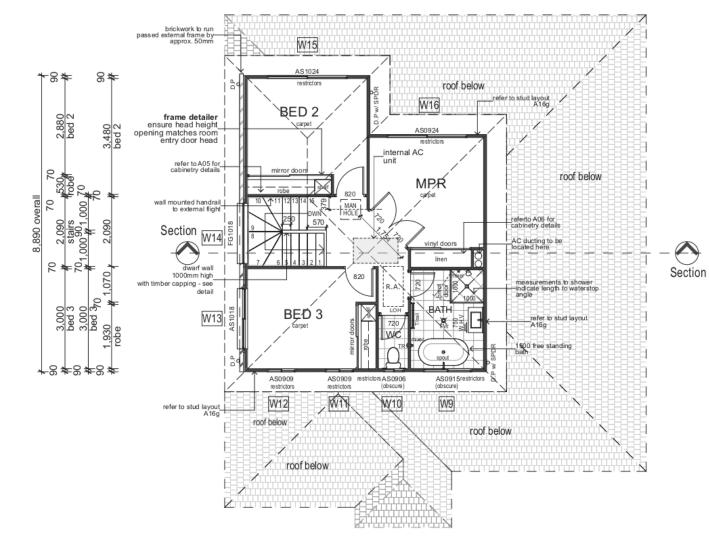
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TOWNHOUSE 217 RHG	PROPOSAL	2 STOREY	DP:	1219811

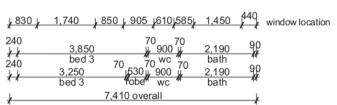
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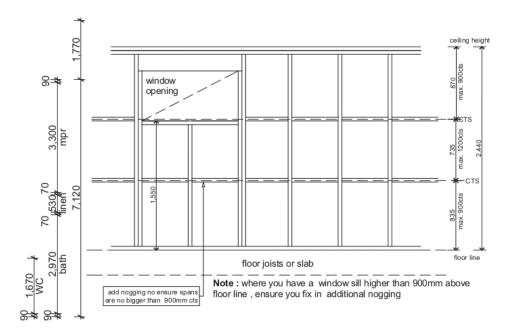






## **PLAN SCHEDULE**

T/rail	Towel rail	_	drawer unit
TR 🕈	Toiletroll	+우	hose cock
MH	man hole	DP	downpipe
OHC	over head cupboards	0	spout
WOT	wall oven tower	_	mixer
W.H.V	wall hung vanity	를	IIIXEI
EJ	expansion joint	8	shower rose
M/B	meter box		





Areas	
Ground	104.56 m <sup>2</sup>
First	59.68 m <sup>2</sup>
Garage	37.99 m <sup>2</sup>
Alfresco	12.61 m <sup>2</sup>
Porch	2.86 m <sup>2</sup>
Total:	217.70 <sub>m</sub> <sup>2</sup>
Perimeter:	52.42 <sub>Lm</sub>
Perimeter:	32.60 Lm



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DESIGN

TOWNHOUSE 217 RHG

PROPOSAL

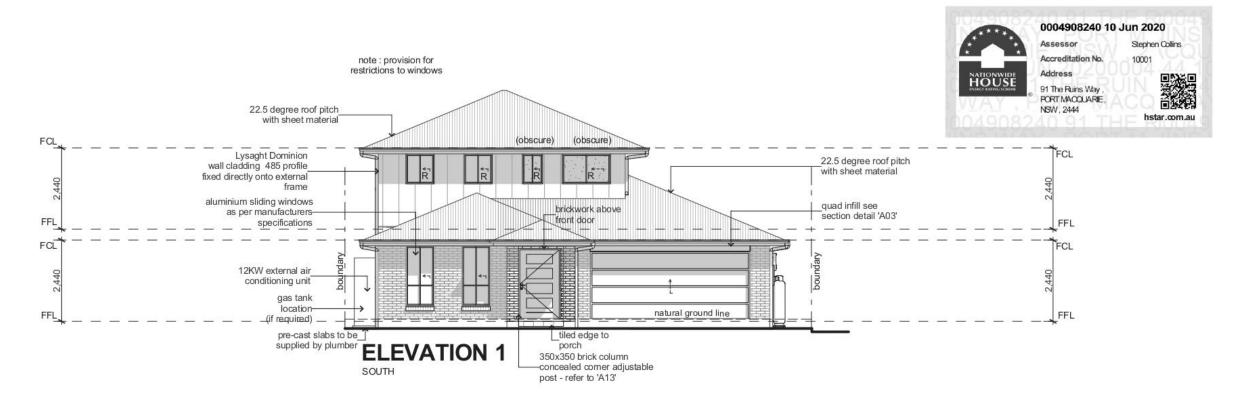
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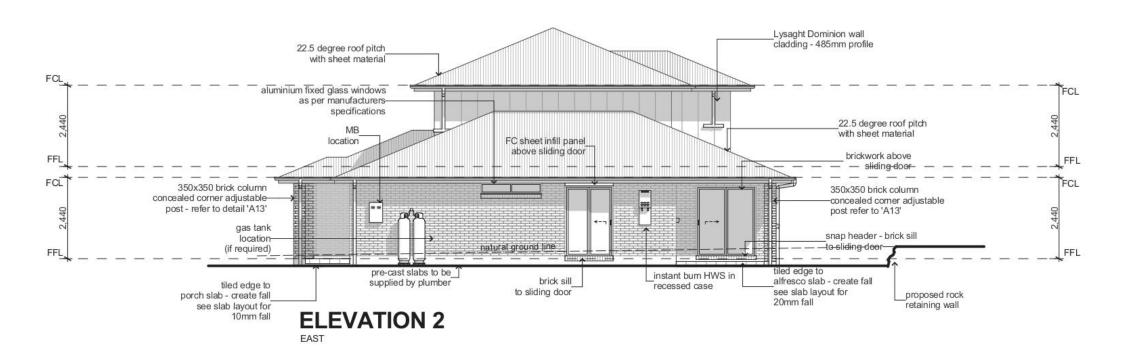
• Lot 13, No.91 Ruins Way Port Macquarie

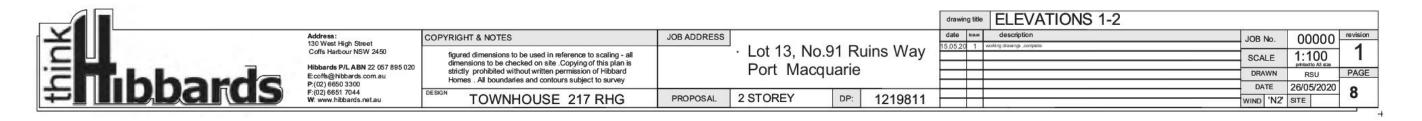
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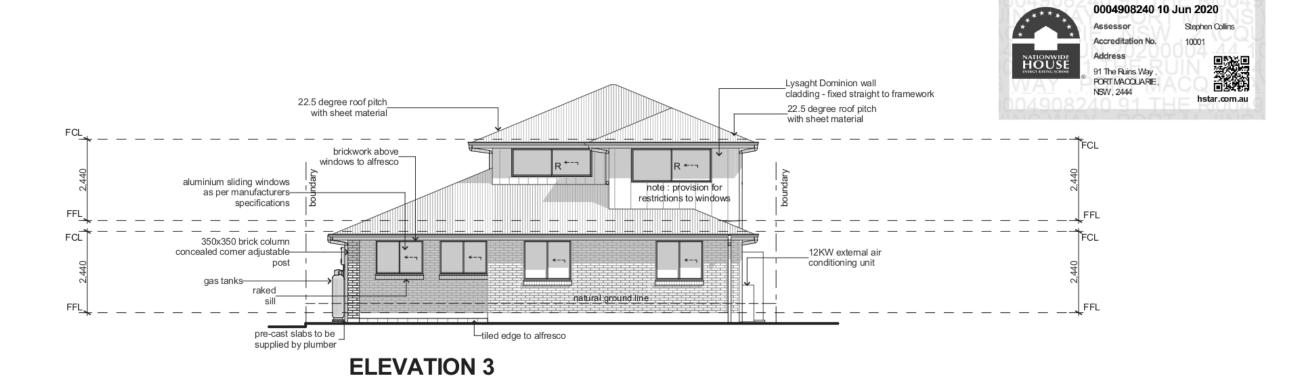
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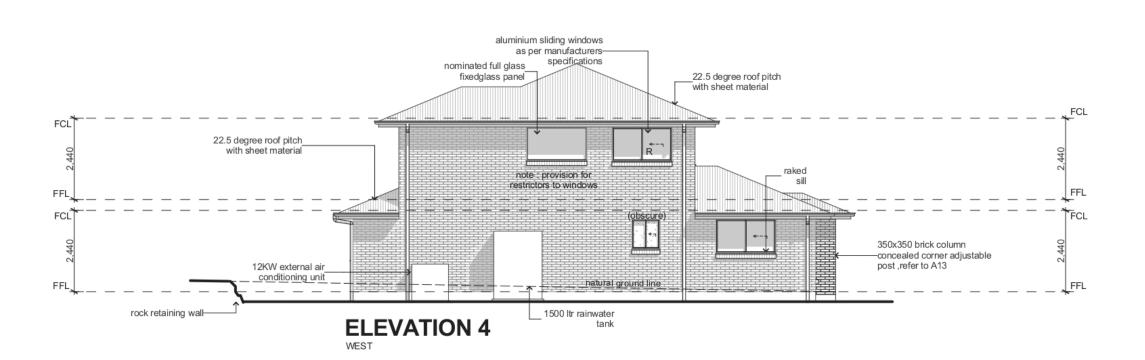
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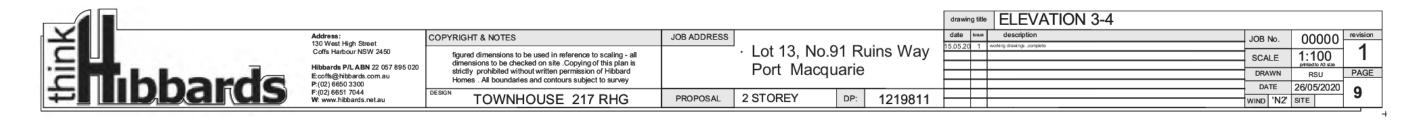


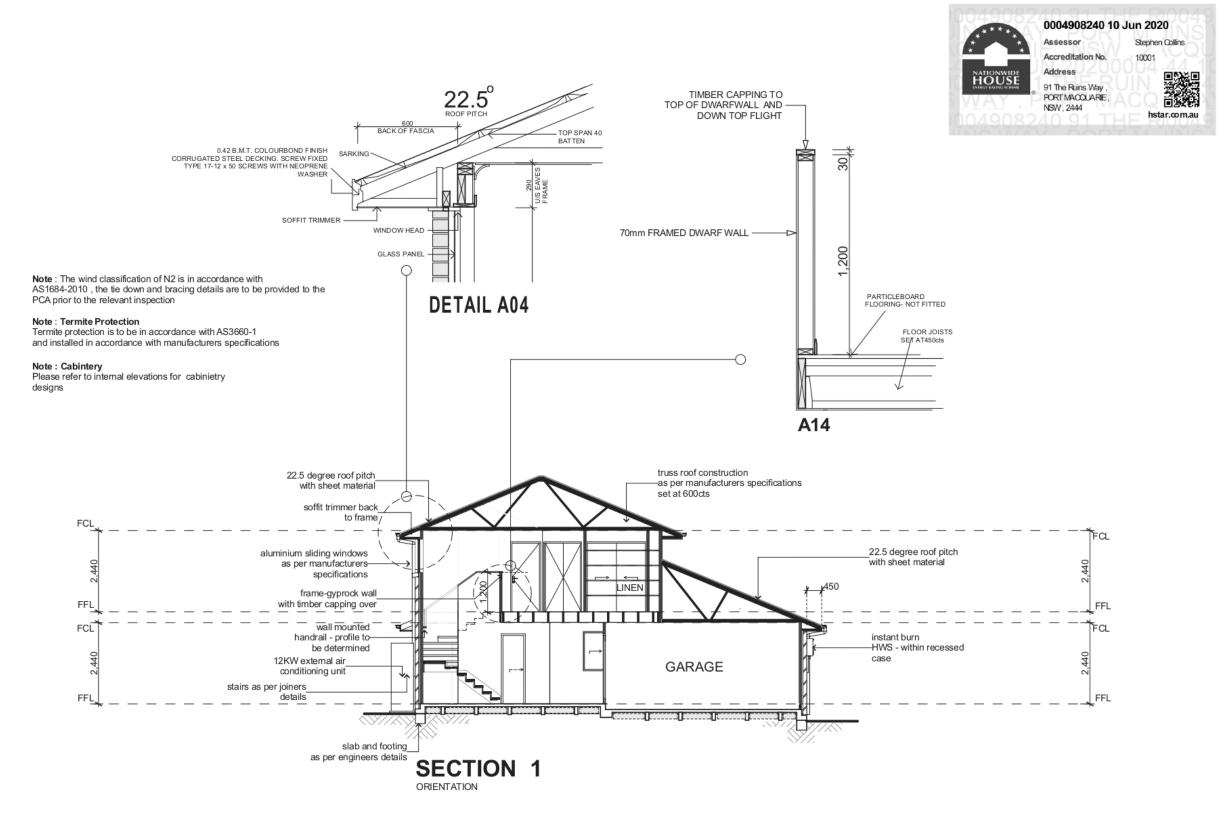


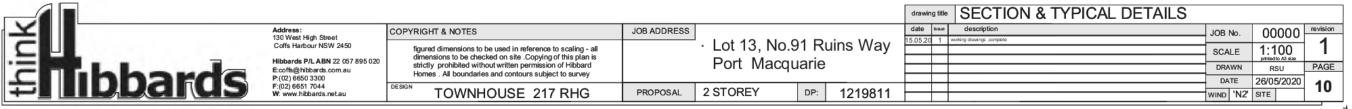












# DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE		
1	cover sheet + drawing schedule ,basix + construction notes		
2	site plan		
3	services plan		
4	landscape plan		
6	excavation + retaining walls		
7	ground floor		
8	first floor		
9	elevations 1-2		
10	elevation 3-4		
11	section & typical detail		
12	slab plan - penetrations- rebates		
13	floor joists layout (indicative only) - refer to framers details		
14	electrical layout		
15	kitchen / laundryinternal elevations		
16	powder room -ensuite - WIR internal details		
17	bath- WC internal elevations		
18	wet area - step downs- shower screen details		
19	robe- linen - broom details		
20	bracing details - ground floor		
21	bracing details - first floor		
22	A13- adjustable steel posts		
23	Alfresco beam and sliding door section details		
24	garage door - head and rebate base section detail		
25	general slab floor detail		
26	articulation joints - expansion joints		
27	junction joint detail - Lysaght Dominion		
28	junction joint detail - Lysaght Dominion		

### BASIX REQUIREMENTS

- BASIX REQUIREMENTS

  3-STARS SHOWERHEADS.

  4-STARS WC, 4-STARS TAPS.

  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.

  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.

  R? INSULATION BATTS TO EXTERNAL WALLS.

  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.

  ROOF DARK MEDIUM LIGHT.

  WINDOWS SINGLE CLEAR.

  6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.

  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.

- EARAGUST FANS TO BATHROOM, ENSUTE AND KITCHEN RANGE
   12KW DUCTED AIR CONDITIONING
   OVEN ELECTRIC CHEF CVE612SA.
   COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
   RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
   DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

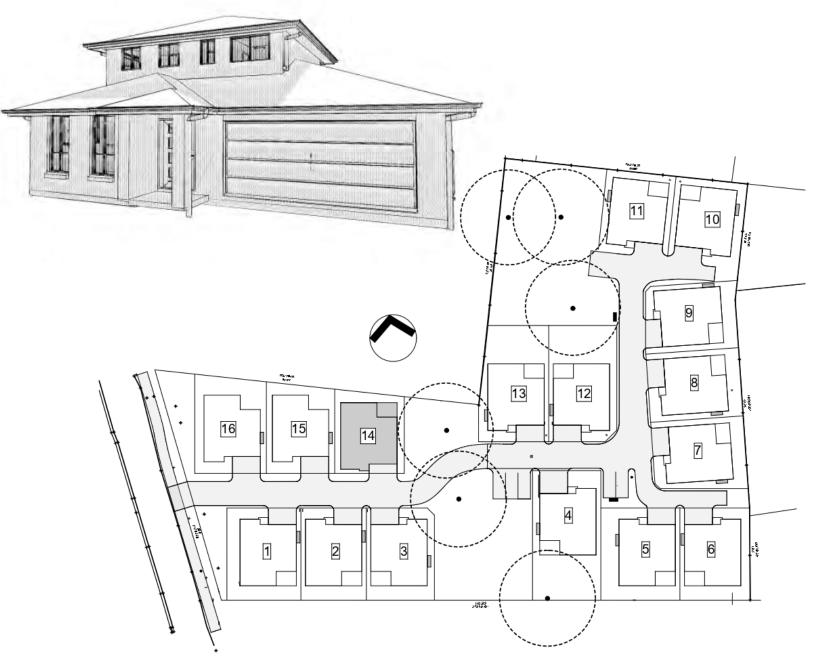
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

  WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEAL.
- WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS APPROVED WET AREA SEAL.
   POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
   ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER). PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTE
  CUT AND FILL TO BUILDER'S DISCRETION.
  NOMINATED WATER TO TANK. OVERFLOW TO STREET.
  BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.
  WIND E.G. "N3"
  SITE E.G. "P"
  SOIL E.G. "M"



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 Lot 14, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811 drawing title COVER SHEET 10558 JOB No. 2 NTS SCALE PAGE RSU DATE 2/09/2020 WIND 'N2' SITE

SITE INFORMATION				
LOT NUMBER:	14			
REGISTERED PLAN NUMBER SP				
SUBURB	PORT MACQUARIE			
LOCAL AUTHORITY	PORT MACQUARIE			
PARISH				
COUNTY				
SITE AREA	243m²			

Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas
- (c) 50mm above paved or concrete areas with fall away from the building

Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catchment Area Gutter Description 30 m2 115mm D Gutter 125mm D Gutter 150mm D Gutter 40m2 50m2 60m2 150mm D Gutter

Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

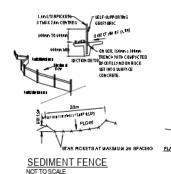
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting



CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE. CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.

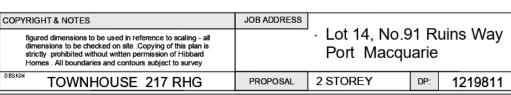
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRICTO BE ENTRENCHED. 4. BACKFILL TRENCH OVER BASE OF FABRIC. 5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER.

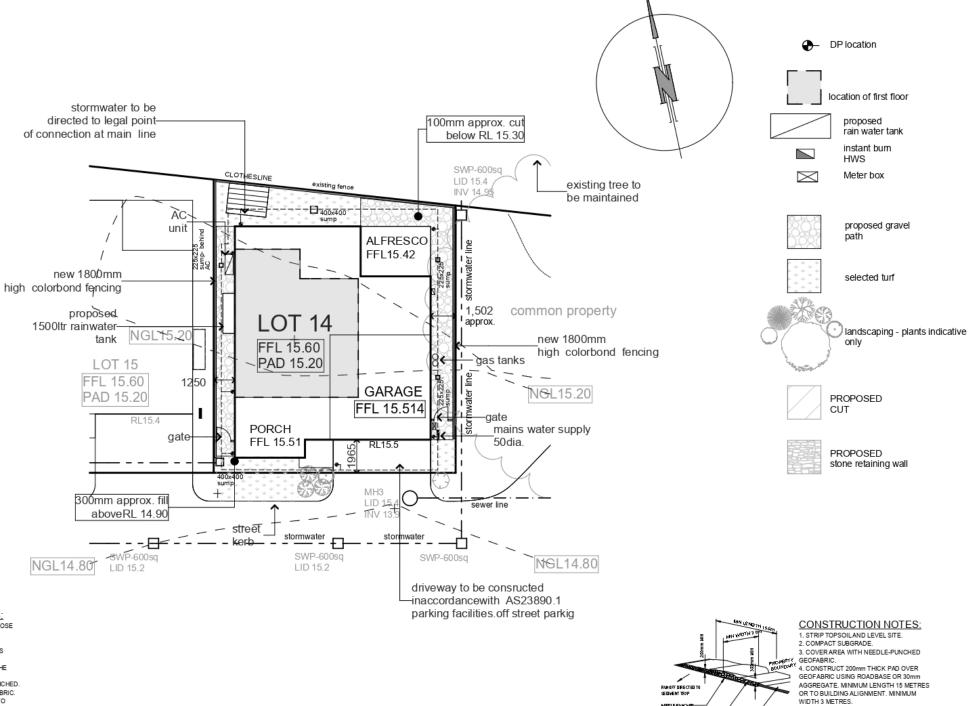
6. JOIN SECTIONS OF FABRIC AT A SUPPORT
PLAN POST WITH A 150mm OVERLAP.



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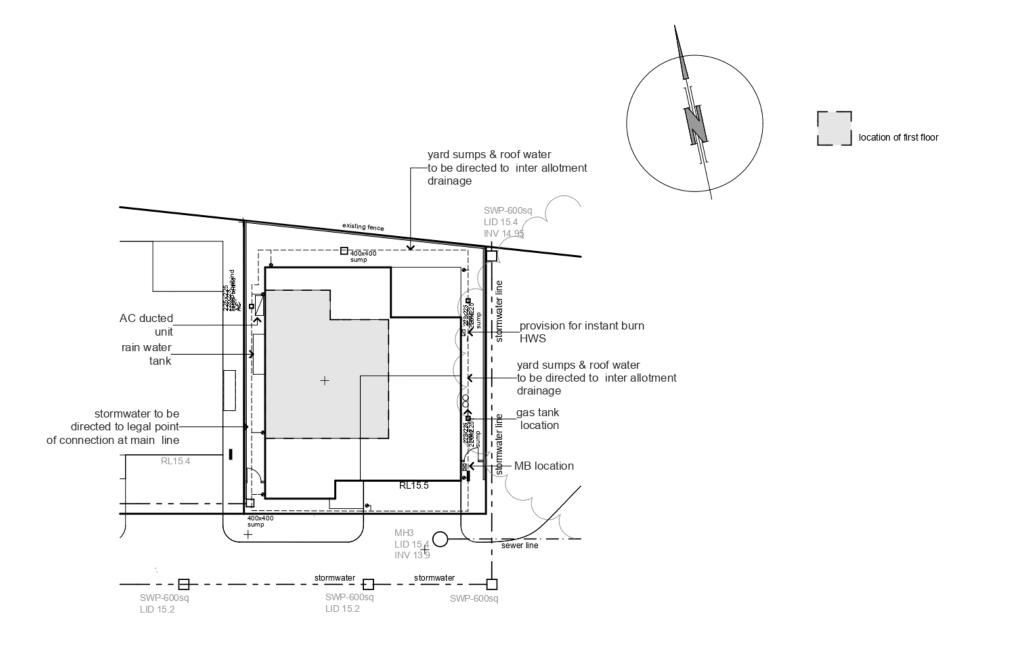


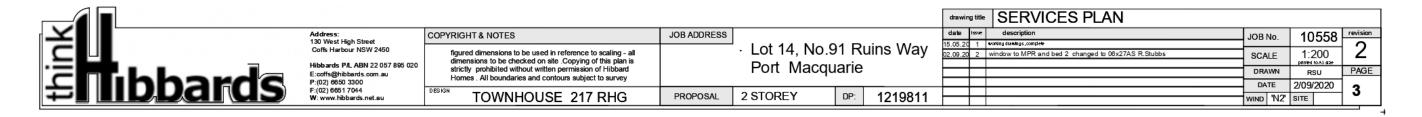
5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT

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DGB 24 ROADBASE OF

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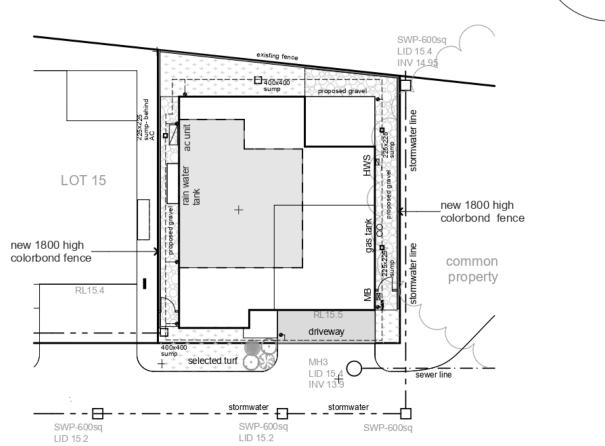


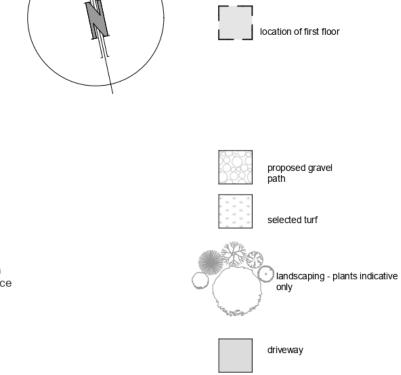




Note: Plant types will be selected from the following range by the nominated landscaper. Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers





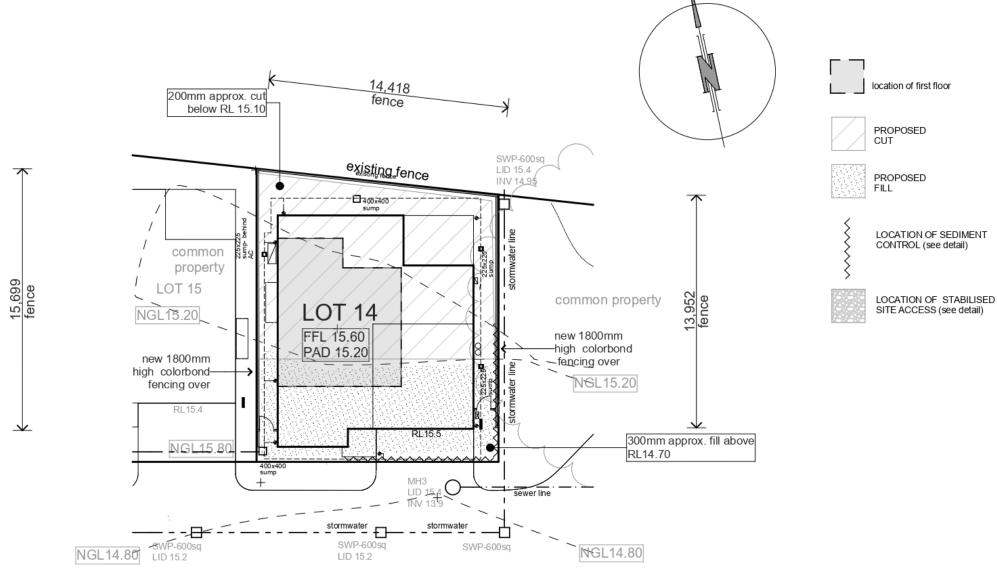


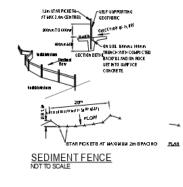
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DESIGN TOWNHOUSE 217 RHG PROPOSAL 2 STOREY DP: 1219811

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				WIND	'N2'	SITE			





CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE AS POSSIBLE TO PARALLELTO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRESS APART.

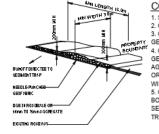
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.

4. BACKFLL TRENCH OVER BASE OF FABRIC.

5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC

MANUFACTURER.

6. JOIN SECTIONS OF FABRIC AT A SUPPORT BOST WITH A 150mm OVERLAP. POST WITH A 150mm OVERLAP



## **CONSTRUCTION NOTES:**

- STRIP TOPSOIL AND LEVEL SITE.
   COMPACT SUBGRADE.
   COVER AREA WITH NEEDLE-PUNCHED GEOFABRIC. 4. CONSTRUCT 200mm THICK PAD OVER
- 4. CONSTRUCT ZOMM IN HICK PAD OVER GEOFABRIC USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM
- WIDTH 3 METRES.
  5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT

STABILIZED SITE ACCESS NOT TO SCALE

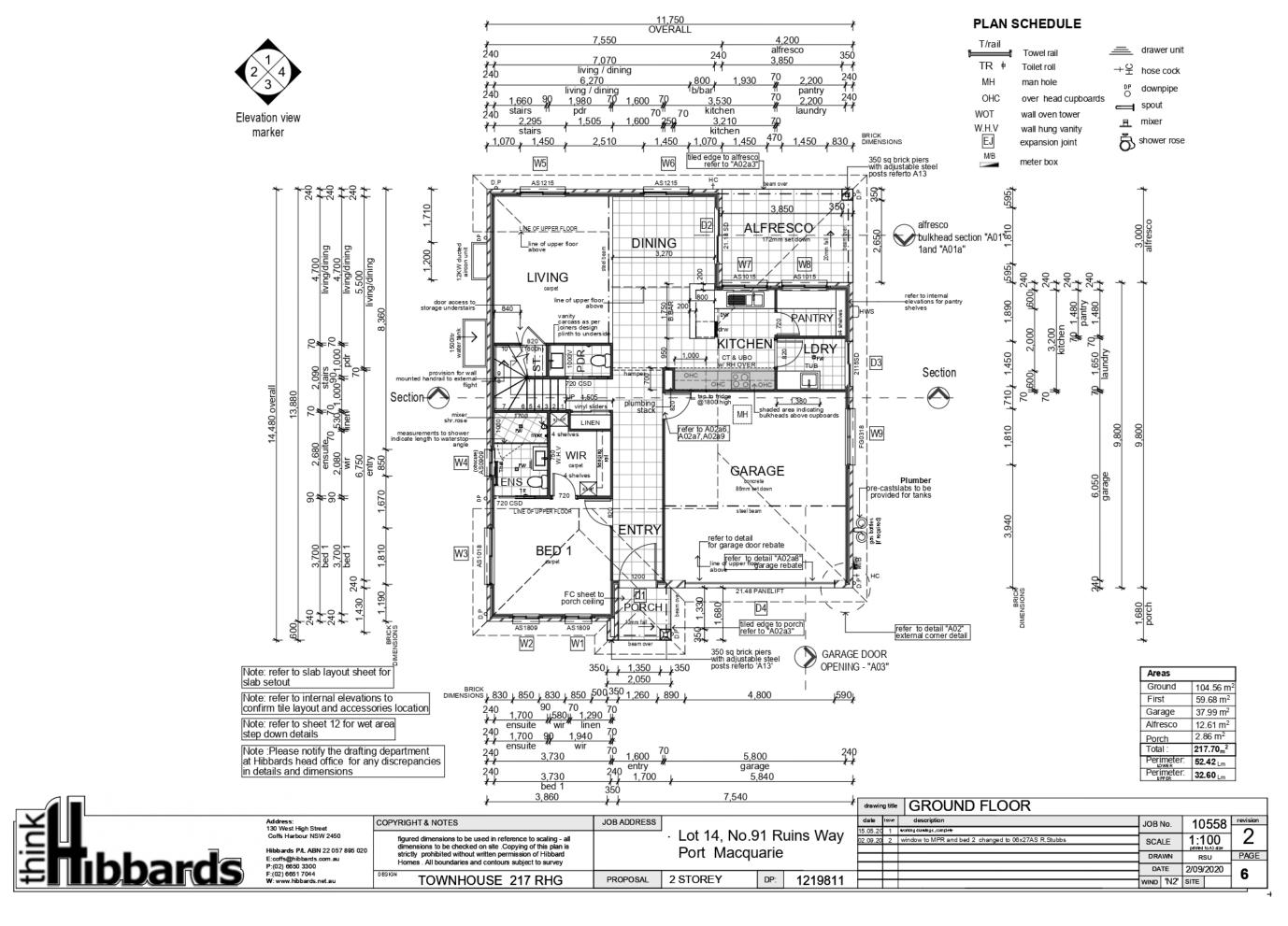


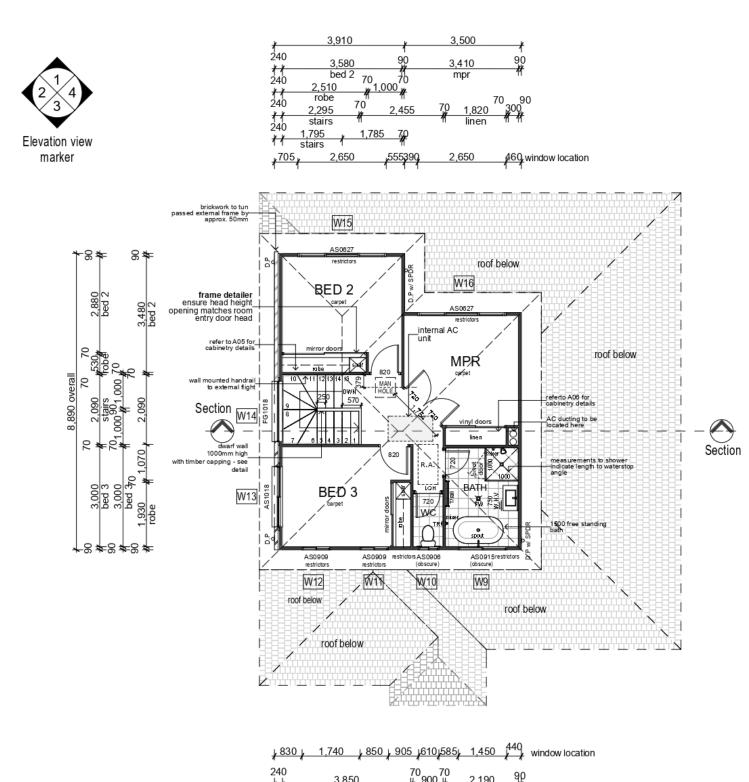
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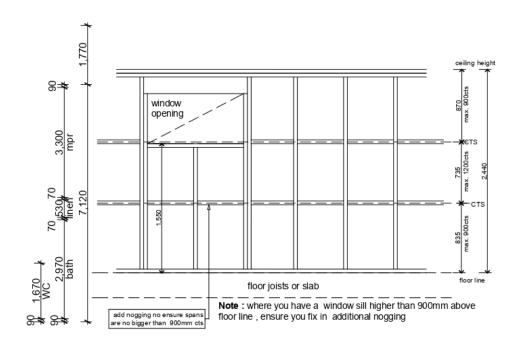
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2,190

## **PLAN SCHEDULE**

T/rail	Towel rail	_	drawer unit
TR 🕈	Toilet roll	+우	hose cock
MH	man hole	DP	downpipe
OHC	over head cupboards	_	spout
WOT	wall oven tower		mixer
W.H.V	wall hung vanity	포	
EJ	expansion joint	Q	shower rose
M/B	meter box		



Areas	
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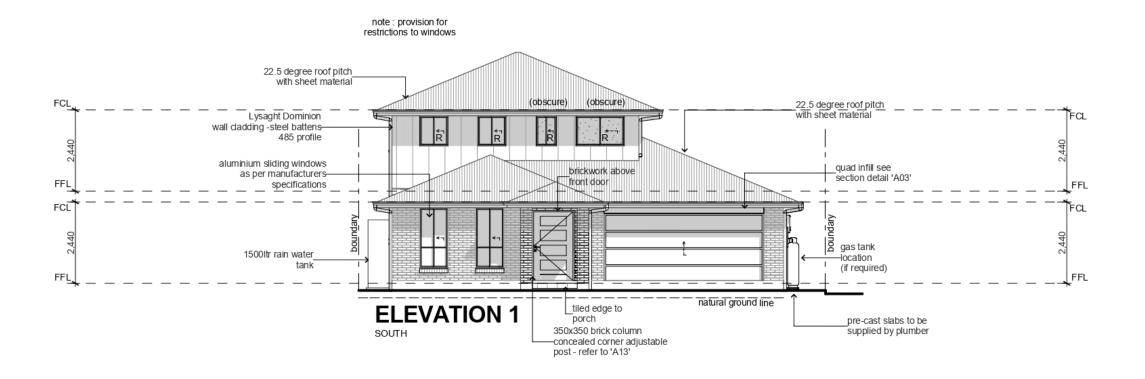
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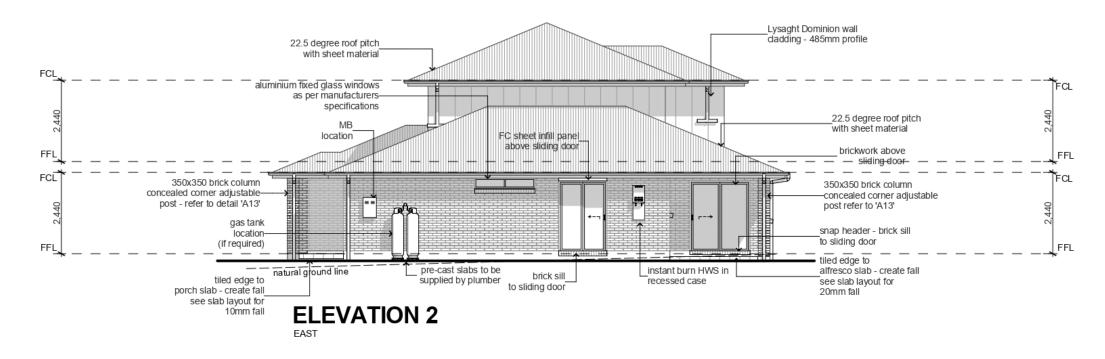
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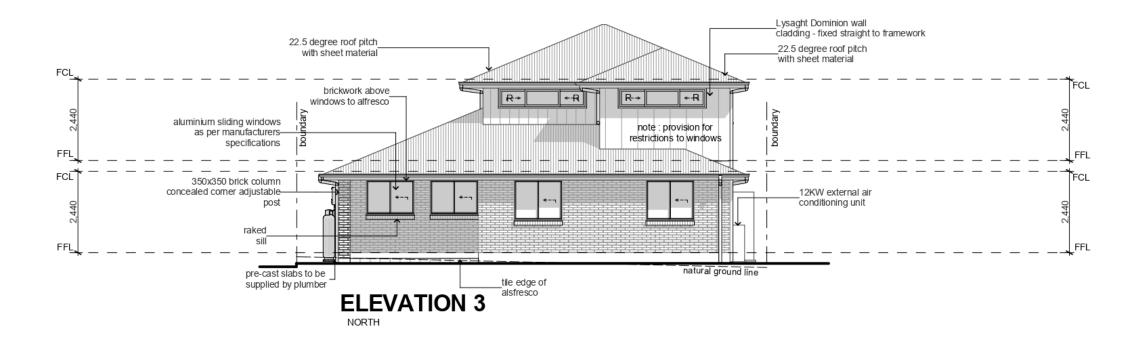
· Lot 14, No.91 Ruins Way Port Macquarie DP: 1219811

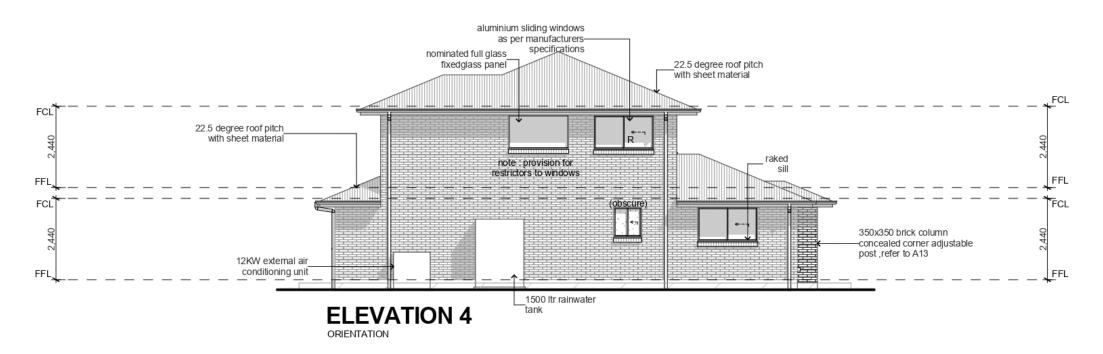
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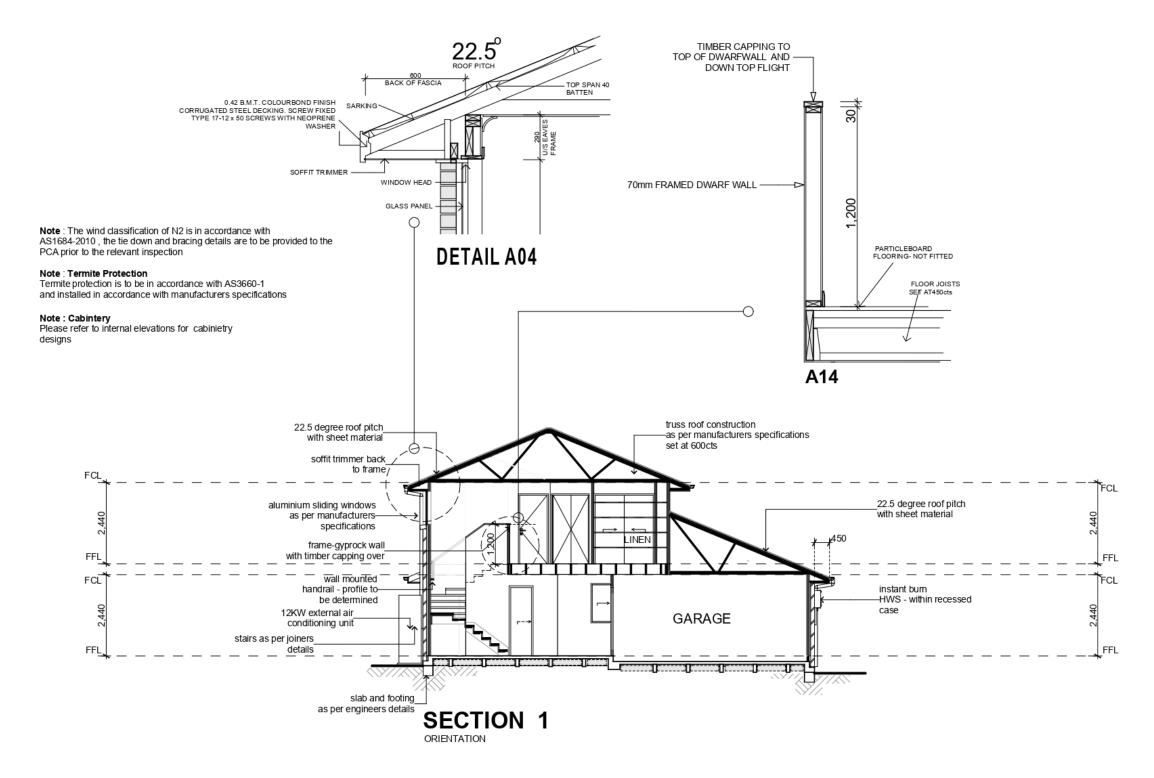


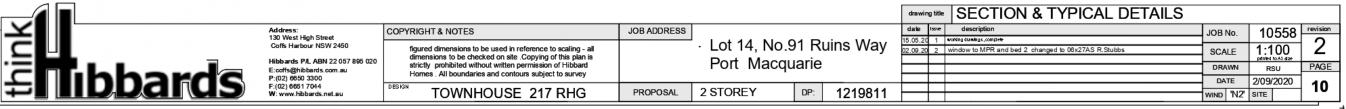
							drawing title	ELEVATIONS 1-2			
<b>Y</b>	Address: 130 West High Street	COPYRIGHT & NOTES	JOB ADDRESS				date lsse	description	JOB No.	10558	revision
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	W: www.hibbards.net.au	TOWNHOUSE 217 RHG	FROFUSAL	ZOTORET	Dr.	1219011			WIND 'N2'	SITE	<b></b>





						drawing title	ELEVATION 3-4			
Address: 130 West High Street	COPYRIGHT & NOTES	JOB ADDRESS	I			date Issue	description	JOB No.	10558	revision
Coffs Harbour NSW 2450	figured dimensions to be used in reference to scaling - all dimensions to be checked on site .Copying of this plan is				ıins Way	10.00.20		SCALE	1:100 printed to A3 size	2
E:coffs@hibbards.com.au	strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey		Port Macqu	Jane				DRAWN	RSU	PAGE
F:(02) 6651 7044 W: www.hibbards.net.au	TOWNHOUSE 217 RHG	PROPOSAL	2 STOREY	DP:	1219811					9
	130 West High Street Coffs Harbour NSW 2450 Hibbards P.I. ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 6650 3300 F:(02) 6651 7044	130 West High Street Coffs Harbour NSW 2450 Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 8850 3300 F:(02) 8851 3204 Figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey	130 West High Street Coffs Harbour NSW 2450 Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 8950 3300 Homes: All boundaries and contours subject to survey	130 West High Street Coff Harbour NSW 2450  Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 895 0 3300  From 1885 2744  From 1885 2745  Figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes. All boundaries and contours subject to survey	130 West High Street Coffs Harbour NSW 2450 Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 9850 3300 Homes: All boundaries and contours subject to survey	130 West High Street Coffs Harbour NSW 2450  Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 6650 3300  Figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes. All boundaries and contours subject to survey  - Lot 14, No.91 Ruins Way Port Macquarie	Address: 130 West High Street Coffs Harbour NSW 2450  Hibbards P/L ABN 22 057 895 020 E:coffs@hibbards.com.au P:(02) 6850 3300  COPYRIGHT & NOTES  JOB ADDRESS  - Lot 14, No.91 Ruins Way figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey	130 West High Street Coffs Harbour NSW 2450  Hibbards PIL ABIN 22 057 885 020 E:coffs@hibbards.com.au P:(02) 6650 33000  Exception of the properties of the	Address: 130 West High Street Coff Harbour NSW 2450  Hibbards PL ABM 22 057 895 020 E:coffs@hibbards.com.au P:(02) 6850 33000  Exception  COPYRIGHT & NOTES  JOB ADDRESS  JOB ADDRESS  - Lot 14, No.91 Ruins Way Profit Macquarie  - DRAWN DATE	Address: 130 West High Street Coff Harbour NSW 2450 Hibbards PIL ABM 22 057 895 020 E:coffs@hibbards.com.au P:(02) 6850 33000 E:coffs@hibbards.com.au P:(02)





# DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
2	site plan
3	services plan
4	landscape plan
6	excavation + retaining walls
7	ground floor
8	first floor
9	elevations 1-2
10	elevation 3-4
11	section & typical detail
12	slab plan - penetrations- rebates
13	floor joists layout (indicative only) - refer to framers details
14	electrical layout
15	kitchen / laundryinternal elevations
16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
21	bracing details - first floor
22	A13- adjustable steel posts
23	Alfresco beam and sliding door section details
24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

### BASIX REQUIREMENTS

- BASIX REQUIREMENTS

  3-STARS SHOWERHEADS.
  4-STARS WC, 4-STARS TAPS.
  1500 LTR SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m² OF ROOF AREA.
  SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
  R? INSULATION BATTS TO EXTERNAL WALLS.
  R? INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE.
  ROOF DARK MEDIUM LIGHT.
  WINDOWS SINGLE CLEAR.
  S-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG/NATURAL.
  EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD.
  12KW DUCTED AIR CONDITIONING
  OVEN ELECTRIC CHEF CVE612SA.
  COOKTOP CHEF NATURAL/LPG GAS CHG646SA.
  RANGEHOOD WESTINGHOUSE RECIRCULATING WRR614SA.
  DISHWASHER DISHLEX ROTARY ELECTRONIC DSF6105X S/S.

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

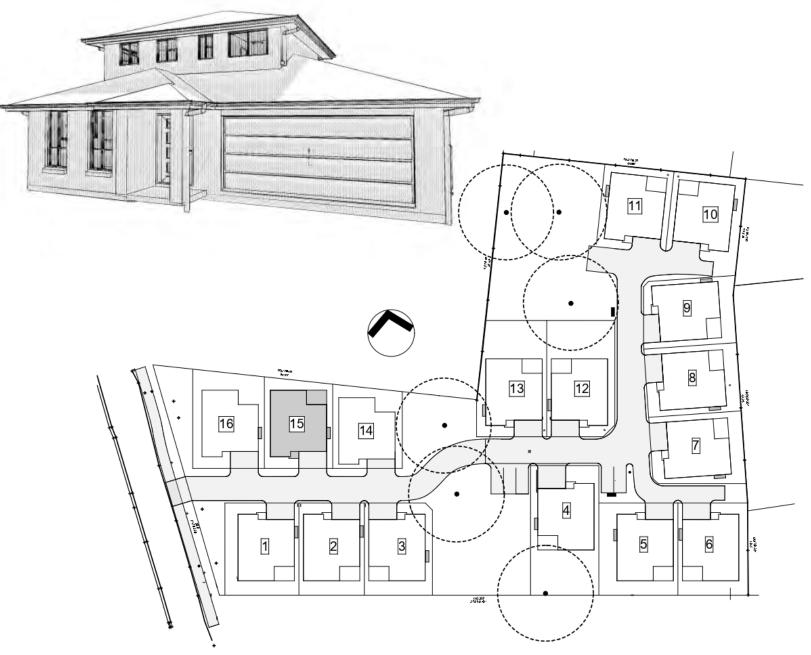
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

  WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEAL. • WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS APPROVED WET AREA SEAL.
  • POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
  • ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
  • TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



## **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).
- KEQUIKEMEN IS (REFER BUILDER).

   PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.

   CUT AND FILL TO BUILDER'S DISCRETION.

   NOMINATED WATER TO TANK. OVERFLOW TO STREET.

   BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.

   WIND E.G. "N3"

   SITE E.G. "P"

   SOIL E.G. "M"



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 Lot 15, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811

drawin	g title	COVER SHEET					
date	issue	description	JOB I	Vo.	10	559	revision
15.05.20	1	working drawings , complete				-	. つ l
02.09.20	2	windows to MPR and Bed 2 windows changed	SCALE		NTS		
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			DA.	TE	2/09/	2020	ا ما
							1
			WIND	'N2'	SITE		

SITEIN	IFORMATION
LOT NUMBER:	15
REGISTERED PLAN NUMBER SP	
SUBURB	PORT MACQUARIE
LOCAL AUTHORITY	PORT MACQUARIE
PARISH	
COUNTY	
SITE AREA	261 m <sup>2</sup>

Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas
- (c) 50mm above paved or concrete areas with fall away from the building

### Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Catument Area	Gutter Description
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

### Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

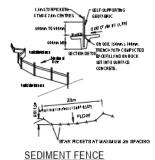
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting



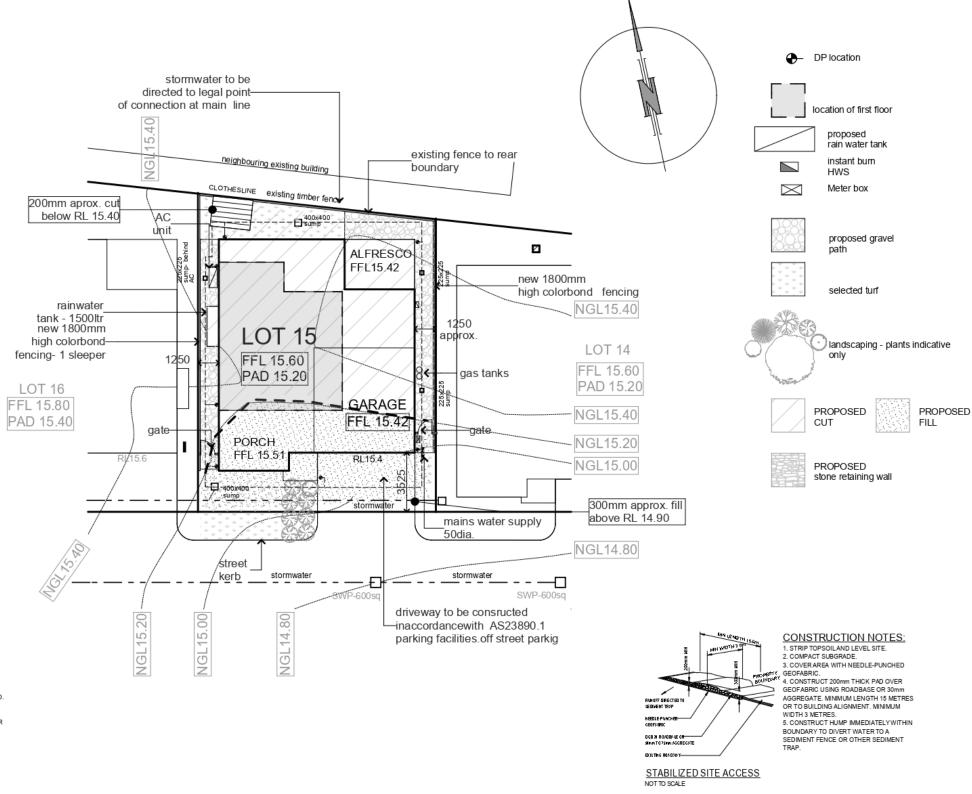
**CONSTRUCTION NOTES:**  CONSTRUCT SEDIMENT FENCE AS CLOSE
 AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE. CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.

3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRICTO BE ENTRENCHED. 4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER.

6. JOIN SECTIONS OF FABRIC AT A SUPPORT
PLAN POST WITH A 150mm OVERLAP.





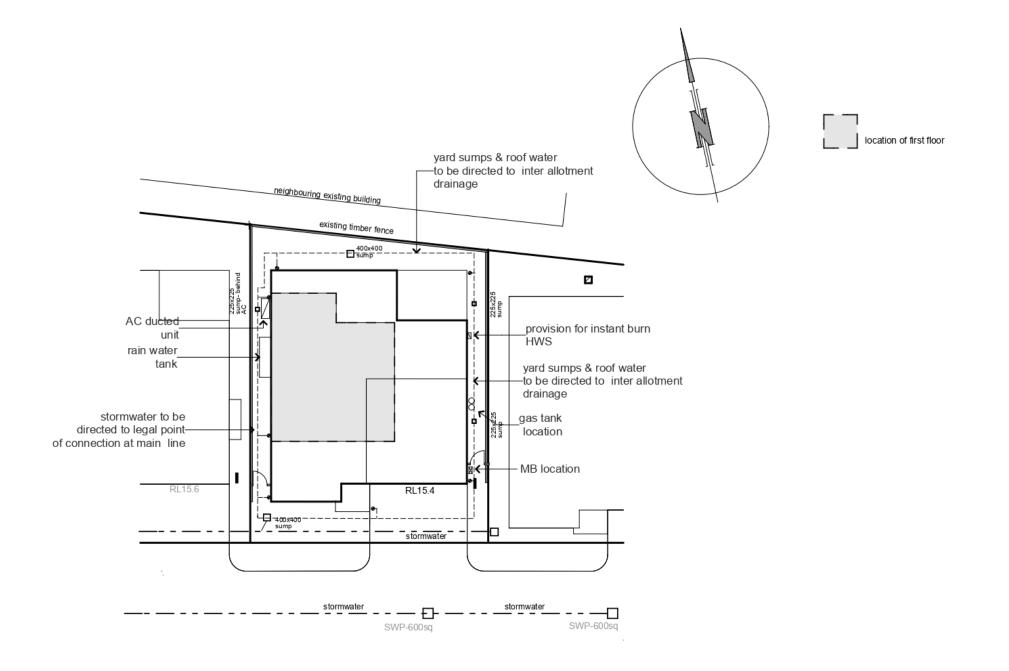


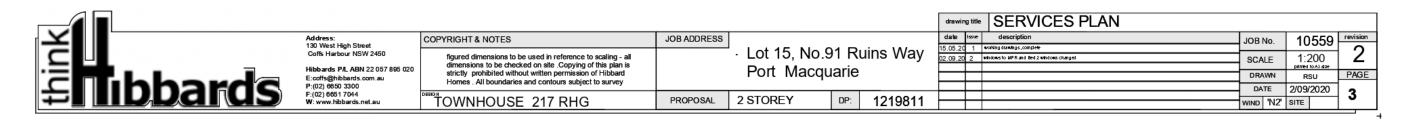
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	drawin	g title	OTTETENT					
I	date	š	description	JOB No.		10	559	revision
I	15.05.20	1	working drawings , complete			10000		2
I	02.09.20	2	windows to MPR and Bed 2 windows changed	SCALE		1:200		
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_				WIND	'N2'	SITE		

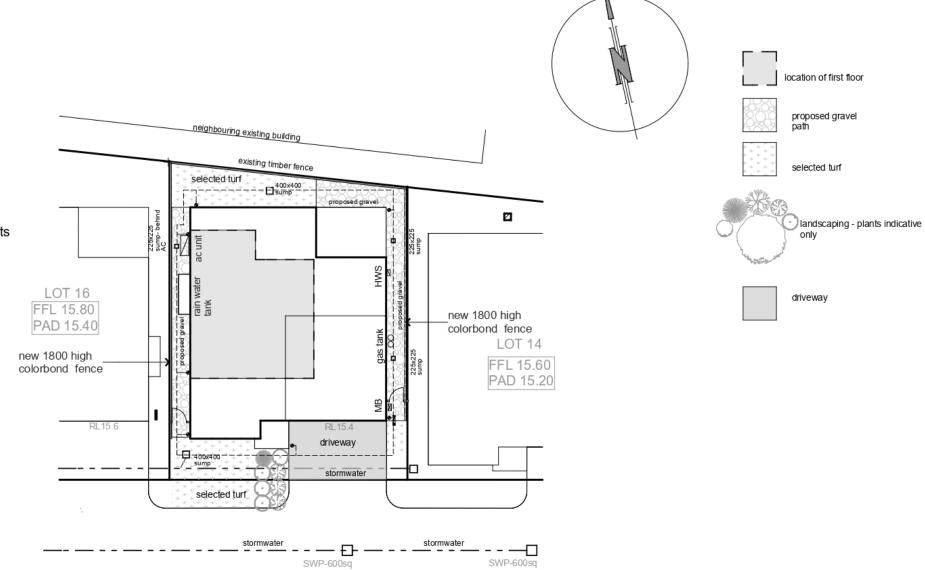




# Landscaping

Note: Plant types will be selected from the following range by the nominated landscaper. Specific types have not been nominated due to availability of plants

- gardenia florida
- viburnum tinus
- virburnum odartissium
- oriental pearl
- callistamen
- nandina moon bay
- westringa
- diosma
- port wine magnolia
- photinia super red
- purple fountain grass
- mixed gardens of shrubs grasses & ground covers





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DESIDENT TOWNHOUSE 217 RHG

JOB ADDRESS

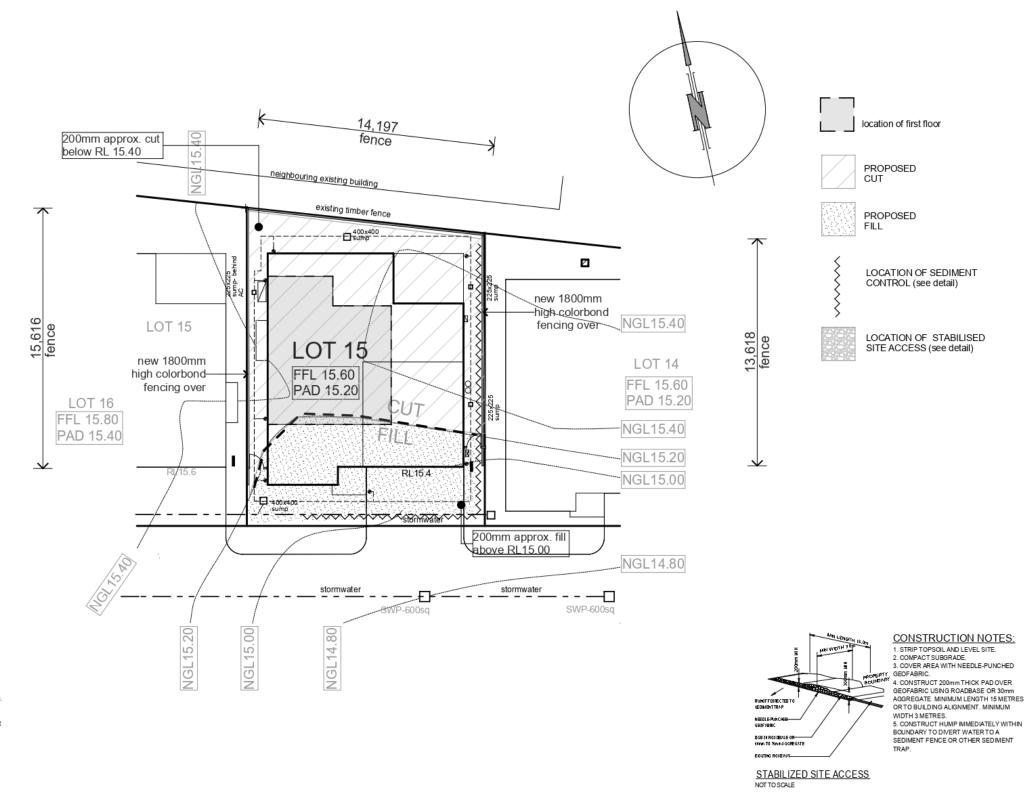
- Lot 15, No.91 Ruins Way Port Macquarie

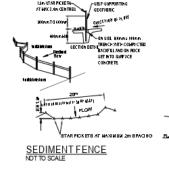
PROPOSAL

2 STOREY

DP: 1219811

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						printed	to A3 size		
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1				DATE		2/09/2020		1 .	
						2020	<b>∣4</b>		
				WIND	'N2'	SITE			





CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE AS POSSIBLE TO PARALLELTO THE CONTOURS OF THE SITE.

2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRESS APART.

3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.

4. BACKFLL TRENCH OVER BASE OF FABRIC.

5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC

MANUFACTURER.

6. JOIN SECTIONS OF FABRIC AT A SUPPORT BOST WITH A 150mm OVERLAP.

POST WITH A 150mm OVERLAP

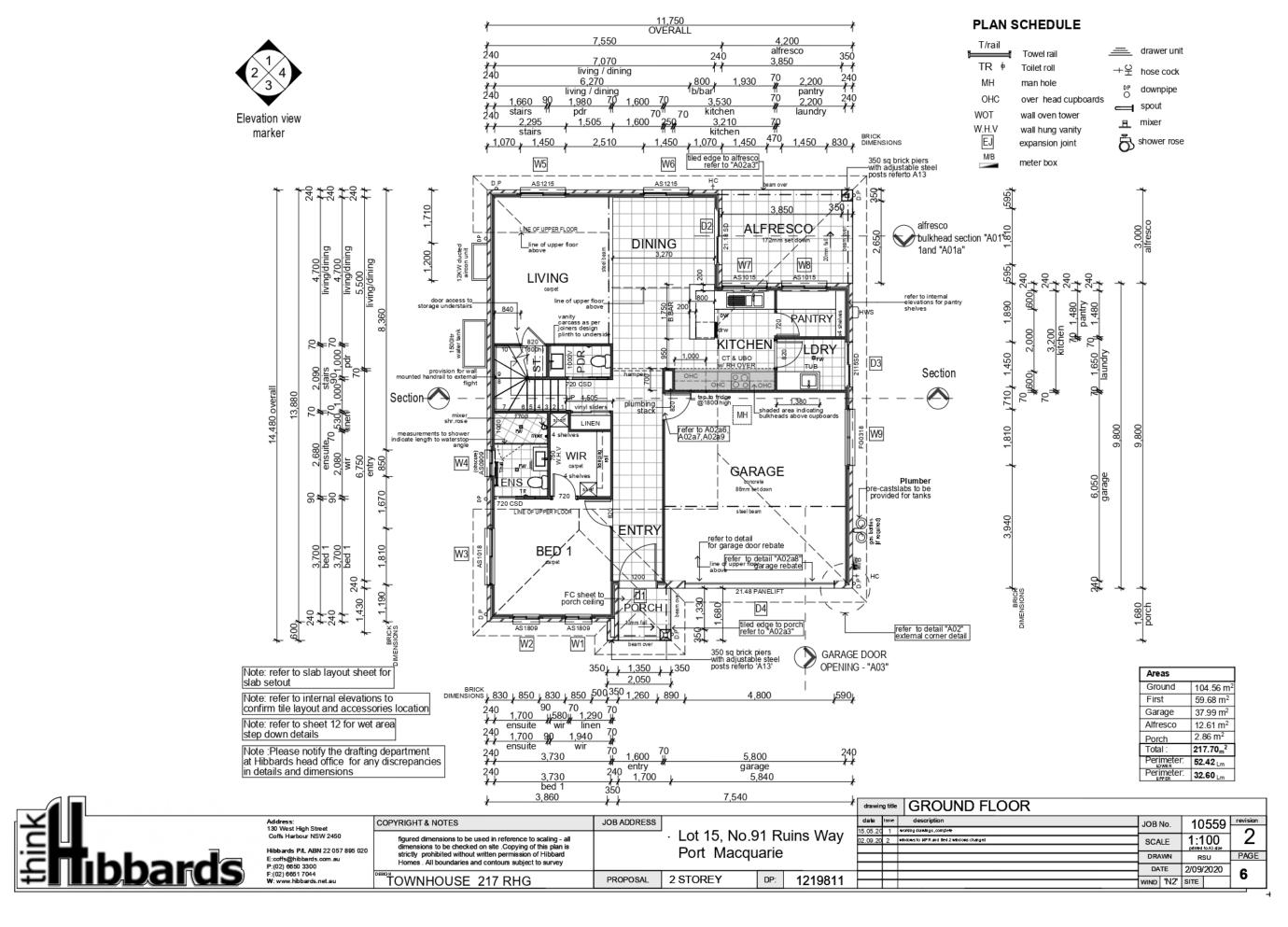


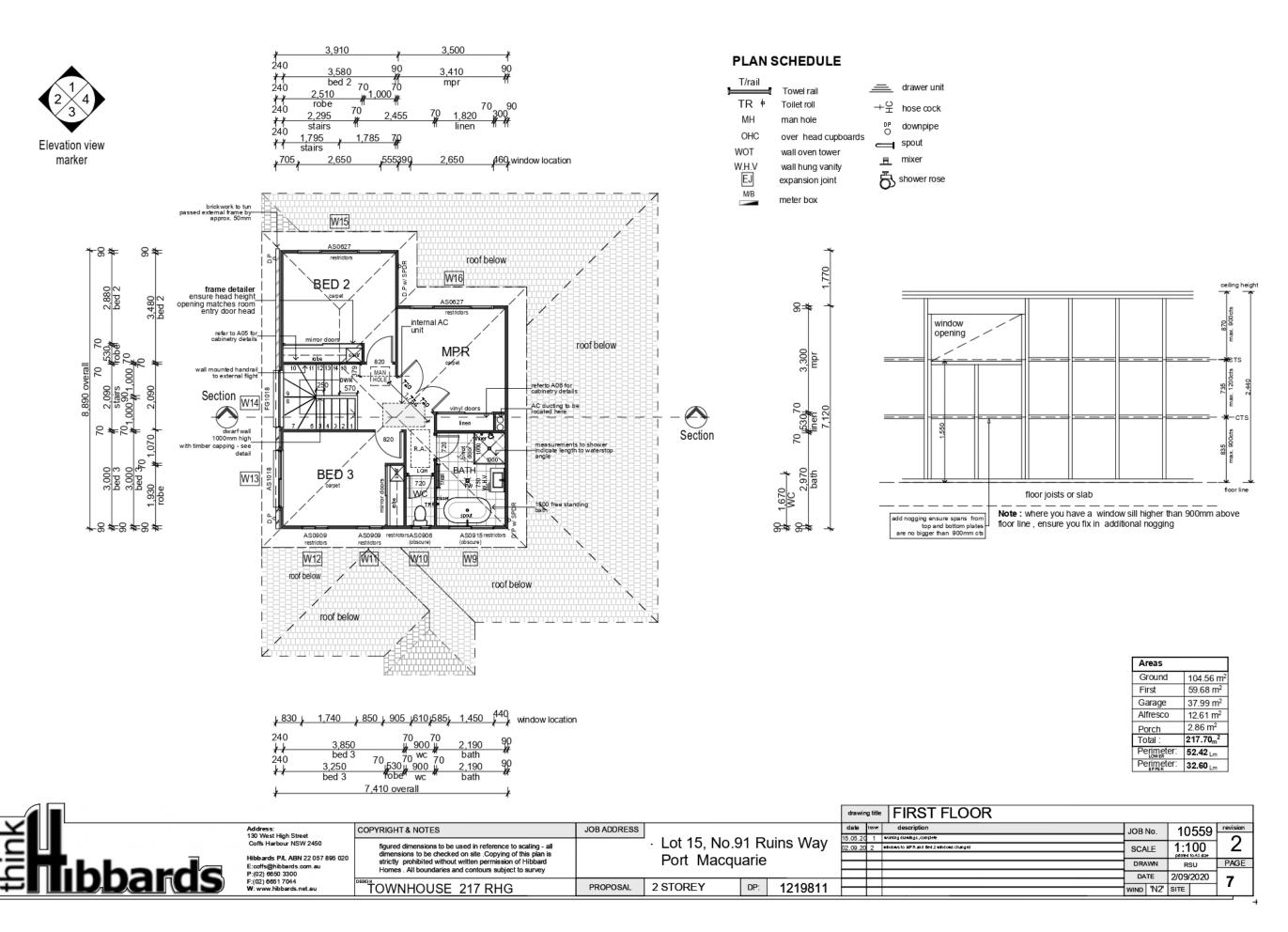
Address: 130 West High Street Coffs Harbour NSW 2450

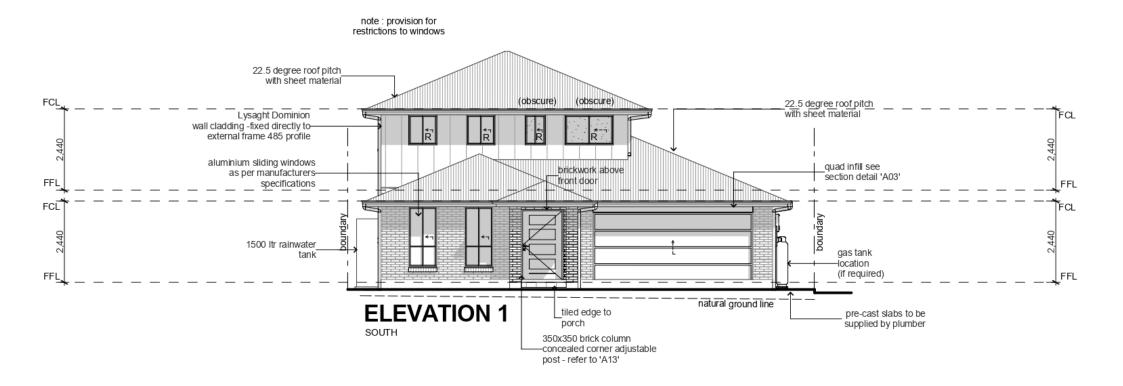
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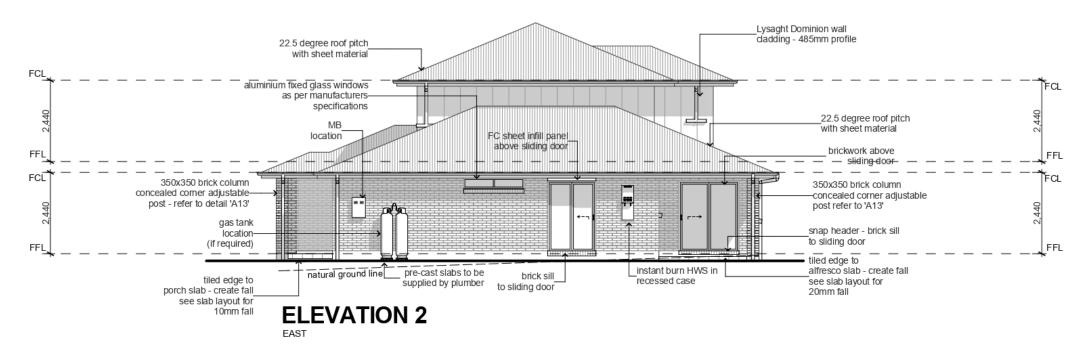
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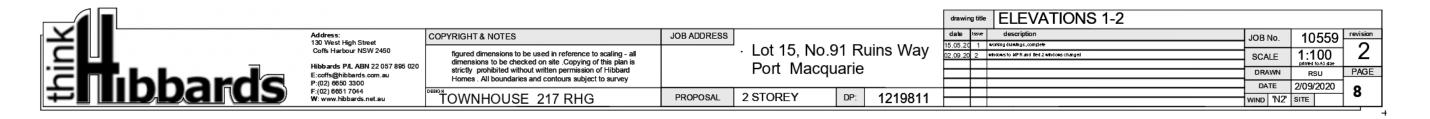
	drawing title EXCAVATION - RETAINING									
	date	issue	description	JOB	No	10	559	revision		
[	15.05.20	1	working drawings , complete	1111		10000		2		
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				WIND 'N2' SITE						

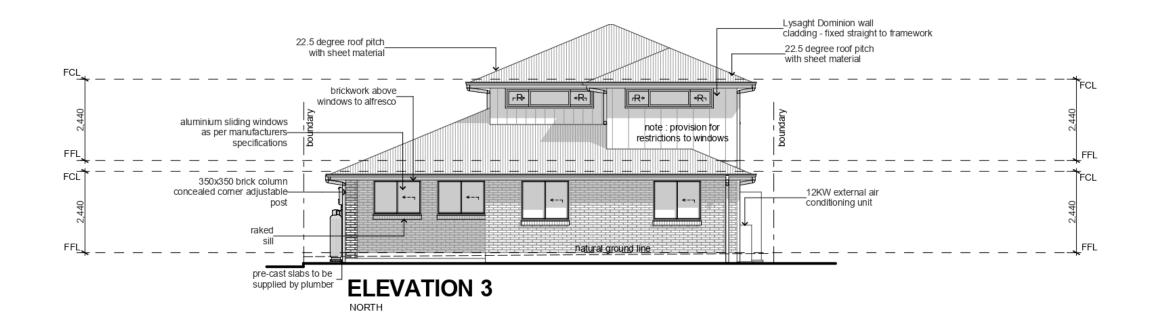


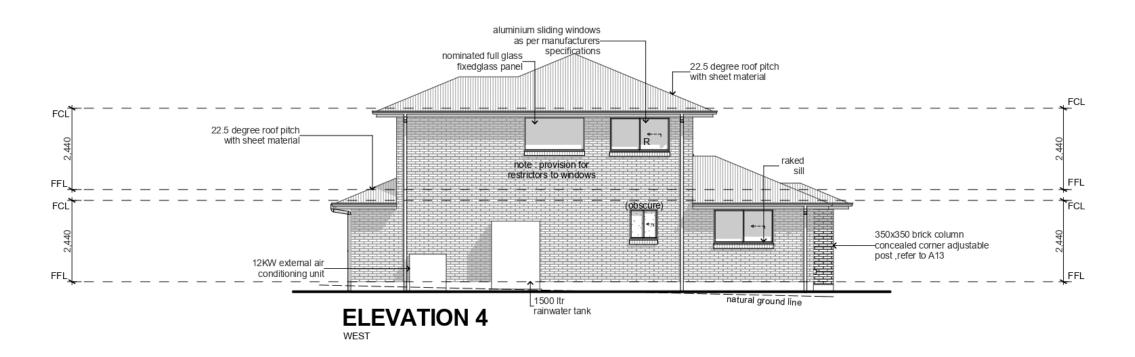




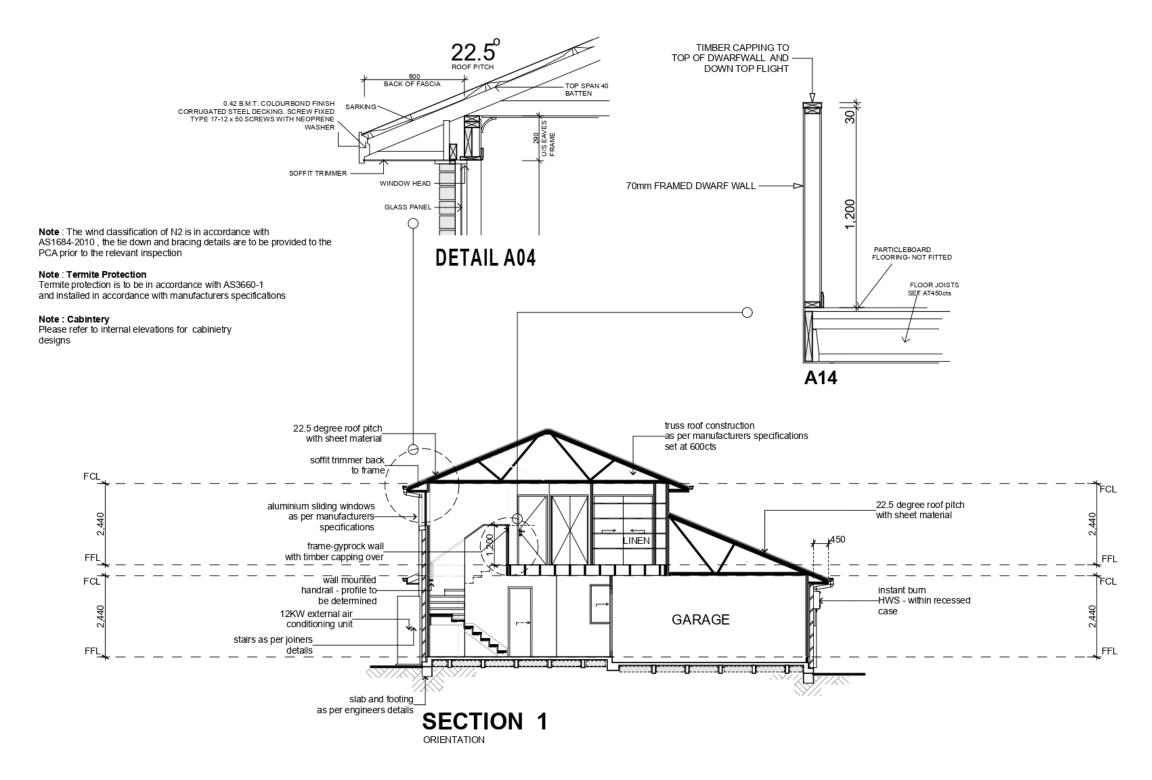


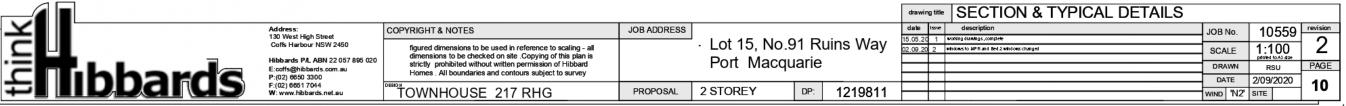






						drawing title	ELEVATION 3-4				
Address: 130 West High Street	COPYRIGHT & NOTES	JOB ADDRESS				date lsse	description	JOB No.	JOB No. 10559 revision		
Coffs Harbour NSW 2450	figured dimensions to be used in reference to scaling - all		ີ · Lot 15, No.91 Ruins Way				working drawings , complete Whiteless to MPR and Bed 2 windows changed	SCALE		2	
Hibbards P/L ABN 22 057 8 E:coffs@hibbards.com.au	strictly prohibited without written permission of Hibbard		Port Macq	uarie				DRAWN	printed to A3 size	PAGE	
P:(02) 6850 3300 F:(02) 6651 7044	Homes . All boundaries and contours subject to survey		T				DATE	2/09/2020	9		
W: www.hibbards.net.au	TOWNHOUSE 217 RHG	PROPOSAL	2 STOREY	DP:	1219811			WIND 'N2'	SITE		





### DRAWING SCHEDULE

SHEET	DESCRIPTION / TITLE
1	cover sheet + drawing schedule ,basix + construction notes
2	site plan
3	services plan
4	landscape plan
6	excavation + retaining walls
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16	powder room -ensuite - WIR internal details
17	bath- WC internal elevations
18	wet area - step downs- shower screen details
19	robe- linen - broom details
20	bracing details - ground floor
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23	Alfresco beam and sliding door section details
24	garage door - head and rebate base section detail
25	general slab floor detail
26	articulation joints - expansion joints
27	junction joint detail - Lysaght Dominion
28	junction joint detail - Lysaght Dominion

#### BASIX REQUIREMENTS

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.

  ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.

  ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

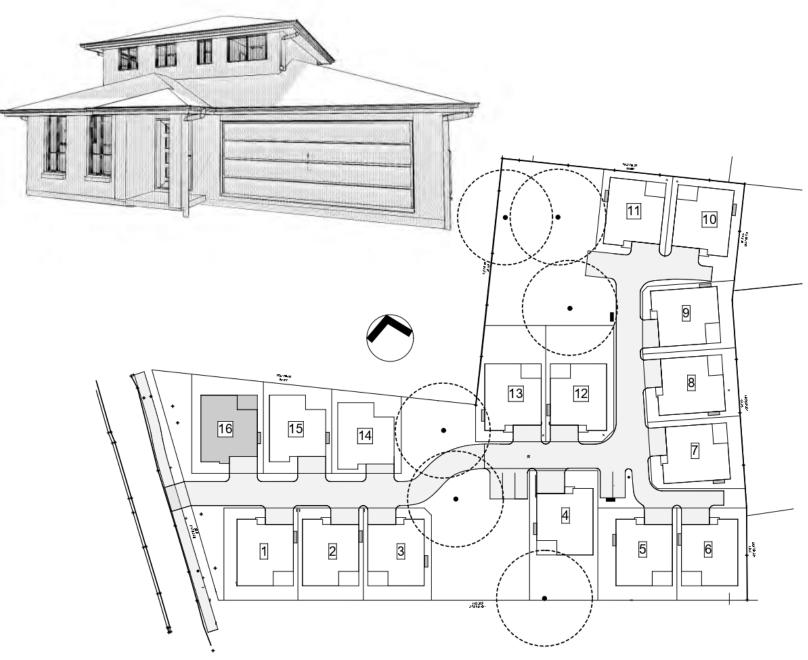
  FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.

  ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.

  ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.

  ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.

  WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEAL.
- WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS APPROVED WET AREA SEAL.
   POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
   ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
   TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1



### **GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
   EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL.
- REQUIREMENTS (REFER BUILDER).

  PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.

  CUT AND FILL TO BUILDER'S DISCRETION.

  NOMINATED WATER TO TANK. OVERFLOW TO STREET.

  BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.

  WIND E.G. "N3"

  SITE E.G. "P"

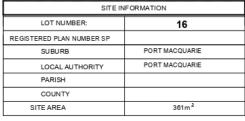
  SOIL E.G. "M" REQUIREMENTS (REFER BUILDER).



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 Lot 16, No.91 Ruins Way Port Macquarie 2 STOREY DP: 1219811 drawing title COVER SHEET 10560 JOB No. 2 NTS SCALE PAGE RSU DATE 2/09/2020 WIND 'N2' SITE



#### Ground Surface Water

Fall Ground min.50mm in first 1m from building

The height of slab above external finished surface to be not less than:

- (a) 150mm above finished ground level
- (b) 100mm above sandy well-drained areas
- (c) 50mm above paved or concrete areas with fall away from the building

#### Roof Drainage

Face gutters to have min. fall of 1:500 Box gutters to have min.fall of 1:100

Gatalinent Alea	Outlet Description
30 m2	115mm D Gutter
40m2	125mm D Gutter
50m2	150mm D Gutter
60m2	150mm D Gutter

#### Downpipes

Min. size 90mm dia.

Max. Spacing of downpipes is 12m

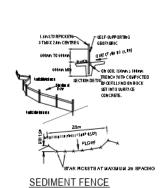
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.

Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.

Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.

100mm cover to stormwater drainage

Contuors & Levels provided by: B.R Development Consulting

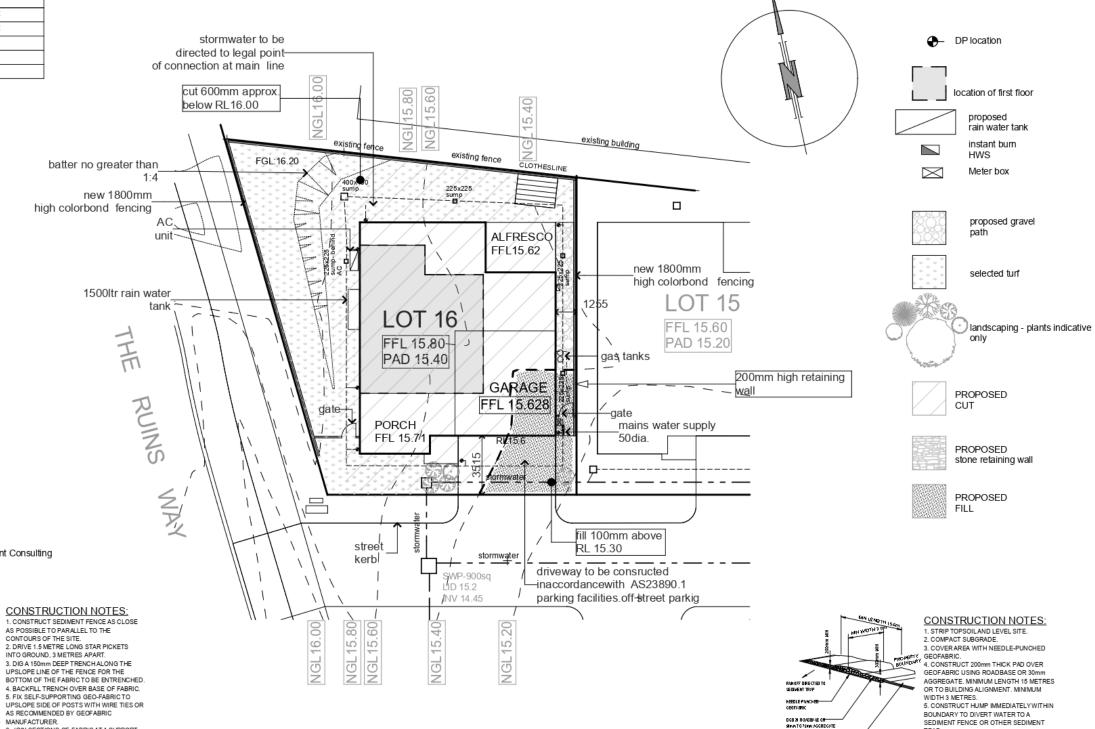


# CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

4. BACKFILL TRENCH OVER BASE OF FABRIC. 5. FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER.

6. JOIN SECTIONS OF FABRIC AT A SUPPORT
PLAN POST WITH A 150mm OVERLAP.

SEDIMENT FENCE





Address: 130 West High Street Coffs Harbour NSW 2450

Hibbards P/L ABN 22 057 895 020

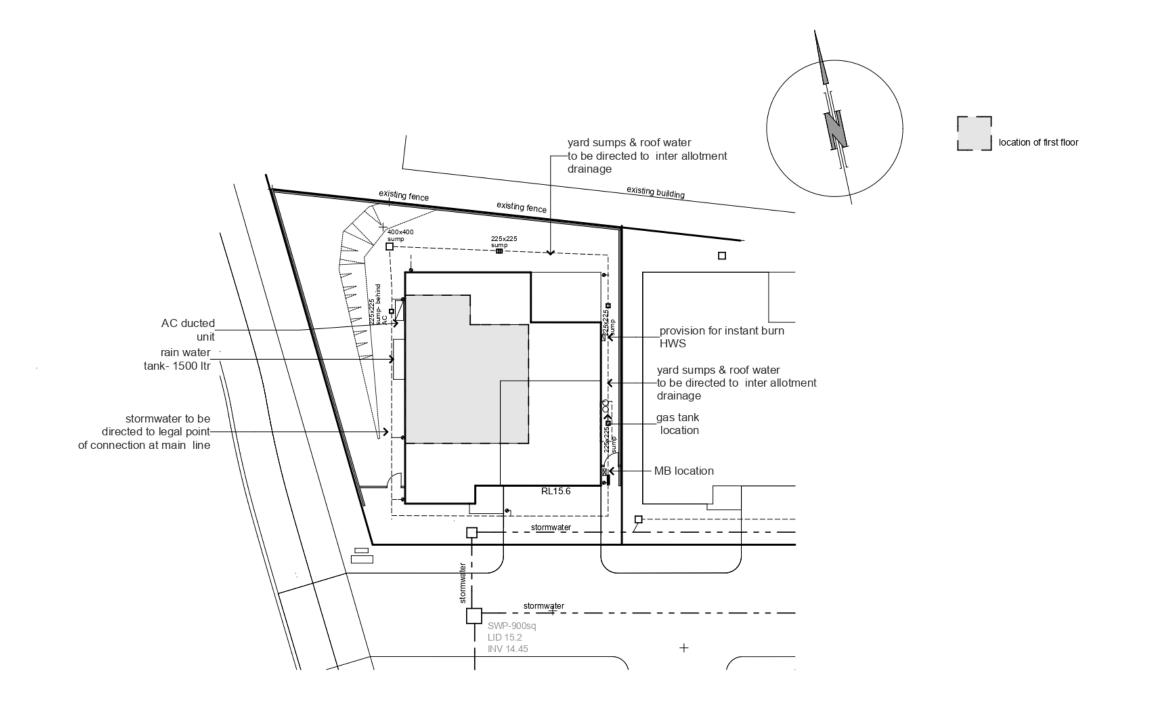
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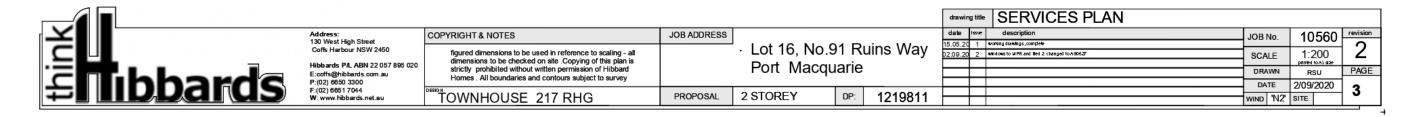
 Lot 16, No.91 Ruins Way Port Macquarie DP: 1219811

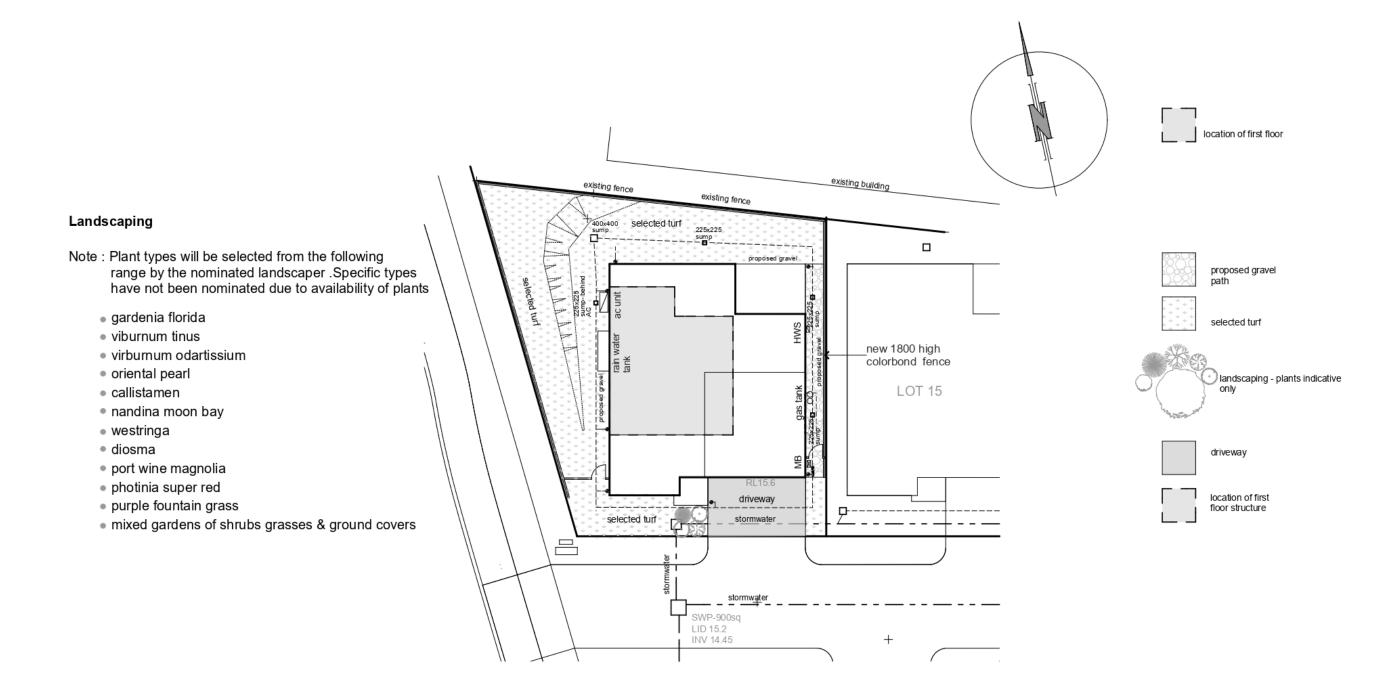
drawin	g title	SITE PLAN					
date	15500	description	JOB NO.   10200 F		JOB No.		revision
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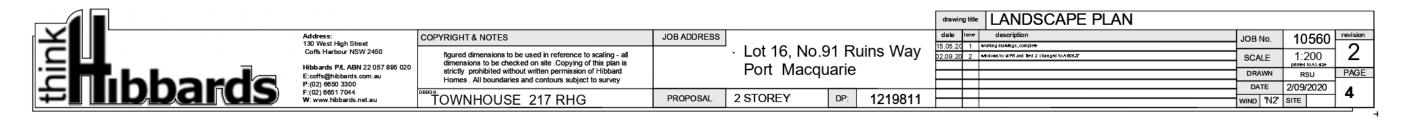
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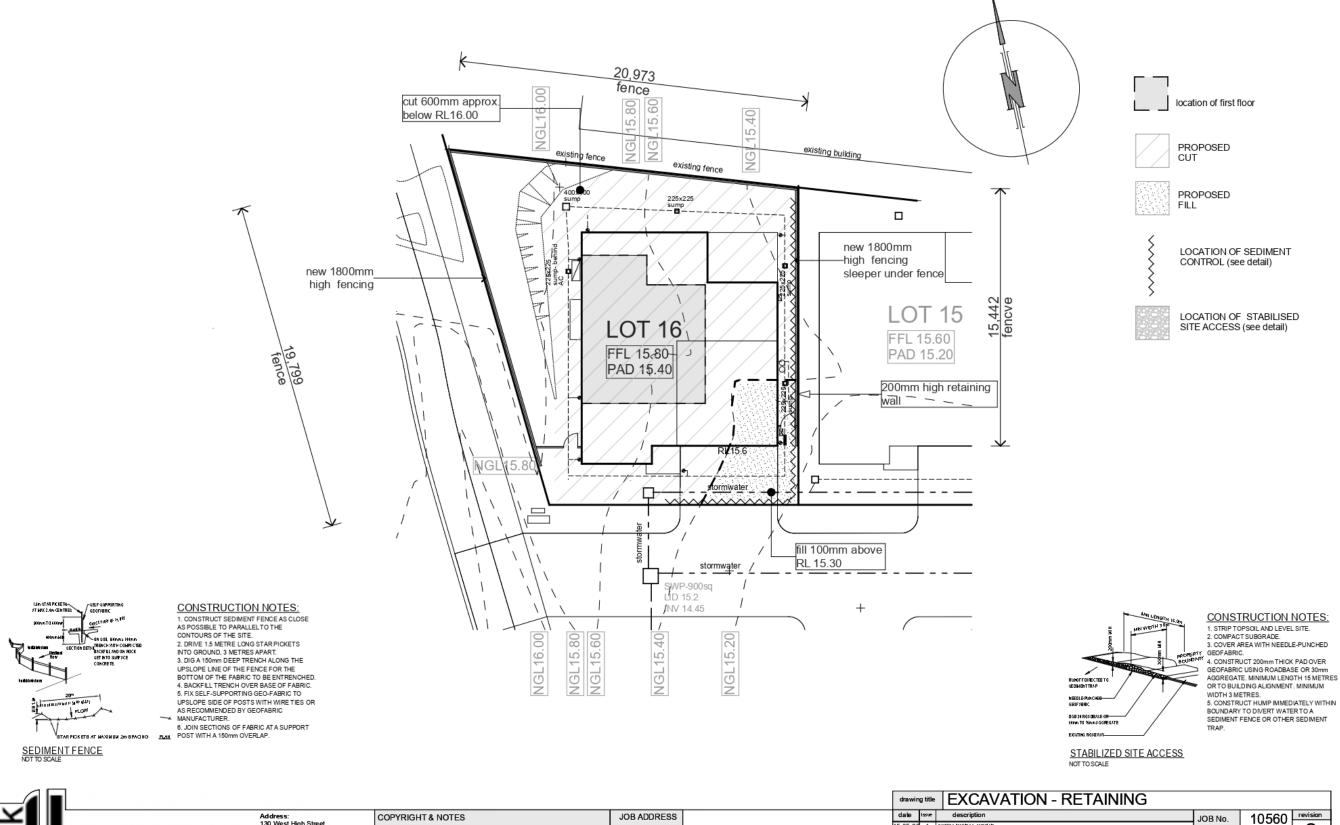
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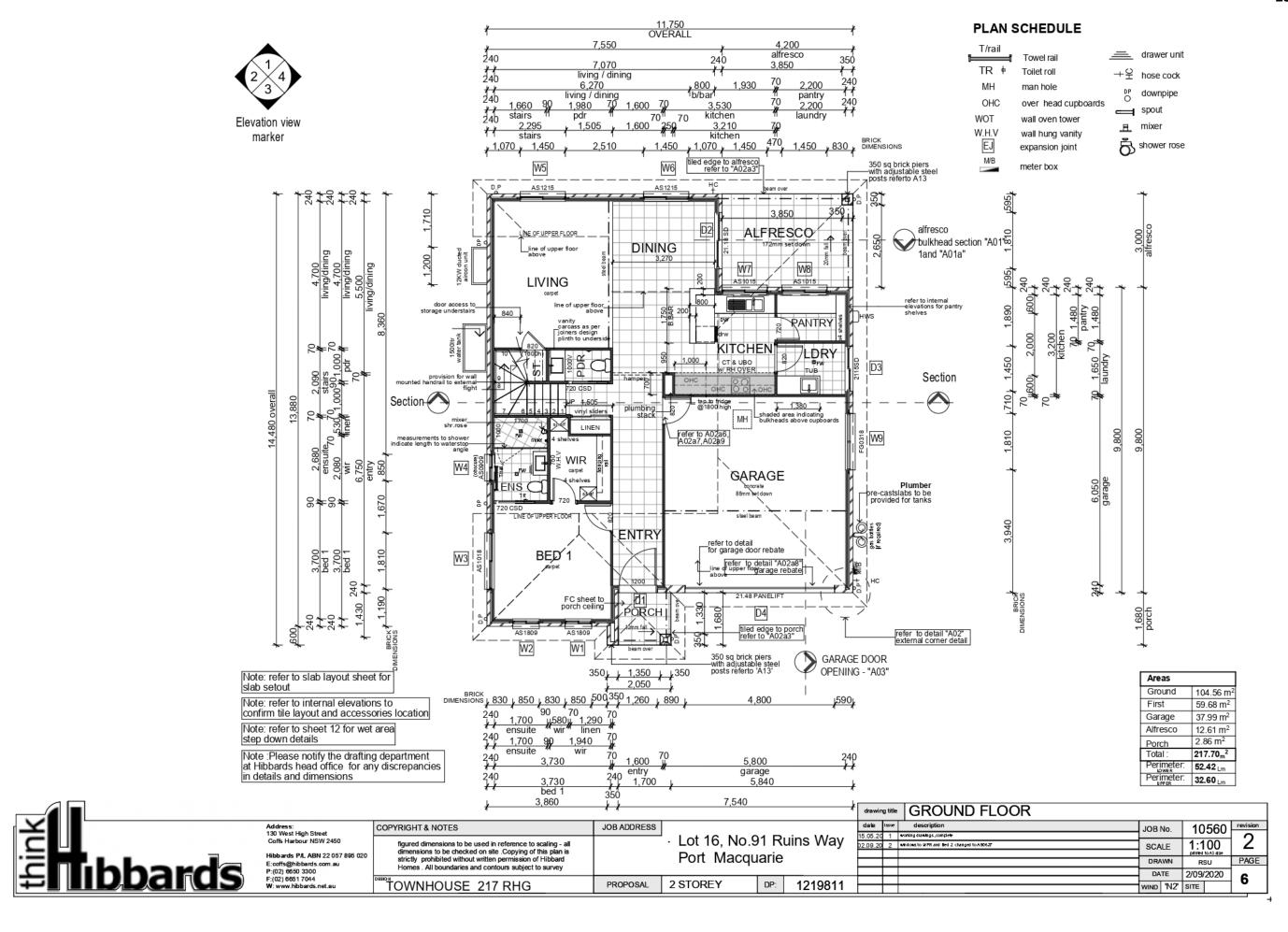


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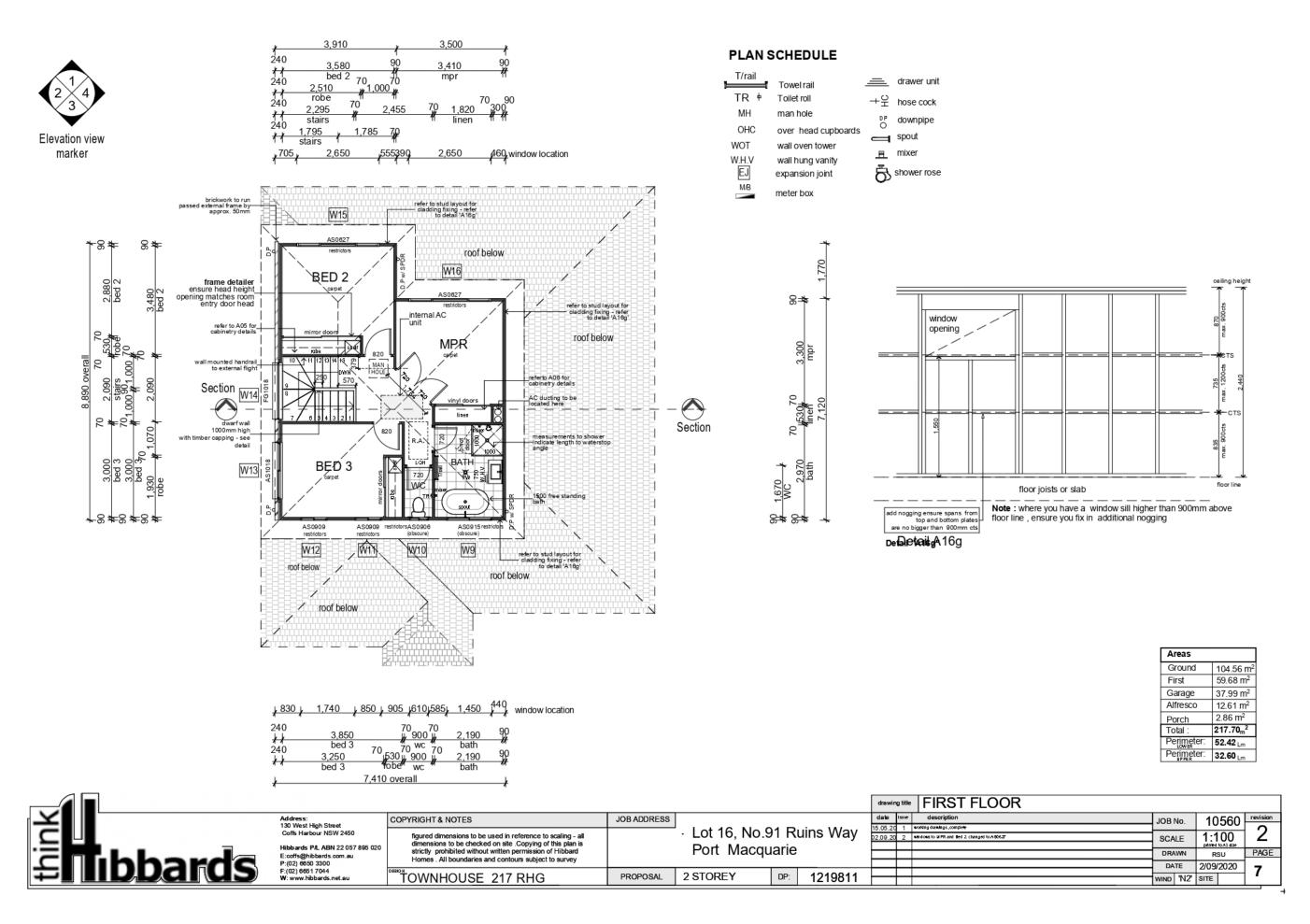
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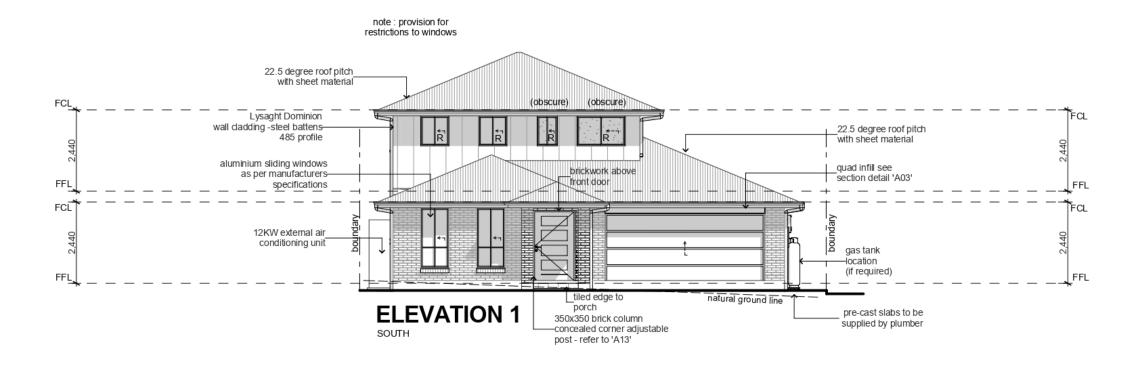
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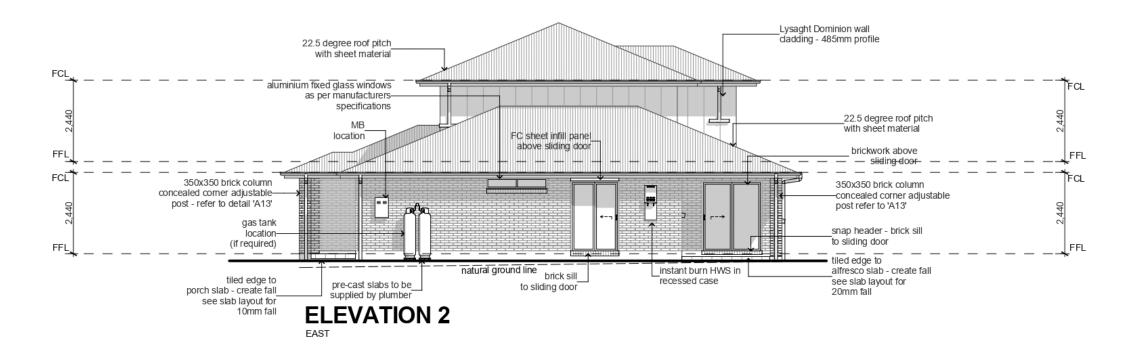
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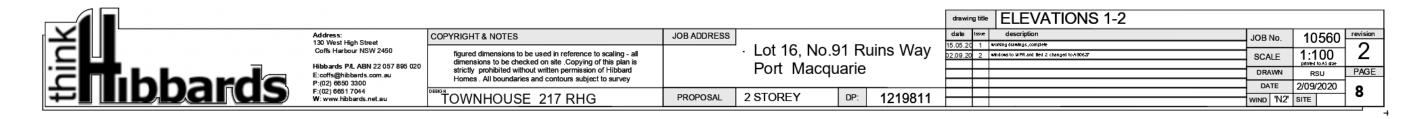


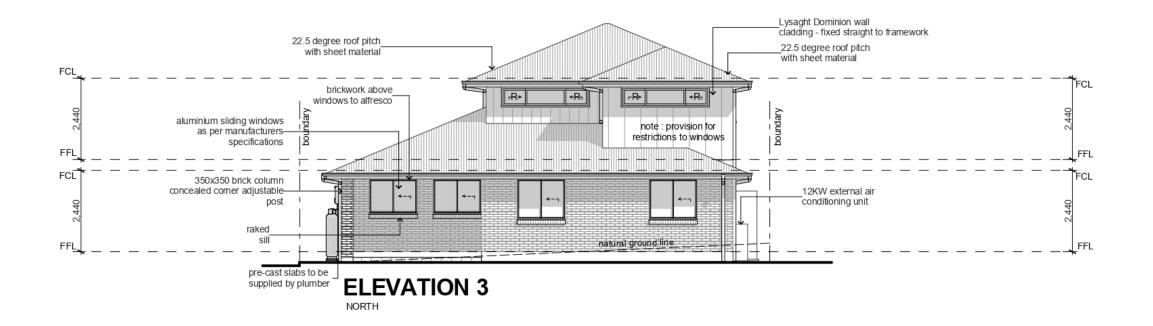
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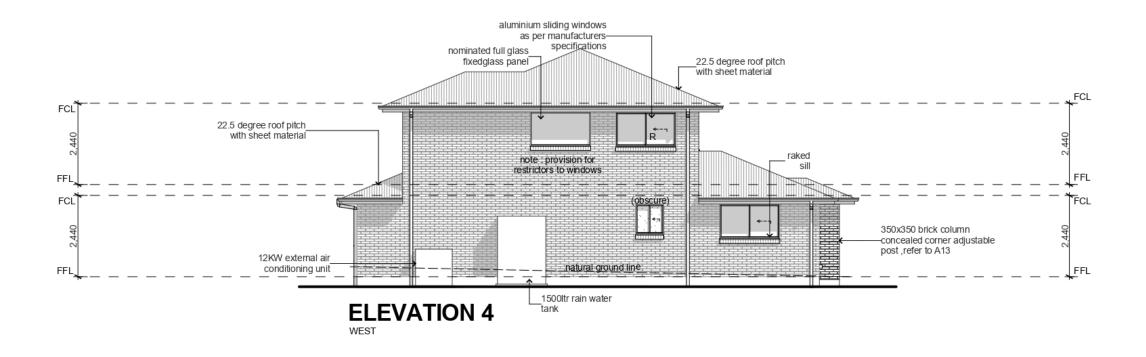




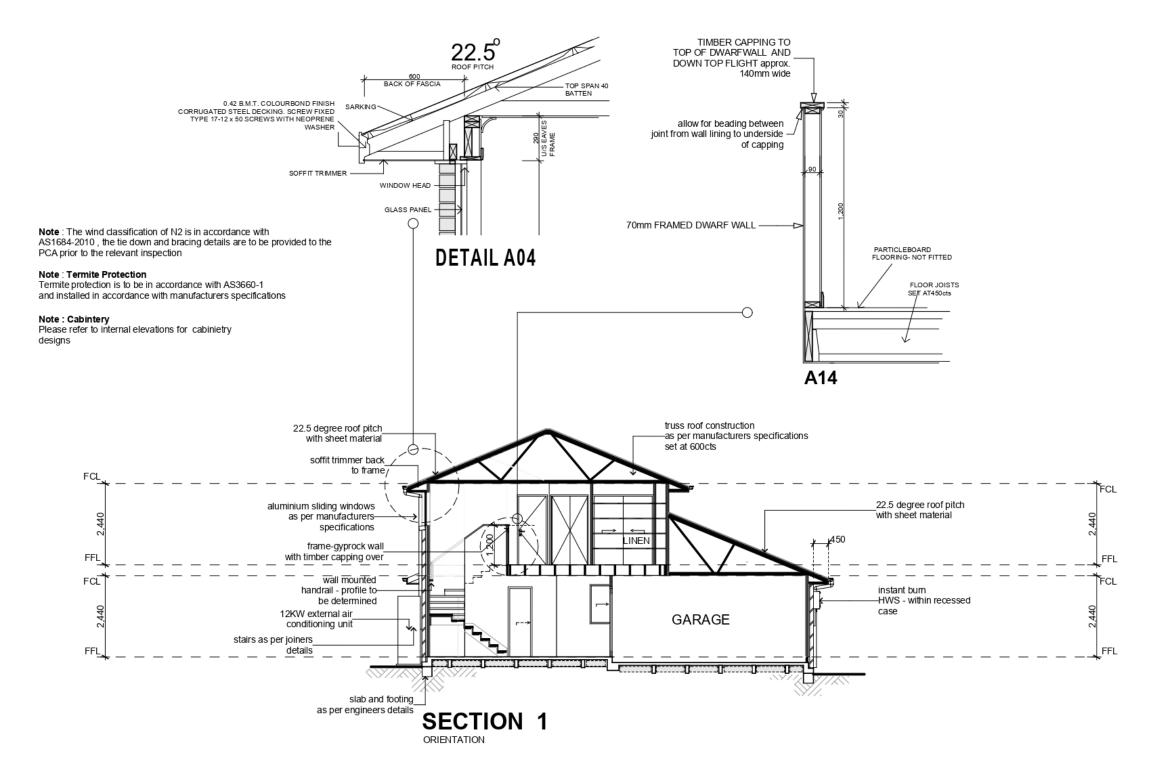


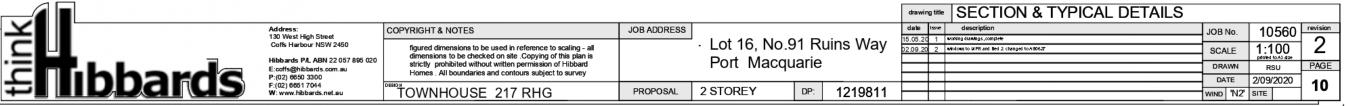






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#### **Developer Charges - Estimate**

Applicants Name: B R Development

Property Address: 91 The Ruins Way, Port Macquarie
Lot & Dp: Lot(s):14,DP(s):1219811
Development: DA 2020/457 - Multi-Dwelling Housing and Strata Subdivision



Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000.

	Other contributions are levied under Section 7.11 of the Environmental Plans	ning and As	ssessment Act a	nd Council's (	Contribution Plans.
	Levy Area	Units	Cost		Estimate
1	Water Supply	11.6	\$10,270.00	Per ET	\$119,132.00
2	Sewerage Scheme Port Macquarie	15	\$3,896.00	Per ET	\$58,440.00
3	Since 1.7.04 - Major Roads - Innes Peninsula - Per ET	15	\$9,483.00	Per ET	\$142,245.00
4	Since 31.7.18 - Open Space - Innes Peninsula - Per ET	15	\$6,344.00	Per ET	\$95,160.00
5	Commenced 3 April 2006 - Com, Cul and Em Services CP - Innes Peninsula	15	\$4,657.00	Per ET	\$69,855.00
6	Com 1.3.07 - Administration Building - All areas	15	\$917.00	Per ET	\$13,755.00
7	N/A				
8	N/A				
9	N/A				
10	N/A				
11	N/A				
12	N/A		4 PI	лгю	oses
13	N/A Not for Payme				
14	N/A				
15	Admin General Levy - Applicable to Consents approved after 11/2/03	2.3	2% S94 Contribu	ution	\$7,062.30
16					
17					
18					
	Total Amount of Estimate (Not for Payment Purposes)				\$505,649.30

NOTES: These contribution rates apply to new development and should be used as a guide only.

Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).

DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement.

Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

11-Nov-2020

Estimate Prepared By Fiona Tierney

This is an ESTIMATE ONLY - NOT for Payment Purposes

evelopment, 91 The Ruins Way, Port Macquarie, 11-Nov-2020.xls

PORT MACQUARIE-HASTINGS COUNCIL

PROPOSED 16 UNIT STRATA DEVELOPMENT 91 THE RUINS WAY, PORT MACQUARIE

FOR: HIBBARDS P/L

## ENGINEERING DETAILS

DRAWING No 11564

REVISION F 15/9/2020

## DRAWING SCHEDULE

SH	TITLE
1	COVER
2	SITE PLAN
3	GENERAL PLAN
4	STORM WATER
5	SEWER RETICULATION
6	WATER RETICULATION
7	DRIVEWAY PLAN
8	LANDSCAPE PRINCIPAL PLAN
9	DRAFT STRATA
10	STAGING PLAN

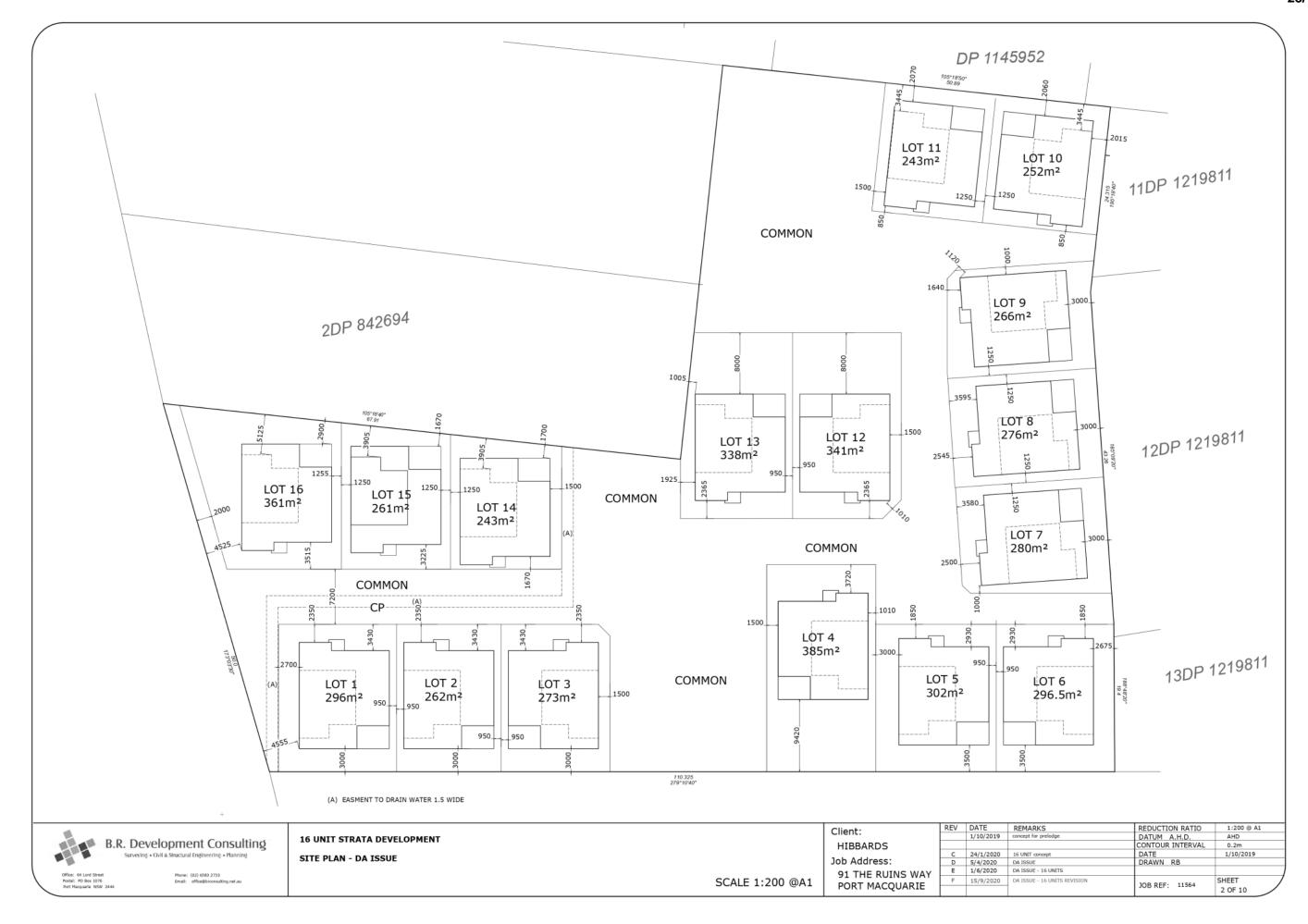


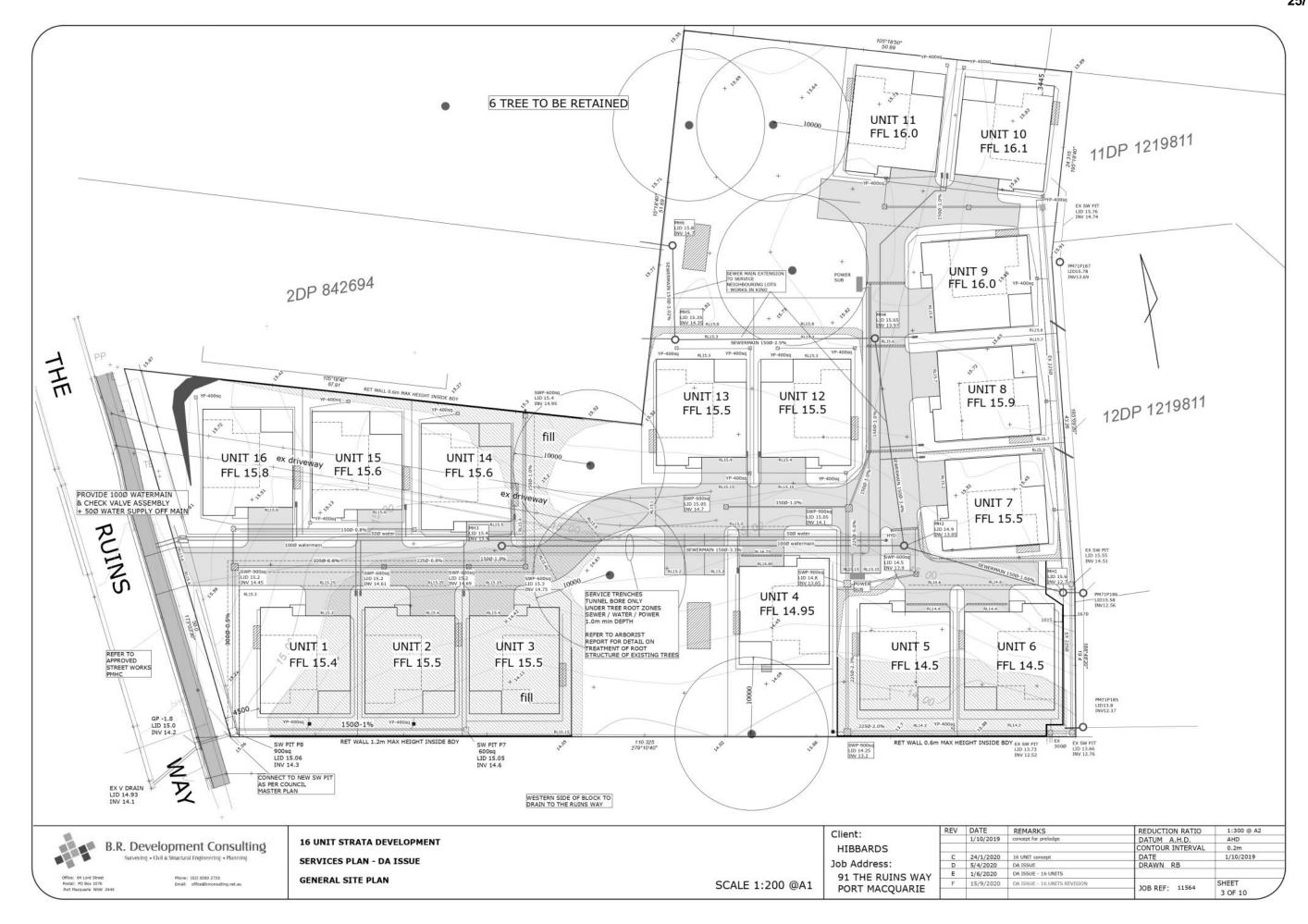
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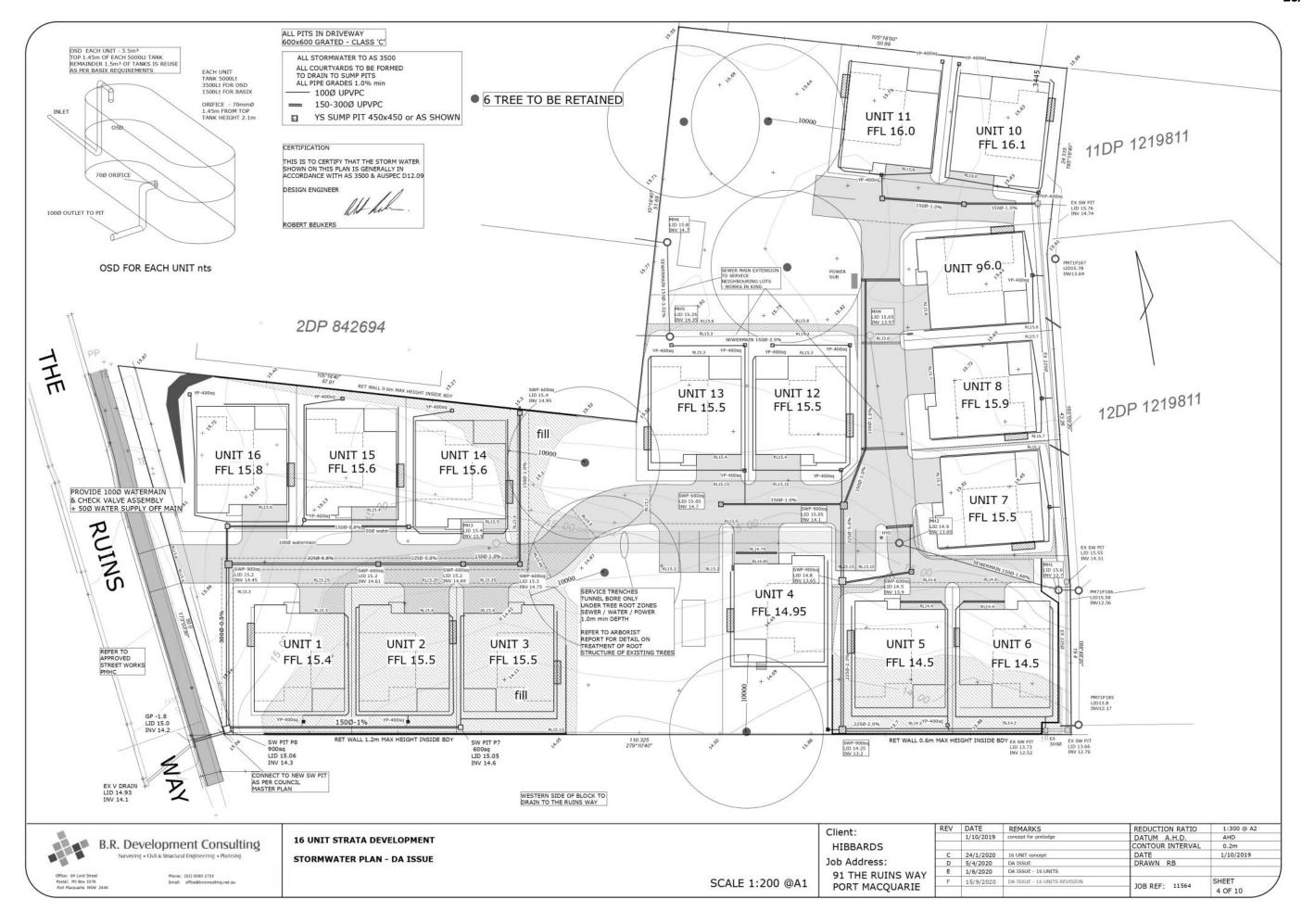
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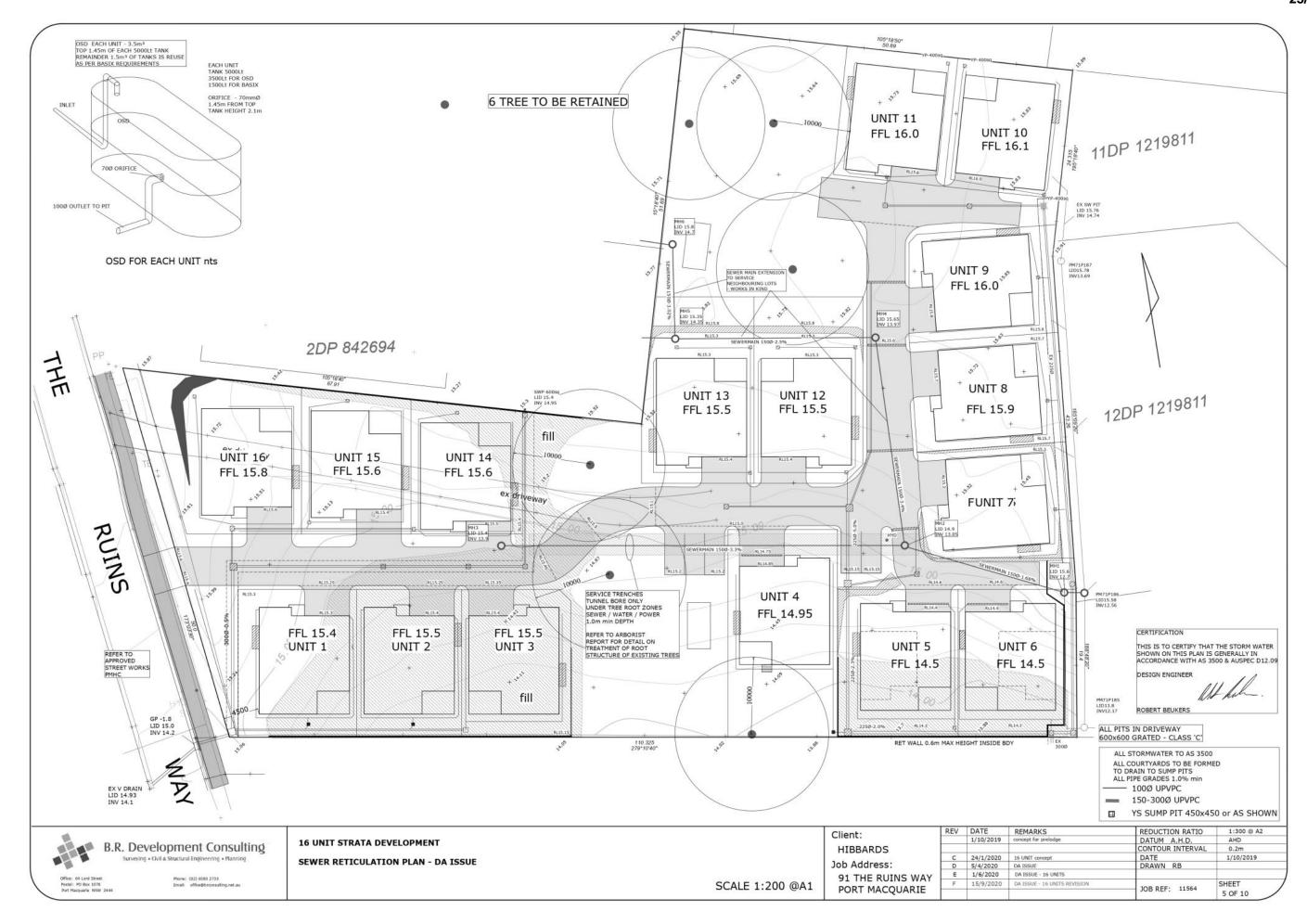
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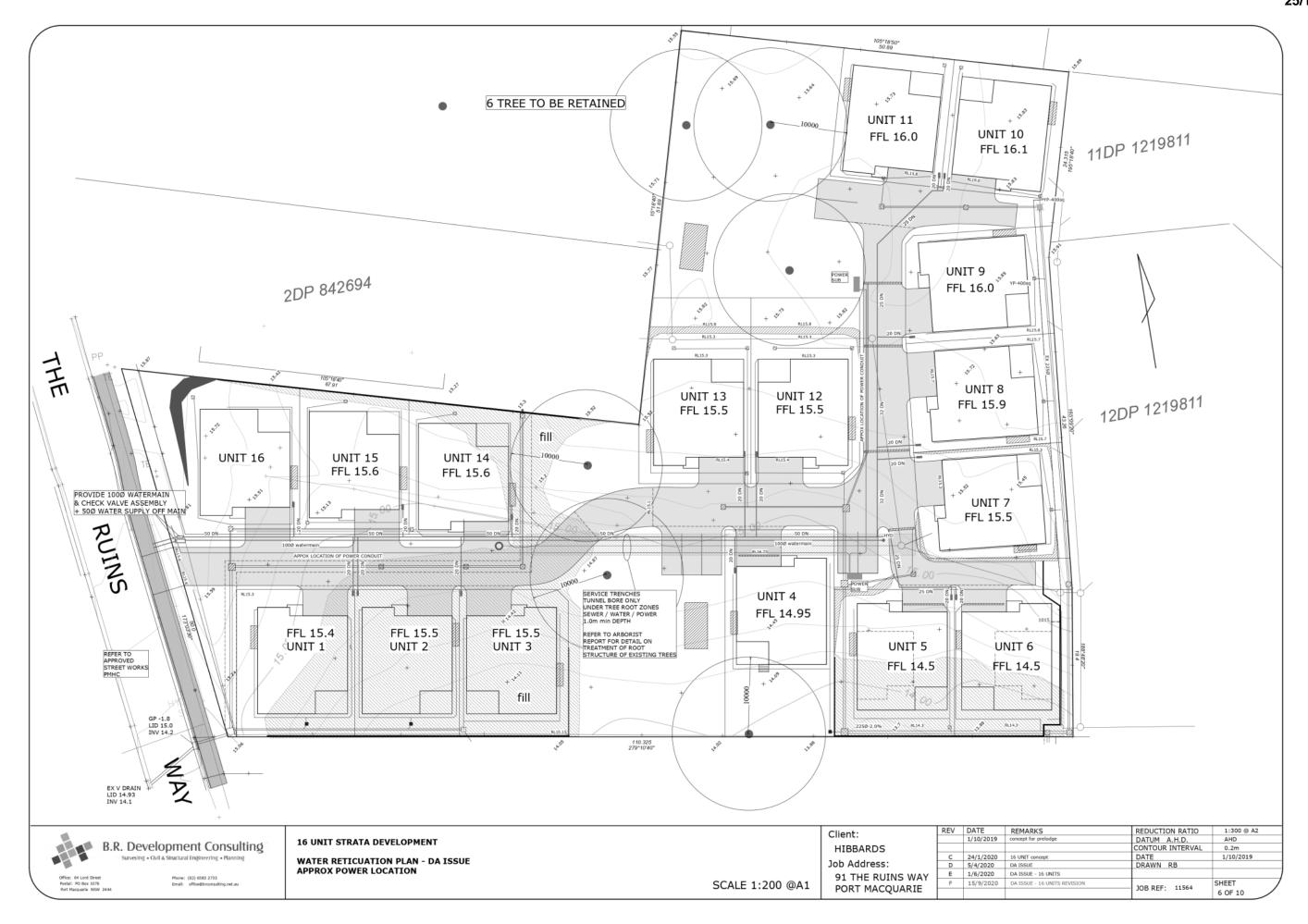
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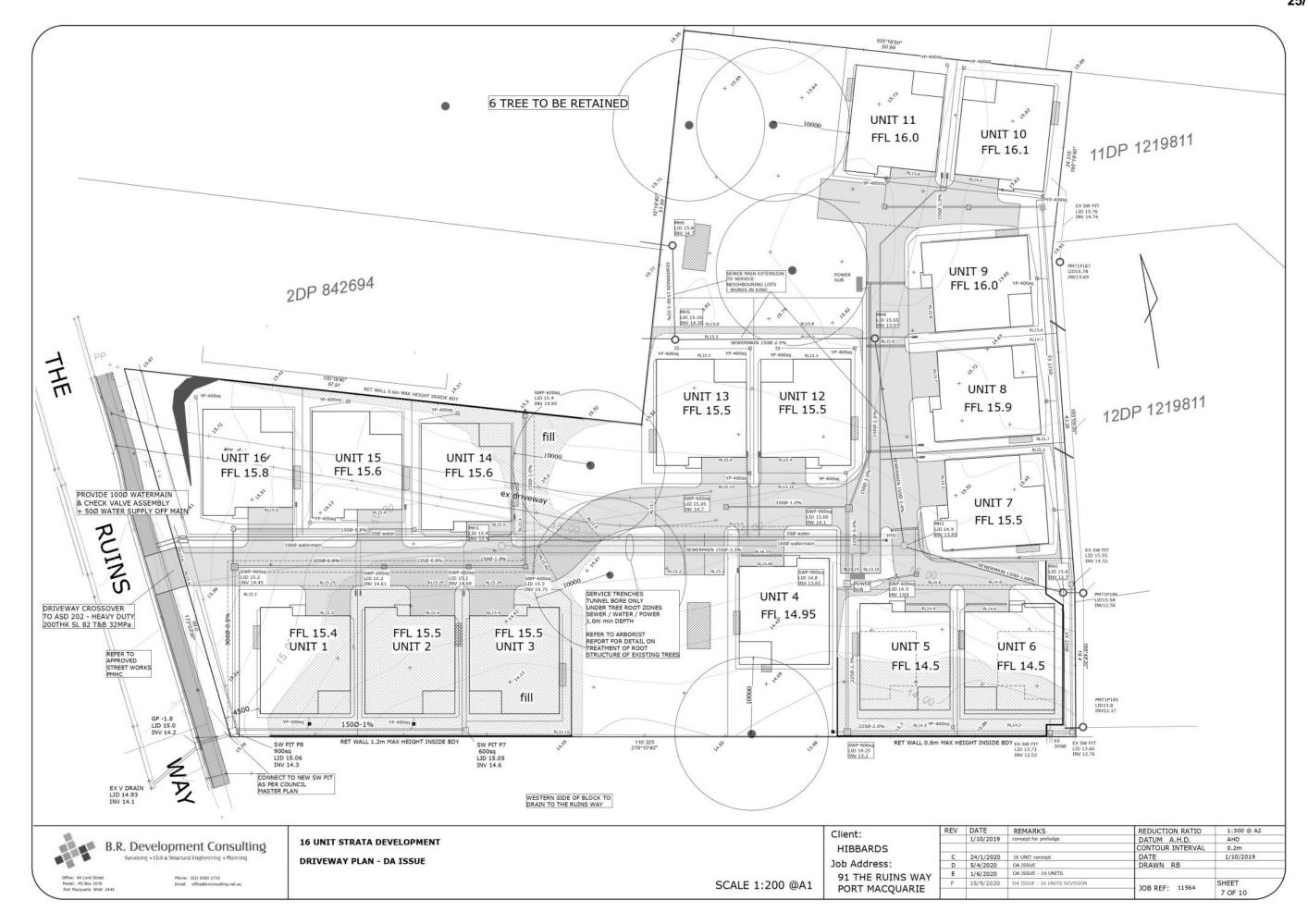




















# Arboricultural Impact Assessment Report

Site location: 97 The Ruins Way Port Macquarie 2444

Prepared for: Hibbards Pty Ltd c/- Greg Anderson

Prepared by: Rhys Mackney Accomplished Tree Management Pty Ltd 19<sup>th</sup> April 2020

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## USE OF THIS REPORT IS RESTRICTED FOR THOSE TREES MENTIONED WITHIN FOR WHICH THE REPORT WAS ISSUED

Site location: 91 The Ruins Way Port Macquarie 2444. Prepared for: Hibbards Pty Ltd c/- Greg Anderson.

Prepared by: Rhys Mackney, Accomplished Tree Management Pty Ltd, info@atreem.com.au, (02) 6583 7631.

Date: 19th April 2020.

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#### **EXECUTIVE SUMMARY**

This impact assessment has been commissioned by Hibbards pty ltd in preparation for proposed installation of sixteen residences in addition to vehicular access.

PMHC mandate stipulated that all six trees present at site are to be retained and modification of design made to better improve viability. This has been considered and actions taken to mitigate the effects of the proposal.

All slabs of dwellings adjacent or located within indicative TPZ are to be installed at grade level atop stiffen raft slabs.

Driveways are also to be installed at grade level and constructed of pervious materials when located within or contiguous with TPZ.

Fill to be utilised within or contiguous to TPZ to reclaimed topsoil or manufactured to coarser structure; soil is to have its texture checked by project arborist.

Under boring of all services intersecting TPZ is required.

Tree protection measures and arborist supervision of excavations within TPZ is required.

A Tree Protection Plan and Tree Protection Plan (drawing) have been prepared and are included in this report.

Tree protection measures to be installed in accordance with AS 4970-2009.

Site location: 91 The Ruins Way Port Macquarie 2444. Prepared for: Hibbards Pty Ltd c/- Greg Anderson.

Prepared by: Rhys Mackney, Accomplished Tree Management Pty Ltd, info@atreem.com.au, (02) 6583 7631.

#### 1. INTRODUCTION

- 1.1 This impact assessment has been commissioned by Hibbards pty Itd c/- Greg Anderson in relation to the proposed development of 91 The Ruins Way Port Macquaire. As a condition of the initial subdivision of the area a covenant was placed on the remnant tree population as a consequence of the site falling within a Koala Plan of Management area.
- 1.2 I have based this report on my site visit, observations, and the information provided by the client. My conclusions and recommendations are based on my knowledge and experience, details of which are provided in appendix 1.
- 1.3 Had meeting with Bob Beukers and Greg Anderson on 16th March to discuss design modifications to improve viability of tree population.
- 1.4 I inspected site on the 19<sup>th</sup> March 2020 where I was onsite for approximately 45 minutes to collect data. All of my observations were carried out from ground level; I did not carry out any excavations.
- 1.5 A Tree Protection Plan and Tree Protection Plan (drawing) have been prepared and are included in this report.

#### SCOPE OF THE REPORT

- 2.1 This report has been undertaken to meet the following objectives;
  - a) Interpret previous project arborist conclusions/recommendations;
  - b) compile an Arboricultural Impact Assessment Report;
  - c) produce a Tree Protection Plan and Tree Protection Plan (drawing).

#### 3. INFORMATION UTILISED WITHIN REPORT

Plan Name	Drawing#	Drawn By	Revision	Date
Engineering Details	11564	B.R.Development Consulting	D	05 April 2020

Report Name	Author	Company	Date
Arboricultural Report	Peter Berecry	Port Tree Fella	06 Dec 2019

Site location: 91 The Ruins Way Port Macquarie 2444. Prepared for: Hibbards Pty Ltd c/- Greg Anderson.

Prepared by: Rhys Mackney, Accomplished Tree Management Pty Ltd, info@atreem.com.au, (02) 6583 7631.

Date: 19th April 2020.

#### 4. LIMITATIONS

- 4.1 My observations and recommendations are based on my site inspection. The findings of this report are based on the observations and site conditions at the time of inspection.
- 4.2 The report reflects the subject tree(s) as found on the day of inspection. Any changes to the growing environment of the subject tree(s), or tree management works beyond those recommended in this report may alter the findings of the report. There is no warranty, expressed or implied, that problems or deficiencies relating to the subject tree(s), or subject site may not arise in the future.
- 4.3 Tree identification is based on accessible visual characteristics at the time of inspection. As key identifying features are not always available the accuracy of identification is not guaranteed. Where tree species is unknown, it is indicated with a spp.
- 4.4 All diagrams, plans and photographs included in this report are visual aids only, and are not to scale unless otherwise indicated.
- 4.5 Alteration of this report invalidates the entire report.
- 4.6 The ultimate safety of any tree cannot be categorically guaranteed. Even trees apparently free of defects can collapse or partially collapse in extreme weather conditions. Trees are dynamic, biological entities subject to changes in their environment, the presence of pathogens and the effects of ageing. These factors reinforce the need for regular inspections. It is generally accepted that hazards can only be identified from distinct defects or from other failure-prone characteristics of a tree or its locality.
- 4.7 Only the plans referred to above have been used in assessing the impact of the proposed works on the tree(s). Where recommendations are made in this report including those recommendations contained in the Tree Protection Guidelines it is essential that these recommendations be able to be implemented. Any additional drawings, details or redesign that impact on the ability to do so may negate the conclusions made in this report.

Site location: 91 The Ruins Way Port Macquarie 2444.
Prepared for: Hibbards Pty Ltd c/- Greg Anderson.

Prepared by: Rhys Mackney, Accomplished Tree Management Pty Ltd, info@atreem.com.au, (02) 6583 7631.

#### METHODOLOGY

- 5.1 The following information was collected during the assessment of the subject tree(s).
- 5.1.1 Tree common name.
- 5.1.2 Tree botanical name.
- 5.1.3 Tree age class.
- 5.1.4 DBH (Trunk/Stem diameter at breast height/1.4m) millimetres.
- 5.1.5 DAB (Trunk/stem diameter directly above root buttress) millimetres.
- 5.1.6 Estimated overall height metres.
- 5.1.7 Health (see appendix for definition).
- 5.1.1 Amenity value (see appendix for definition).
- 5.1.2 Estimated remaining contribution years (SULE)1
- 5.2 An assessment of the trees condition was made using the visual tree assessment (VTA) model (Mattheck & Breloer, 1994).<sup>2</sup>
- 5.3 All of my observations were carried out from ground level. I did not carry out any tests on the subject tree(s). I did not carry out any soil tests.
- 5.4 Trunk diameters were measured, Tree height and tree canopy spread was estimated.
  All other measurements were estimations unless otherwise stated.

#### 6. TREE PROTECTION ZONE METHODOLOGY

- 6.1 The Tree Protection Zone (TPZ) was determined in accordance with Section 3 of the AS4970-2009 Protection of trees on development sites.<sup>3</sup>
- 6.2 Determining the TPZ involved multiplying each trees DBH x 12. TPZ = DBH x 12
- Radius of TPZ is measured from centre of stem at ground level. In the case of Multi Stemmed trees the following calculation was performed to attain the TPZ. **Total DBH** =  $\sqrt{(DBH_1)^2 + (DBH_2)^2 + (DBH_3)^2}$

Site location: 91 The Ruins Way Port Macquarie 2444.

Prepared for: Hibbards Pty Ltd c/- Greg Anderson.

Prepared by: Rhys Mackney, Accomplished Tree Management Pty Ltd, info@atreem.com.au, (02) 6583 7631.

Barrell Tree Consultancy, SULE: Its use and status into the New Millennium, TreeAZ/03/2001, http://www.treeaz.com/

 $<sup>^{2}</sup>$  Mattheck, C. & Breloer, H., The body language of trees - A handbook for failure analysis, The Stationary Office, London, England (1994).

<sup>&</sup>lt;sup>3</sup> Australia, C. O. S., n.d. AS 4970-2009 Protection of Trees on Development Sites. s.l.:Standards Austrlia.

### STRUCTURAL ROOT ZONE METHODOLOGY

7.1 The Structural Root Zone (SRZ) was determined in accordance with Amendment No. 1 to AS4970—2009 Protection of trees on development sites.

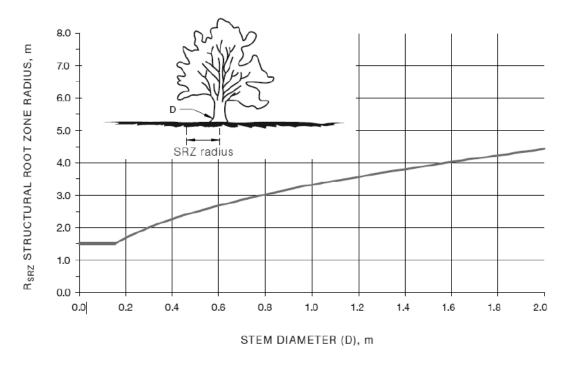


Table 1-Structural Root Zone Calculation

#### NOTES:

RsRz is the calculated structural root zone radius (SRZ radius).

D is the stem diameter measured immediately above root buttress.

The RsRz for trees less than 0.15 m diameter is 1.5 m.

The RsRz formula and graph do not apply to palms, other monocots, cycads and tree ferns.

This does not apply to trees with an asymmetrical root plate.

Site location: 91 The Ruins Way Port Macquarie 2444. Prepared for: Hibbards Pty Ltd c/- Greg Anderson.

Prepared by: Rhys Mackney, Accomplished Tree Management Pty Ltd, info@atreem.com.au, (02) 6583 7631.

#### 8. SITE LOCATION AND BRIEF SITE DESCRIPTION

8.1 The site is located in the Port Macquarie Hastings Council (PMHC) Local Government Area (LGA) and the subject trees are protected under the PMHC Local Environmental Plan (LEP) 2011 and Development Control Plan (DCP) 2013. It is my understanding that the site and adjoining properties are not located inside a heritage conservation area and do not form part of a heritage item. All tree pruning, removal or significant root pruning is subject to approval by PMHC.

#### 9. OBSERVATIONS

- 9.1 See Tree Schedule attached as appendix 6.
- 9.1.1 All trees assessed are believed to be endemic with an age less than or equal to 80 years.
- 9.1.2 The tree population is of fair-good health.
- 9.1.3 The site is south essentially flat and clear of vegetation with exception to the subject trees.

Site location: 91 The Ruins Way Port Macquarie 2444. Prepared for: Hibbards Pty Ltd c/- Greg Anderson.

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#### 10. DISCUSSION

#### 10.1 Asset Protection Zone

- 10.1.1 None of my research or information provided by the client states that the property is subject to any requirement for an asset protection zone.
- 10.1.2 The site is contained within a 10/50 zone however as there is a covenant placed on the trees it should be impossible to enact this legislation.

#### 10.2 Tree Retention

- 10.2.1 All trees discussed within this report are to be retained and protected for the duration of the works involved.
- 10.2.2 As per AS 4970 all protected trees are to have the areas within TPZ fencing mulched at a rate of 50-100mm and soil moisture levels monitored. TPZ are also required to be kept weed free.
- 10.2.3 Arborist supervision of excavation is required adjacent tree protection zones to minimise root disturbance.

#### 10.3 Root systems

- 10.3.1 The critical issue when developing adjacent to trees is the impact of that excavation on the root system. To understand this impact, it is important that we understand how the root system functions.
- 10.3.2 All roots start as 'pioneer roots', pushing their way through the soil in order to take advantage of newly available soil moisture and solutes that are in the zone that they have entered (hence the term pioneer). This push by the roots is created by cell division at the tip of the root and cell elongation behind this tip. This 'zone of elongation' is typically a few millimetres to less than 100 mm in length.
- 10.3.3 Cell elongation uses water, and the presence or readily available water, solutes (soluble nutrients), and soil temperature (generally around 16°C for most temperate trees) stimulates root growth. Whilst cells absorb some water in the zone of elongation, at best they seldom meet their own needs.
- 10.3.4 Once the roots have fully elongated single celled hairs develop on the surface of the root and these roots with 'root hairs' to form 'absorbing roots'.
- 10.3.5 The absorbing roots are responsible for the uptake of nearly all the water and the majority of solutes used by the tree. They are highly ephemeral, often lasting only a few weeks. However, in association with beneficial fungi, they can last a year or more.
- 10.3.6 Where trees are already growing well, we can generally assume that soluble nutrients are present at satisfactory levels. Likewise, we can assume that the soil surface temperature often exceeds 16 degrees Celsius most of the year and that at depth, the soil temperature does not vary significantly throughout the year. The biggest limiting factor, therefore, is normally the ready availability of water.
- 10.3.7 A percentage of these pioneer/absorbing root structures survive the various environmental stresses and within a few weeks to a few months become woody.

Site location: 91 The Ruins Way Port Macquarie 2444.

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- 10.3.8 "Woody roots" are essentially underground branches. These roots can be a little under a millimetre in diameter and can grow to be hundreds of millimetres in diameter over time. Their thick bark prevents them from drying out, but as a result, they are not able to absorb water and nutrients from the soil to any great extent.
- 10.4 Whilst many young woody roots die as a result of disease, environmental damage or competition, they have the potential to be long lived, sometimes lasting for hundreds of years. Woody roots act as the connection between the absorbing roots and the rest of the tree.
- 10.4.1 A small portion of the woody roots, closest to the stem, provide physical support for the tree. These 'structural roots' grow directly from the trunk (first order lateral roots) or are roots that branch close to the trunk. These roots provide support in compression and tension. They have a greater wood content and, as a result, tend to be much thicker to allow for strength, as well as transport.
- In response to the forces of compression and/or tension, these structural roots develop an asymmetric shape rather than the normal circular shape. As the roots grow further from the trunk, they get rapidly thinner (zone of rapid taper) and more circular in shape.

#### 10.5 Damage to roots

- 10.5.1 Damage to larger roots inside the zone of rapid taper is extremely undesirable and, in most circumstances, should be avoided. These are woody roots and therefore excavation is more significant in its impact than careful constructing over the top of these roots.
- Depending on the amount of root division, the cutting of a woody root with a diameter of 25mm could conceivably result in the death of many millions of root hairs. This loss of absorbing roots has a direct impact on a trees ability to absorb water and solutes. In addition, it can impact on hormone production, resulting in reduced growth above ground until the root/foliage ratio is restored to its ideal levels.
- The loss of roots can result in wilting or thinning of the foliage, the loss of foliage and 10.5.3 death of smaller branch-lets and sometimes the death of specific larger branches. The ready availability of soil moisture is important in minimising this impact.
- Not only do higher soil moisture levels, reduce the energy expended to absorb water, 10.5.4 it also stimulates new root development. The faster that sufficient new roots are developed, the less the impact on normal function
- Roots are often close to the surface and therefore construction activity can indirectly impact on the health of roots through direct damage or soil compaction. Even regular pedestrian activity has an effect on the roots close to the surface. In addition altering of levels by adding fill has the potential to alter the movement of water into the soil and in some circumstances can cause the soil to become anoxic, in turn causing the death of the roots and potentially the death of the tree.

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- 10.5.6 By far the easiest and most efficient way of limiting construction damage to trees is to establish and enclose a Tree Protection Zone using a ridged fence. The function of this fence is to eliminate all construction activity in this area.
- 10.6 Design Issues
- 10.6.1 The proposed driveway has been designed to reuse the existing unsealed driveway as much as possible.
- 10.6.2 Services intersecting trees 01 and 02 are to be under bored to negate the need for strip excavation.
- 10.6.3 This may also apply for the installation of the storm water service to the west of tree 01, but will require confirmation of method depending on equipment requirements.
- 10.6.4 Driveway and car paces nearest tree 01 and 02 is to be installed at grade level and constructed of pervious materials to allow penetration of rainwater.

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#### 11. METHODS OF TREE PROTECTION

#### 11.1 Protection of tree roots

- 11.1.1 As already explained the purpose of establishing a Tree Protection Zone is more than concerned with protecting the trunk of the tree. A Tree Protection Zone's primary function is the protection of the roots of the tree.
- 11.1.2 The most appropriate method of protecting a tree is to establish an exclusion zone using some form of rigid temporary fence (a Tree Protection Zone or TPZ). Whilst it may seem easier to use flexible fabric barrier fence, these products tend to fail over time and are easily pushed out of the way or damaged.
- 11.1.3 Sometimes, however, it may become necessary to work within or to gain access through a Tree Protection Zone. To do this, we need to develop a method to stop soil compaction and prevent direct physical damage to roots. A simple action such as walking on the same spot half a dozen times or more can lead to soil compaction. Pushing a full wheelbarrow will cause compaction on the first instance. It does not take long for that damage to accumulate and harm the roots of a tree.
- 11.1.4 There are a number of ways to protect roots against compaction and physical damage. We can divide these into two simple groups;

#### 11.2 Systems that share the load

11.2.1 Load-sharing surfaces are temporary and usually lightweight systems. Load-sharing surfaces sometimes can be as simple as mulch beneath plywood or planks or the use of scaffolding, to heavier duty systems such as the use of plastic or metal road plates or even rail decking/sleepers.

#### 11.3 Systems that are fully load bearing

11.3.1 Fully load-bearing structures include finished structures such as the slab of a building, a driveway or a pathway. Obviously each of these has a limit to the weight that it can bear and if this is exceeded the structure and things beneath it can be damaged. Load bearing systems can also include scaffolding and temporary bridging structures.

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Prepared by: Rhys Mackney, Accomplished Tree Management Pty Ltd, info@atreem.com.au, (02) 6583 7631.

#### 11.4 Protection of the trunk

- 11.4.1 In most instances, establishment of a Tree Protection Zone ensures that the trunk of a tree cannot be damaged. Sometimes, however, work needs to take place within the TPZ and, as a result, there is a risk of impact to the trunk. Damage to the trunk is extremely undesirable. Where it is possible to treat the wound treatment is time critical/consuming. When treatment is not possible or is ineffective a trunk injury can lead to long-term structural and physiological problems. Where possible operating machinery or performing activities that may result in impact to the trunk of the tree should avoided. Where this is not possible, it is important to protect the trunk. Strapping pieces of timber to the trunk of the tree has been the traditional method for achieving this task.
- 11.4.2 Unfortunately and as explained by Newton's Third Law "for every action, there is an equal and opposite reaction" or Conservation of Momentum (as demonstrated by Newton's cradle) tells us that this impact force is simply transferred through the pieces of timber to the trunk of the tree often providing little to no protection and in some circumstances actually resulting in increased damage when considering the orientation of the opposing surface areas that are in direct contact.
- 11.4.3 In response to the failure of timber to absorb impact, hessian or carpet underlay have been used and whilst these improve the situation the timber still lacked the ability to absorb any of the energy. The use of fabric wraps also carried new problems; in particular they often held moisture which when left in situ for prolonged/indefinite periods causes softening of external bark tissues and subsequently allow the entry of pathogens.
- 11.4.4 A more appropriate system needs a hard but flexible outer surface bonded to a soft impact absorbing material that has a low water holding capacity (similar to that of a bicycle helmet). This system is better at absorbing the energy of an impact whilst minimising latent moisture contiguous with localised parts of the tree.
- 11.4.5 Lastly prevention is the best process. When machinery is operating in close proximity to the trunk of a tree using an observer can greatly reduce the likelihood of impact. To be effective the observer should maintain direct visual contact with the tree and the machine and should have direct audio contact with the operator. (Bluetooth® two-way earmuff systems are useful for this task).

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#### 11.5 **Protection of the canopy**

- 11.5.1 The canopy of the tree is often the part of the tree that is least harmed in the construction process. Even so there are two ways that the construction process can harm the canopy. The first is by direct impact between equipment and the branches of the tree and the second is from incorrect or excessive tree pruning.
- 11.6 Avoiding impact between machinery and branches simply requires care. When machinery needs to operate near branches an independent observer should be used. The observer should maintain direct visual contact with machine and the branches of the tree and should have direct audio contact with the operator.
- 11.6.1 All pruning work should be performed in accordance with the Australian Standard AS 4373-2007 "Pruning of Amenity Trees." Any person who does not fully understand this standard or who is unqualified should not attempt this work. The site arborist may provide instructions to workers on the site on making temporary cuts for later rectification by an arborist. These instructions should be carefully followed.

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# 12. TREE PROTECTION PLAN/RECOMMENDATIONS

## 12.1 Design issues

#	Recommendation	Reason
1.	Heavy equipment is to be retained within the footprint of the proposed driveway and buildings. Similarly the storm water service should be constructed without directional change, i.e. enter at one side of site and exit the other.	Minimise unnecessary damage to soil through repeated vehicular/plant movements.
2.	Condense TPZ fence location radius to 10m for trees 1, 2 and 6.	Make more space available to development
3.	Storm water service to be potentially under bored adjacent tree 01. Shallow depth may make under boring impractical.	Prevent strip excavation within tree 01 TPZ.
4.	Imported fill to be installed within and contiguous with TPZ to be reclaimed site topsoil or manufactured to be of coarser structure than indigenous top soil profile.  Fill soil structure to be approved by Project Arborist.	Prevent water infiltration issues due to inversion of soil horizons/profiles.
5.	Install sewer main as far from tree 4 as practical.	Install sewer service outside of tree 04 TPZ and minimize impact to root system.
6.	Excavations within any indicative Tree Protection Zone are to be observed by the project arborist.	To prevent unnecessary damage to tree roots as well as providing opportunity for remediation of roots damaged in development process.
7.	All copies of the plans must include a copy of the Tree Protection Plan (Drawing) and a reference must be made on each and every plan or drawing to "check the Tree Protection Plan (drawing)".	Trades people often read plans rather than notes, including the Tree Management Plan (drawing) in the plan set will help the awareness of all trades people.
8.	Establish a 'tree protection' policy document for inclusion as a part of the site induction process for all staff and contractors to undertake before commencing on site.	Ensuring all site staff and contractors understand the value and importance of protecting the tree reduces the likelihood of accidental damage.

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#### 12.2 Pre-construction

9.	In accordance with AS 4970-2009 (section 5.2) a copy of the Tree Protection Plan including the Tree Protection Plan (drawing) (Appendix 6) must be on site prior to any work commencing on the site.	To ensure that documentation is present and available as a reference for all site personnel.
10.	Prior to commencing work on the site, establish Tree Protection Zones around the trees, using a 1.8- metre high rigid temporary fence.	Fences create "no go" zones, show the importance of the trees and help prevent soil compaction and root damage.
11.	Attach two (2) signs to each Tree Protection Zone as detailed in section 5 of the Generic Tree Protection Guidelines attached as appendix 7.	Signs help to remind people why the fence is there and what should not be happening in that zone.
12.	Correct and complete installation of Tree "Protection measures are to be certified by the project arborist" AS 4970-2009 (5.3.2).	This is to ensure the tree protection is correct and completed in accordance with the Tree Protection Plan.

#### 12.3 **During site works**

13.	In accordance with AS 4970-2009, (5.4.1) the project arborist should perform regular site inspections. Pending discussion as to build time estimates.	To ensure a suitably qualified person has confirmed that the tree is in good health and the recommendations are being followed.
14.	If at any stage an inspection reveals the Tree Protection Plan has not been complied with the project arborist must specify any required remedial works and the timeframe in which these works must be completed.	To ensure that all problems are appropriately rectified and that any remedial works required are carried out in a timely manner.
15.	If an inspection reveals the Tree Protection Plan (recommendations) have not been followed, weekly inspections may become mandatory to assure compliance.	To avoid repeated or further problems and to ensure the correct and timely performance of remedial works.
16.	Maintain natural ground level within the Tree Protection Zone. Do not trench, stockpile materials or change grades within this zone.	To prevent unnecessary or unauthorised damage to the trunk, roots and branches of the tree.
17.	The Tree Protection Zones must remain in force until construction work is completed.	To ensure that the tree is protected for the duration of the works that may impact on the tree.
18.	Provide notification to the project Arborist, PMHC and the Certifier not less than 7 days before removing the Tree Protection Fences.	To check to see whether trades remaining on site or landscaping works are likely to adversely impact on the trees.

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#### 12.4 Post construction

19.	At practical completion, the project arborist should "assess tree condition and provide certification" that the tree protection works have been in accordance with the Tree Protection Plan.	This is to provide a completion to the document trail for the certifier and or the certifying authority.	
20.	"Certification should include a statement on the condition of the retained trees, details of the deviations from the approved tree protection measures and their impacts on (the) trees" and provide specifications for any remedial or rectification works required.	This is to comply with AS 4970-2009 (5.5.2). It provides a documented record of the final condition of the tree. It audits and certifies the correction of any problems.	

#### 13. BIBLIOGRAPHY

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#### 14. LIST OF APPENDICES

The following are included in the appendices:

Appendix 1 - Brief description of author's qualifications and experience

Appendix 2 - Tree Health categories

Appendix 3 - Structural Condition categories

Appendix 4 - SULE categories

Appendix 5 - Tree Schedule and Explanatory Notes

Appendix 6 - Tree Protection Plan (Drawing)

Appendix 7 – Generic Tree Protection Guidelines

Rhys Mackney
Consulting Arborist
Accomplished Tree Management Pty Ltd
Diploma of Arboriculture (AQF5)

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# APPENDIX 1 - BRIEF DESCRIPTION OF AUTHORS QUALIFICATIONS AND EXPERIENCE

#### Arboricultural Qualifications:

- Certificate II in Horticulture (Arboriculture (AQF2))
- Certificate III in Horticulture (Arboriculture (AQF3))
- Diploma in Horticulture (Arboriculture (AQF5))

#### Industry Experience 15+ years.

#### 2008 to Present - Director of Accomplished Tree Management Pty Ltd:

- Qualified as a consulting arborist in 2015, covering all aspects of written and verbal arboricultural consultancy for commercial and residential clients, including tree condition/hazard assessment, development related arborist reports and providing professional advice.
- 2011 to present Contract climbing for several companies in addition to private
  work within the Sydney metro area and more recently (January 2016 onwards) the
  Port Macquarie Hastings and surrounding areas. Professional tree work has focused
  on residential/commercial aspects of arboriculture, predominantly removals and
  pruning.
- 2008 to 2011 Maintaining Energy Australia's (Ausgrid's) assets in the Hunter Valley, Gosford and Hornsby and later on the Northern Beaches and Upper/Lower North Shore of Sydney. Tree climbing and EWP work involved pruning and removal of trees in either live or de-energised environments. Voltages ranged from Low Voltage – 132KV.

## **APPENDIX 2 - PHYSIOLOGICAL CONDITION AND HEALTH**

Category	Example Condition	Summary
Good	<ul> <li>Crown has good foliage density for species.</li> <li>Tree shows no or minimal signs of pathogens that are unlikely to have an effect on the health of the tree.</li> <li>Tree is displaying good vigour and reactive growth development</li> </ul>	The tree is in above average health and condition and no remedial works are required.
Fair	<ul> <li>The tree may be starting to dieback or have over 25% deadwood.</li> <li>Tree may have slightly reduced crown density or thinning.</li> <li>There may be some discolouration of foliage.</li> <li>Average reactive growth development.</li> <li>There may be early signs of pathogens which may further deteriorate the health of the tree.</li> <li>There may be epicormic growth indicating increased levels of stress within the tree.</li> </ul>	The tree is in below average health and condition and may require remedial works to improve the trees health
Poor	<ul> <li>The may be in decline, have extensive dieback or have over 30% deadwood.</li> <li>The canopy may be sparse or the leaves may be unusually small for species.</li> <li>Pathogens or pests are having a significant detrimental effect on the tree health.</li> </ul>	The tree is displaying low levels of health and removal or remedial works may be required.
Dead	The tree is dead or almost dead.	The tree should generally be removed.

## **APPENDIX 3 - STRUCTURAL CONDITION**

Category	Example Condition	Summary
Good	<ul> <li>Branch unions appear to be strong with no sign of defects.</li> <li>There are no significant cavities.</li> <li>The tree is unlikely to fail in usual conditions.</li> <li>The tree has a balanced crown shape and form.</li> </ul>	The tree is considered structurally good with well developed form.
Fair	<ul> <li>The tree may have minor structural defects within the structure of the crown that could potentially develop into more significant defects.</li> <li>The tree may a cavity that is currently unlikely to fail but may deteriorate in the future.</li> <li>The tree is an unbalanced shape or leans significantly.</li> <li>The tree may have minor damage to its roots.</li> <li>The root plate may have moved in the past but the tree has now compensated for this.</li> <li>Branches may be rubbing or crossing.</li> </ul>	<ul> <li>The identified defects are unlikely to cause major failure.</li> <li>Some branch failure may occur in usual conditions.</li> <li>Remedial works can be undertaken to alleviate potential defects.</li> </ul>
Poor	<ul> <li>The tree has significant structural defects.</li> <li>Branch unions may be poor or weak.</li> <li>The tree may have a cavity or cavities with excessive levels of decay that could cause catastrophic failure.</li> <li>The tree may have root damage or is displaying signs of recent movement.</li> <li>The tree crown may have poor weight distribution which could cause failure.</li> </ul>	The identified defects are likely to cause either partial or whole failure of the tree.

# APPENDIX 4 - SAFE USEFULE LIFE EXPECANCY (SULE) (BARRELL TREE CONSULTANCY, APRIL 2001)

A trees safe useful life expectancy is determined by assessing a number of different factors including the health and vitality, estimated age in relation to expected life expectancy for the species, structural defects, and remedial works that could allow retention in the existing situation.

Category	Description
1.Long - Over 40 years	<ul> <li>(a) Structurally sound trees located in positions that can accommodate future growth.</li> <li>(b) Trees that could be made suitable for retention in the long term by remedial tree care.</li> <li>(c) Trees of special significance for historical, commemorative or rarity reasons that would warrant extraordinary efforts to secure their long term retention.</li> </ul>
2 Medium - 15 to 40 years	<ul> <li>(a) Trees that may only live between 15 and 40 more years.</li> <li>(b) Trees that could live for more than 40 years but may be removed for safety or nuisance reasons.</li> <li>(c) Trees that could live for more than 40 years but may be removed to prevent interference with more suitable individuals or to provide space for new planting.</li> <li>(d) Trees that could be made suitable for retention in the medium term by remedial tree care.</li> </ul>
3. Short - 5 to 15 years	<ul> <li>(a) Trees that may only live between 5 and 15 more years.</li> <li>(b) Trees that could live for more than 15 years but may be removed for safety or nuisance reasons.</li> <li>(c) Trees that could live for more than 15 years but may be removed to prevent interference with more suitable individuals or to provide space for new planting.</li> <li>(d) Trees that require substantial remedial tree care and are only suitable for retention in the short term.</li> </ul>
4 Remove - Under 5 years	<ul> <li>(a) Dead, dying, suppressed or declining trees because of disease or inhospitable conditions.</li> <li>(b) Dangerous trees because of instability or recent loss of adjacent trees.</li> <li>(c) Dangerous trees because of structural defects including cavities, decay, included bark, wounds or poor form.</li> <li>(d) Damaged trees that are clearly not safe to retain.</li> <li>(e) Trees that could live for more than 5 years but may be removed to prevent interference with more suitable individuals or to provide space for new planting.</li> <li>(f) Trees that are damaging or may cause damage to existing structures within 5 years.</li> <li>(g) Trees that will become dangerous after removal of other trees for the reasons given in (a) to (f).</li> <li>(h) Trees in categories (a) to (g) that have a high wildlife habitat value and, with appropriate treatment, could be retained subject to regular review.</li> </ul>
5 Small/Young	<ul><li>(a) Small trees less than 5m in height.</li><li>(b) Young trees less than 15 years old but over 5m in height.</li><li>(c) Formal hedges and trees intended for regular pruning to artificially control growth.</li></ul>

# **APPENDIX 5:**

Tree Schedule and Explanatory Notes

Tree numbers consistent with Arborist Report Port Tree Fella – Nov 2017

TREE #	AGE	SPECIES	COMMON NAME	Overall Height (m)	CANOPY SPREAD	DBH (m)	TPZ (m-R)	DAB (m)	SRZ (m-R)	HEALTH	Structural Condition	SULE	Retention Value	RECOMENDATION
01	Late Mature	Eucalyptus microcorys	Tallow Wood	25	17	.90	10.9	1.16	3.5	Good	Good	1b	м	Protect Install tree protection measures as per recommendations
	ESIGN MMENTS	TPZ radius condensed to 10m to allow space for development.  Project arborist to supervise works where they incur within indicative TPZ.  Imported fill to be installed within/adjacent respective TPZ to be either reclaimed site topsoil or comparable texture product i.e. soil of coarser structure to indigenous topsoil layer. Soil specification possibly required however landscape supplier should be able to help with this. Fill will need to be approved by project arborist.  Driveway footprint modified to better intersect tree 01 and 02, roadway surface to be installed at grade level to minimize excavation and compaction of substrate.  Permeable surface required for driveway construction intersecting tree 01 and 02.  Incursion from adjacent dwellings <4% of total TPZ – no design modification required, dwellings constructed atop stiffen raft slabs.  Incursion from storm water service <6% - method of excavation to be decided depending on depth, plans indicate pit depth of 350-550mm which may make under boring impractical.												
02	Late Mature	Eucalyptus Tallow 25 15 109 131 138 38 Fair- Good 2d M Install tree protection measures as per										Install tree protection measures as per		
_	ESIGN MMENTS	structure to indi approved by pi Driveway footpi of substrate. Permeable surfa	to supervise to be installed with genous topsoroject arboristint modified accerequired adjacent dwe	works vithin/ oil lay t. to be for d ellings	whe adja er. Sc etter i ivew and	re they cent re oil spec ntersec ay and storm	incur especti ification of tree dicar p waters	within i ive TPZ on poss 01 and oarks ad service	indica on sit sibly re d 02, r djace e to w	e to be e equired h oadway: ent tree 0 est of tree	owever lands surface to be 1 and 02.	instc	e sup	osoil or comparable texture product i.e. soil of coarser oplier should be able to help with this. Fill will need to be at grade level to minimize excavation and compaction is occurring amongst a fill of >1.0m – No further design

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TREE #	AGE	SPECIES	COMMON NAME	Overall Height (m)	CANOPY SPREAD	DBH (m)	TPZ (m-R)	DAB (m)	SRZ (m-R)	HEALTH	Structural Condition	SULE	Retention Value	RECOMENDATION	
03	Early Mature	Eucalyptus microcorys	Tallow Wood	18	8	.35	4.2	.49	2.4	Good	Fair	2d	М	Protect Install tree protection measures as per recommendations	
_	ESIGN MMENTS	Project arborist	PZ shown in plans greater than double indicative. roject arborist to supervise excavations where they occur within indicative TPZ. lo incursion from adjacent dwellings - Adjacent dwellings to be constructed atop stiffen raft slabs.												
04	Mature	Eucalyptus microcorys	Tallow Wood	25	11	.71	8.5	.95	3.2	Fair- Good	Fair-Good	2d	М	Protect Install tree protection measures as per recommendations	
_	TPZ shown in plans slightly greater than that of indicative. Project arborist to supervise excavations where they occur within indicative TPZ. No incursion from driveway and/or adjacent dwellings - dwellings to be constructed atop stiffens raft slabs. Incursion from power sub-station <1% - No design modification required. Incursion from 500mm cut running along southern aspect <5% - no design modification required. Incursion from car park <2.2% - car spaces surface should be constructed of a permeable substance.										d.				

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TREE #	AGE	SPECIES	COMMON NAME	Overall Height (m)	CANOPY SPREAD	DBH (m)	TPZ (m-R)	DAB (m)	SRZ (m-R)	HEALTH	Structural Condition	SULE	Retention Value	RECOMENDATION
05	Early Mature	Eucalyptus microcorys	Tallow Wood	25	11	.85	10.3	1.06	3.4	Good	Good	lb	Е	Protect Install tree protection measures as per recommendations
	ESIGN MMENTS		TPZ shown in plans slightly less than indicative. No Incursions – No design modifications required.											
06	Mature	Eucalyptus microcorys	Tallow Wood	25	15	.86	10.3	1.01	3.2	Good	Good	2d	Н	Protect Install tree protection measures as per recommendations
_	ESIGN MMENTS	TPZ shown in plo Incursion of stor Incursion from c	m water serv	ice a	nd ne	earest	dwellir	ng to th	ne ea: e cor	st <2% - N structed	lo design mod of a permeal	difica	ıtion r ıbstaı	required. nce.

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## **EXPLANATORY NOTES**

Age	Age class according to overall size/canopy volume/live canopy ratio/presence of hollows or lack thereof
Scientific Name/Common Name	Identification is made on the basis of visual features visible from ground level at the time of inspection
Height (m)	Estimated - however, generally comparative to other trees
Spread (m)	Estimated - paced out
DRU (am)	Trunk diameter - measured or approximated at 1.4m above ground
DBH (cm)	Est - Estimated equivalent trunk diameter where multiple trunks and branching exist
	E = Essential - Site suitability 40 plus years, good condition, able to be retained without design changes
	H = High - Site suitability 40 plus years fair condition or better able to be retained with minor design changes
Retention Value	M = Moderate - Site suitability 20 - 40 years, or only retainable with moderate impact on the development of the site
Referrior value	L = Low - Site suitability less than 20 years, or retention impacts significantly on development of the site
	N = Nil - Site suitability less than 5 years, or retention sterilises development of site
	<b>Note:</b> Site suitability considers health, life expectancy, risk of harm, desirability of species and impacts on
	current and proposed land use. Impact on development needs to be considered throughout the planning
	stage
Health	See appendix 3
Structural Condition	See appendix 4
SULE	See appendix 5
Recommendations	Unless otherwise stated trees are to be retained

# **APPENDIX 6:**

# Tree Protection Plan (Drawing)

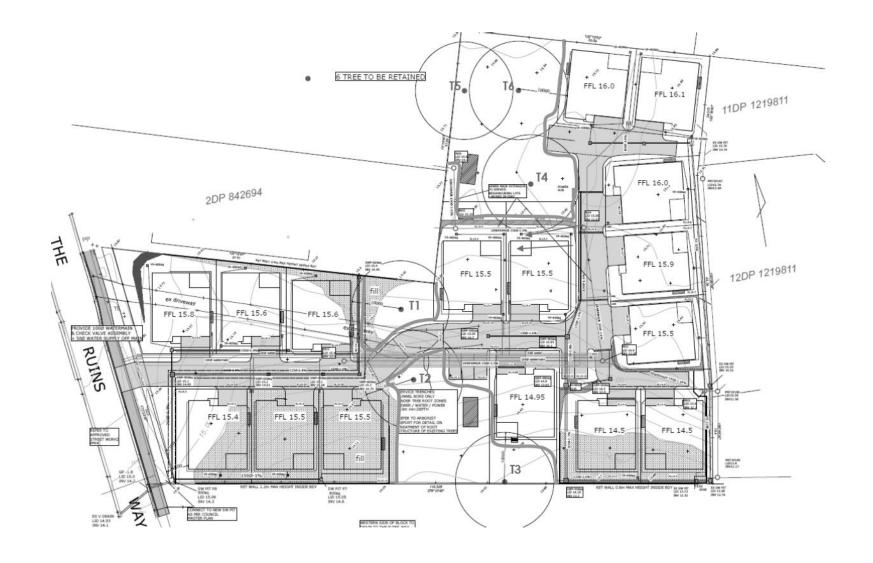
Image taken from drawing # 11564

SERVICES PLAN – DA ISSUE

SHEET 3 OF 10

REV D 5/4/2020

Image not to scale



#### **APPENDIX 7 – GENERIC TREE PROTECTION GUIDELINES**

#### 15. PRE-CONSTUCTION

- 15.1 Prior to the commencement of construction, the consulting Arborist will issue a report outlining the following:
- 15.1.1 The trees that have been protected, the maintenance activities (if any) for each tree that have already been performed, that the protective fence or fences have been installed in accordance with the Arborist's Report.
- 15.1.2 A statement that the physical protection (Section 4 of the AS 4970-2009) of the trees has been performed, to the above standards or if not, any non-conformances and why. E.g. the fences surrounding trees are incomplete because of boundary fences.
- 15.1.3 All trees to be removed are to be marked with a single white line around the trunk. No tree shall be so marked until council consent for its removal has been given.
- 15.1.4 Prior to removal one of the following will confirm the tree is to be removed by marking the tree with a single horizontal yellow or orange line. One of the following persons, Surveyor, Landscape Architect, Arborist, Project Manager, and Tree Preservation Officer, should do this.

#### 16. TREE PROTECTION ZONES

- 16.1 The trees are to be protected by a 1.8 metre high fence to be constructed within 500mm of any construction activity and to include as much of the Primary Root Zone as possible.
- 16.2 Where the Tree Protection Zone occurs impart on the adjacent property, the fence will stop at the boundary lines.
- 16.3 Provision will be made to these protection zones for pedestrian access only.

#### 17. MAINTENANCE ACTIVITIES

- 17.1 The following maintenance activities will be required for this site:
- 17.2 Irrigation by hand to comply with current specifications.
- 17.3 Soil Amelioration.
- 17.4 Mulching.
- 17.5 Crown cleaning in accordance with AS 4373-2007
- 17.6 Pruning of Amenity Trees, removal of trees by sectional felling and stump grinding.
- 17.6.1 Tree Removal Timing: Maintenance activities are to be at the commencement of the construction process by qualified Arborists and then as required during the construction period.
- 17.7 Irrigation:
- 17.7.1 Soil moisture during construction shall be maintained at not less than 60% of field capacity.

- 17.7.2 Irrigation is to be applied by hand. No construction activities are to take place within the Primary Root Zone until irrigation has been initiated and soil moisture reaches 70% of field capacity at a depth of 300mm.
- 17.7.3 On each visit, the consulting arborist shall check the soil moisture and manually check the irrigation system, when installed.
- 17.7.4 Soil moisture levels should be checked by physical touch or with a tensiometer.

#### 17.8 Soil Amelioration:

- 17.8.1 An application of rooting hormones, humic acids, soil micro-flora and mycorrhizae may be applied by an arborist in accordance with the manufacturer's instructions.
- 17.8.2 Chemical/synthetic fertilisers are to be used only after representative soil testing and based on the soil scientist's recommendations.

#### 17.9 Mulching:

17.9.1 The fenced area should be mulched with seed free mulch to a depth of at least 50mm.

#### 17.10 Weed Control:

- 17.10.1 Weed control shall be by hand pulling, wiping or spraying with a glyphosate based herbicide. Material likely to be root grafted to trees to be retained shall be removed manually.
- 17.10.2 Weed control shall not be performed by mechanical cultivation or by scraping or back burning.

#### 17.11 Crown Cleaning:

- 17.11.1 Crown cleaning (AS4373-1996, Pruning of Amenity Trees) shall be performed in accordance with the standard, by an arborist and in compliance with the appropriate occupational health and safety regulations. All branches down to 50mm in size shall be inspected and appropriately treated.
- 17.11.2 Any concerns about health or safety that are observed by the arborist on the site will be reported in writing within 7 days to the superintendent/principal/client and/or head contractor.
- 17.11.3 The use of spurs on live trees and inter-nodal cutting is strictly prohibited.

#### 17.12 Tree Removal and Stump Grinding:

- 17.12.1 Remove trees in a controlled or sectional felling to avoid any damage to the trees to be retained.
- 17.12.2 All shrubs, under-scrub and woody weeds that are to be removed shall be removed by hand as per 10.1 above.
- 17.12.3 No tree shall be removed unless it has been marked with a horizontal white and yellow/orange line around the trunk.

#### 18. FENCES

18.1.1 The fencing of the Tree Protection zone as defined in section 4.3 of the AS 4970-2009, should be commenced prior to the commencement of ANY work, including demolition and land clearing by earth moving machinery but may be erected after tree maintenance activities.

18.1.2 The fence surrounding the Tree Protection Zone must be a rigid fence not less than 1.8m high.

#### 19. SIGNS

19.1 At least every 25 metres attached to all tree protection fences there shall be a sign, a minimum of 600mm x 600mm, bearing the following phrase in red letters on white background at least 50mm in height:

#### "TREE PROTECTION ZONE - KEEP OUT"

19.2 On the same sign above or on a separate sign attached adjacent, in red lettering on white background not less than 25mm in height is to be the following:

#### "PROHIBITED ACTIVITIES"

- 19.3 Followed by the list below in black letters not less than 15mm in height.
- a) Entry of machinery or people.
- b) Storage of building materials.
- c) Parking of any kind.
- d) Erection or placement of site facilities.
- e) Removal or stockpiling of soil or site debris.
- f) Disposal of liquid waste including paint and concrete wash.
- g) Excavation or trenching of any kind (including irrigation or electrical connections).
- h) Attaching any signs or any other objects to the tree.
- i) Placing of waste disposal or skip bins.
- j) Pruning and removal of branches, except by a qualified Arborist.
- 19.4 In letters not less than 25mm in height on the above sign should be the name of the supervising Arborist or arboricultural company or other appropriate contact and a contact phone number.

#### 20. ROOT SEVERANCE

20.1 All roots greater than 50mm in diameter that are required to be removed shall be cleanly cut and kept moist at all times and shall not be left exposed to the air for more than 10 to 15 minutes.

#### 21. MAINTENANCE REPORTS

- 21.1 Fortnightly inspections and monthly reports should be made until the end of construction.
- 21.2 A consulting Arborist should be on site during any excavation work within the Structural Root Zone and will report on that work in the monthly report.
- A site log shall be maintained and include the date of each inspection, the person who performed the inspection, the items inspected or tested, the maintenance activities performed, any repairs undertaken or required to be undertaken, and any substantial breaches or non-conformances.
- 21.4 The arborist performing the inspection should sign the entries in the logbook
- 21.5 The log shall be maintained on site or alternatively copies of the log entries for the month shall be submitted each month with the monthly report.
- 21.6 All maintenance shall continue for the 3 months after completion of construction.

#### 22. NON-CONFORMANCE REPORTS

- 22.1 The following are non-conformances that need to be managed when they occur.
- 22.1.1 The removal or relocation closer to the tree of all or part of any protective fence prior to landscaping.
- 22.1.2 The performing of any activity noted as prohibited on protection zone signage
- 22.1.3 The failure to maintain adequate soil moisture or the failure in the operation of the irrigation system.
- 22.1.4 Mechanical damage to the trunk, stems, branches, or retained roots.
- 22.1.5 The sudden and abnormal or premature shedding or decline of the tree.
- 22.2 Substantial breaches and non-conformances:
- 22.2.1 Any breach or non-conformance of the tree protection zone, by any party, shall be notified in writing within 2 working days of it being first observed.
- 22.2.2 Notification of any non-conformance should be made in writing to the site foreman, the consent authority and any independent certifier.

### KOALA PLAN OF MANAGEMENT

PROPOSED RESIDENTIAL SUBDIVISION AND CLUSTER HOUSING DEVELOPMENT

LOT 5 DP 255991 AND LOT 3 DP 842694 MAJOR INNES DRIVE AND THE RUINS WAY PORT MACQUARIE

14122

May 2000

KING & CAMPBELL PTY LTD

Consulting Surveyors, Engineers & Pranners

1\* Floor, Colonial Areade
25-27 Hay Street
PORT MACQUARIE NSW 2444
Telephone: (02) 6583 2666
Facsimile: (02) 6583 4060

E-mail: info@kingcampbell.com.au.

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#### 1 BACKGROUND

The development application for a proposed residential subdivision and cluster housing development was lodged with Hastings Council in November 1999 (refer *Appendix A*).

The development application was accompanied by a Threatened Species and SEPP 44 - Koala Habitat Assessment prepared by Jason Berrigan of Darkheart Eco-Consultancy (refer *Appendix B*).

Berrigan concluded at p.46 of his report that the property was not core koala habitat for the following reasons:

- 1 No breeding females (that is females with young) have been reported or detected on the property.
- No resident population of koalas identified in association with the property. Berrigan concluded that a breeding aggregate or a 'population' consists of interbreeding individuals. Berrigan's survey and information from residents indicate that koala usage of the property is most likely limited to occasional use by a single male koala.
- 3 The level of activity determined by scat surveys supported conclusion (2). Scats on the property were scattered and in low abundance suggesting periodic use of probably only one individual, or transients.
- 4 Berrigan concluded that, despite the abundance of Primary Browse Species on the property, the site was considered likely to be secondary habitat in proximity to an area of core koala habitat to the south and in Lake Innes Nature Reserve approximately 400 metres east of the property.

The applicant received advice from Hastings Council in January 2000 (refer *Appendix C*) that Berrigan's conclusions with regard to koala habitat were not accepted and that the property constituted core koala habitat. Council's assessment was made on the following basis:

- The level of koala activity indicated by the presence of scats, scratch marks and koalas on the property;
- The proximity of known koala habitat in the nearby locality;
- · The high percentage of koala feed trees on the property, and
- A resident population of koalas may be constituted by a single koala.

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Hastings Council referred the development application to Connell Wagner and their koala expert, Chris Moon for confirmation of the status of the koala habitat on the property.

Chris Moon and Anthony Thorne undertook a site inspection on 2 February 2000. Chris Moon provided the following verbal advice during that inspection:

- The property is considered to be core koala habitat.
- Based on attributes observed on site and the results of the Berrigan survey, the
  habitat on the property was considered to be on the fringe of areas of more major
  activity and likely to be partially supporting one, or at most two koalas (Chris Moon,
  pers.com.02.02.2000).

Chris Moon's verbal advice that the habitat on the property constituted core koala habitat was confirmed in writing to Hastings Council by Connell Wagner (refer *Appendix D*). Connell Wagner advised Council that habitat which supports a fringing or partial component of a koala population qualifies as core koala habitat (Connell Wagner, Feb. 2000, p.2).

The Koala Plan of Management has been prepared in accordance with the Department of Urban Affairs and Planning Guidelines contained in their Circular B35.

#### 2 CONSULTATION

The following parties have been consulted during the preparation of the Koala Plan of Management:

- Hastings Council
- Department of Urban Affairs and Planning
- Hastings Council's koala expert, Chris Moon
- Applicant's ecological consultant, Jason Berrigan

The Port Macquarie Koala Preservation Society were consulted with by Jason Berrigan during the preparation of the SEPP 44 assessment.

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#### 3 OBJECTIVES OF THE PLAN

The objectives of the Koala Plan of Management (KPOM) are:

- To maintain as much as is possible the existing koala habitat on the subject property
  ensuring there is no net loss of primary browse trees as a result of the development.
- To improve the long term potential of koala habitat on the subject and nearby properties.
- To provide for the enhancement of linkages to nearby areas of koala habitat.
- To provide for the long term conservation of the local koala population.

#### 4 CRITERIA FOR ACHIEVEMENT OF OBJECTIVES

The criteria against which achievement of the objectives is to be measured are:

- Retention of as many Primary browse species as possible found to have scats under them during surveys.
- Retention of all Tallow Wood and Scribbly Gum trees determined to be of high significance, in the KPOM.
- Retention of as many other Tallow Wood and Scribbly Gum trees as possible, particularly those with a diameter breast height greater than 400mm and ranked to be of fair to medium significance in the KPOM.
- Effective establishment of a tree replacement program on the subject property. To
  ensure maximum success, re-planting is to be carried out on a staged basis. The
  success rate of previous replantings in earlier stages is to be monitored and used to
  guide works in latter stages.
- Advance planting of trees in areas contained in the latter stages of the development.
   As the whole development is expected to take 5-10 years to complete, the advance plantings will ensure continuity of resource throughout the life of the project.
- Effective establishment of a tree planting program on lands immediately surrounding
  the subject property (in street verges and drainage reserves). This criteria will
  measure the effectiveness of the proposed enhancement of links to other nearby
  areas of koala habitat.

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Ongoing monitoring of the density of koala habitat on the subject property to
measure its long term potential of providing for the local koala population. The final
target density for Primary browse species is 60 trees per hectare on site with
additional external linkages as described above.

#### 5 ESTIMATE OF POPULATION SIZE

A SEPP 44 and Threatened Species Assessment was carried out by Jason Berrigan of Dark Heart Eco-Consultancy (refer *Appendix B*). During field surveys two male koalas were observed on the site. Anecdotal evidence provided by surrounding residents generally confirms intermittent sightings of a "large old koala". Berrigan has confirmed that these sightings are consistent with his observations and concludes that the property is likely to form part of the larger home range of a single adult koala for the following reasons (p. 45):

- The pattern of scats detected on the site was mostly as one to three scats per tree
  indicating light use (occasional or seasonal passes), with localised stopovers (eg. a
  night of feeding) on only a few selected trees (evidenced by collections of five or
  more scats under a few trees).
- The reporting by residents of regular periodic sightings of a single adult koala in the
- Failure to detect females with joeys or the presence of a breeding aggregate on the site despite searches being undertaken during breeding season.
- The presence of scats in only low numbers (mostly less than five) with most being months old and no significant numbers of fresh scats to indicate frequent usage.

While no further survey work was undertaken during the preparation of the KPOM, a site inspection was carried out by Chris Moon and Anthony Thorne on 2 February 2000.

As previously outlined, the purpose of the site inspection was to confirm Council's advice that the existing vegetation was core koala habitat. While the inspection did not represent a formal koala survey, the issue of the likely size of the koala population on the property was discussed.

Mr Moon generally agreed that, based on the results of Berrigan's field work and to a less extent his site inspection, while the habitat was considered to be core koala habitat, it was also considered likely to be a fringe area. Berrigan's conclusion that the site partially supported a population of 1-2 koalas was agreed to be an accurate conclusion from the data collected (Chris Moon, pers.com. 2 February 2000).

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#### 6 PREFERRED TREE SPECIES

The preferred primary browse species on the property are Tallowwood and Scribbly Gum. Swamp mahogany is a preferred feed species in the nature reserve to the east and south-east.

The accompanying aerial photographs show the subject property as the northern most spur of a large area of native vegetation. The property is surrounded by residential areas on its northern, eastern and western edges.

There are currently 464 trees on the four hectare property with approximately 42% of these being primary browse species. In addition to these are a number of Blackbutt trees which, although listed as a secondary browse tree in SEPP 44, is included in a local preferred species list prepared by the Koala Preservation Society.

Despite the large number of primary browse species on the property, site surveys indicated that the long term feed resource was limited as there are a large number of trees in poor health due to die-back, particularly among the Scribbly Gum species.

For this reason, at an early stage in the design of the proposed development, the ecological consultant carried out a ranking of the koala forage / habitat potential of the existing trees.

The criteria used for ranking the trees from High to Poor significance as koala habitat are as shown on the attached plan. It was considered that such a detailed assessment approach was possible given the limited size of the subject property.

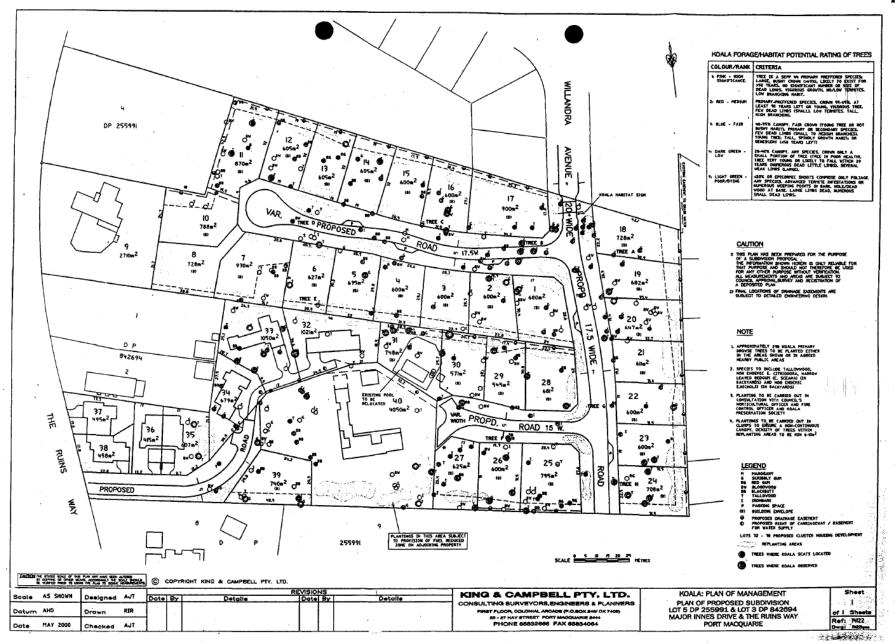
Plan Nº 1 shows the results of habitat significance rating carried out. It also notes the trees under which scats were found and those in which koalas were observed.

During the preparation of the KPOM the subdivision and cluster housing designs have been amended to maximise the retention of:

- Primary feed species under which scats were found.
- Primary feed species considered to be of high or medium koala forage / habitat potential.
- Primary feed species throughout the property that potentially provide linkages to other areas of koala habitat.

Further details with regard to amelioration measures are included in Section 9 of this report.

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The enclosed aerial photographs show the extent of resource available in the surrounding area. They show extensive areas of native vegetation on private lands to the south, and within the Lake Innes Nature Reserve to the east and south-east of the property.

Section 8 of the KPOM outlines strategies to enhance connectivity between the subject property and these areas of available koala feed resources.

#### 7 REGIONAL DISTRIBUTION OF KOALAS

The coastal sector of the Hastings Local Government Area is well known to contain a viable koala population in varying densities, generally within the following areas:

- Port Macquarie urban area
- Lake Innes Nature Reserve / Kooloonbung Creek Nature Reserve and adjoining private lands
- · Lake Cathie urban area

The aerial photograph contained in Figure 3 of Berrigan's report shows the subject property in relation to the Port Macquarie urban area, Lake Innes and Kooloonbung Creek Nature Reserves, Innes Lake Estate and the Innes Peninsula. The photograph shows the large areas of alternative habitat generally surrounding the site as follows:

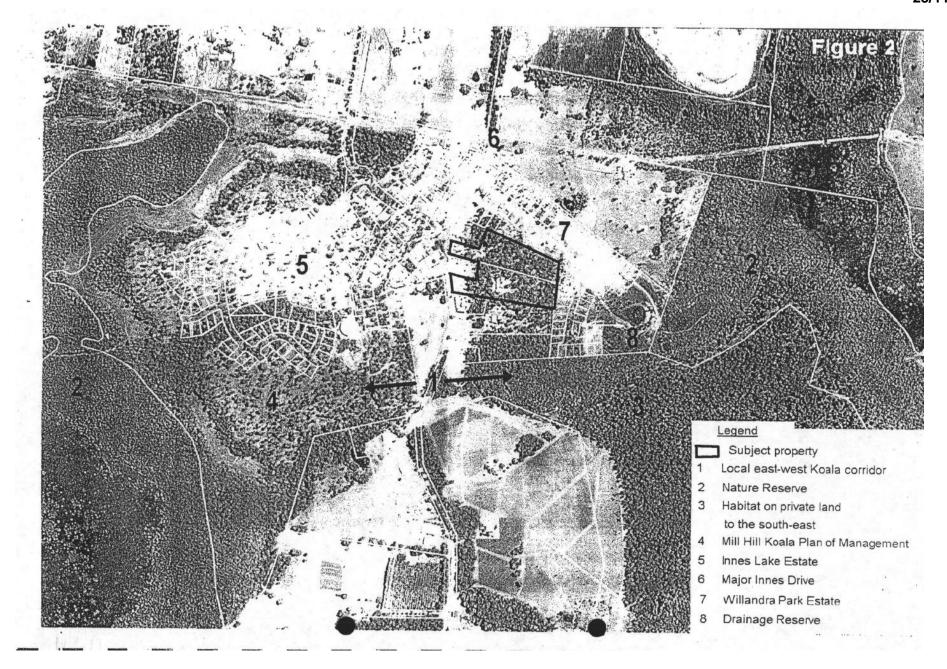
- Lake Innes Nature Reserve to the north-east, east and south-east providing linkages to the Port Macquarie urban area.
- Lake Innes Nature Reserve and privately owned property to the south providing linkages to Lake Innes and Lake Cathie.
- The Innes Lake urban area and the Mill Hill area (identified as core koala habitat by EcoPro in 1999) which provide further linkages to the Nature Reserve in a southwesterly direction.

Areas to the immediate north and east of the subject property are recent residential estates with minimal alternative koala habitat contained therein.

The Innes Lake Estate immediately west of Major Innes Drive contains some alternative koala habitat. A number of primary browse species have been retained generally within the road reserves and public reserve areas.

Figure 2 shows in more detail the areas of alternative habitat in the immediate vicinity of the subject property.

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Item 09 Attachment 6

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#### 8 IDENTIFICATION OF LINKAGES

As Figure 2 shows, the subject property does not form part of a linkage between areas of habitat as it is adjacent to new residential areas to the immediate north and east and the Innes Lake residential estate to the west. These areas have, in the past few years, been virtually completely built out.

There is minimal potential for the establishment of new linkages in an easterly direction due to the use of colourbond fencing in Willandra Park Estate.

The main potential for a direct linkage to adjacent areas of habitat is in a southerly direction through two rural residential allotments and to a lesser extent to the west via Innes Lake Estate.

Berrigan and EcoPro (1999) both identified a local east-west linkage between the Mill Hill area and Lake Innes Nature Reserve as shown on Figure 2.

Berrigan also identified another possible linkage in a northerly direction via a thin corridor of trees along Major Innes Drive. This corridor does not currently have any direct linkage to the subject property.

The following strategies are to be implemented to enhance these linkages:

 Retention of as much existing koala habitat on the property as possible, with a 3:1 replacement program for trees removed.

While the site does not form part of an existing corridor, retention of habitat on the property will ensure the maintenance of the property as a fringe area in proximity to nearby linkages.

The tree replacement programme will, subject to Council's agreement, include tree
plantings in nearby public streets (Major Innes Drive, The Ruins Way, Willandra
Avenue and Yarra Avenue) and within the recently dedicated drainage reserve
located between Willandra Park Estate and Lake Innes Nature Reserve.

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## 9 MAJOR THREATENING PROCESSES / AMELIORATION MEASURES

The major threatening processes to koalas have been well documented to include:

- · Loss of habitat
- Road kill
- Dog attack
- Drowning
- Disease
- Fire

The following ameliorative measures are proposed to reduce the potential impact of these threatening processes on the existing koala population:

#### i) Design of subdivision layout

The subdivision layout submitted with the development application was designed to retain as many trees determined to be of high or medium significance as possible (King & Campbell, 1999, p.8). This layout has been further refined (refer *Plan 1*) during the preparation of the KPOM as follows:

- Retention of as many primary feed trees as possible under which koala scats were found. Once again, emphasis was also placed on retention of those trees ranked to be of high and medium habitat potential.
- Introduction of building envelopes to ensure the protection of existing koala feed trees and those planted during the development of the subdivision and facilitate the creation of habitat corridors within a woodland setting.
- Further refinement of lot sizes and shapes to ensure, where possible, koala feed trees are located near side and rear boundaries and, therefore, either outside or on the perimeter of building envelopes.
- Further refinement of the cluster housing to ensure that proposed houses are, where possible, located at least five metres from primary browse trees proposed to be retained. Once again, emphasis was placed on those trees under which scats were found and which were ranked to be of medium or high habitat significance. Approval of the cluster housing element will set the general footprint of future dwellings on those particular allotments.
- Infrastructure contained within allotments (eg sewerage and inter-allotment drainage) is to be designed to minimise habitat loss. Infrastructure within road reserves to also be located to minimise tree removal in these areas.

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#### ii) Design of road/accessway layout

The road layout has also been designed to minimise the potential threat to koalas as follows:

- Use of cul-de-sacs and private accessways for access to the majority of allotments.
- Design of carriageways to promote a low speed environment.
- Reduction of the width of the carriageway within the extension of Willandra Avenue from nine metres to seven metres to promote lower speeds for through traffic.
- Carriageways within cul-de-sacs are to be five metres wide and, combined with the widening of the road reserves, have been designed to maximise the retention of primary browse trees.
- Street lighting is to be located to improve driver visibility within the subdivision.

#### iii) Replacement of Primary Browse Trees

As outlined above, the subdivision has been designed to minimise the removal of primary browse trees, with particular emphasis on the retention of those trees under which scats were found and which were considered to have medium to high koala habitat potential.

The significant majority of trees proposed to be removed did not have scats found under them during the site survey, and were ranked by Berrigan to have only poor, low or fair koala habitat/forage potential. Many of these trees are considered likely to die or fall, or not offer any significant habitat value (Berrigan 1999, p.51).

The primary aim of the re-planting program is to ensure that there is no net reduction in the number and distribution of primary browse trees on the property. This will be achieved by the following measures:

- Replacement of each primary browse tree removed with three new primary browse species.
- The replacement program will involve initial one for one re-planting within reasonable proximity to any tree removed.
- The identification of trees to be removed in latter stages of the subdivision and early planting of replacement trees in nearby areas unlikely to be disturbed. This process will maximise the continuity of koala habitat in the short term, as koalas are known to feed on young primary browse species (say 5 years old).

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- Replacement plantings are to be located within road reserves, front and rear yards, and will be planted in clumps as shown on Plan 1 to form a non-continuous canopy. The plantings are proposed to form habitat corridors throughout the site so as to ensure the existing koala habitat is not further isolated from nearby habitat areas.
- Further replacement plantings are, with Council's concurrence, to be implemented within nearby road reserves and drainage reserve, thereby facilitating linkages between the subject property and surrounding habitat areas.
- Replacement trees are to be staked and protected to ensure maximum opportunity for survival.
- Monitoring measures are to be implemented as outlined below to gauge the success of re-planting programs and provide recommendations with regard to possible changes to the proposed methodology.
- ► The re-planting program will use species naturally occurring within a 2-kilometre radius of the property, and include the following:
  - Tallowwood
  - Scribbly Gum
  - Swamp Mahogany (in drainage reserve)
  - Narrow-leafed Redgum (E. Seeana)
  - E. Nicholii (refer Berrigan, p.52)

#### iv) Lopping of Primary Browse Species

Selective lopping of primary browse species will be undertaken during the staged development of the subdivision. The purpose of the lopping will be to remove dangerous limbs, but also to facilitate the long term retention of existing mature species by reducing the number of branches overhanging building envelopes. The lopping program will also have the benefit of enhancing more bushy regrowth on the existing trees.

#### v) Fencing and Pool Ropes

Restrictions as to user are to be placed on allotments requiring fencing to be lapped and capped paling with posts interspersed on either side of the fence. The purpose of this restriction is to ensure that fencing does not become a barrier to koala movement throughout the subdivision.

Restrictions as to user will also require that pool designs incorporate appropriate pool rescue ropes to minimise the potential for koala drownings.

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#### vi) Resident Awareness

Appropriate signage is to be erected at the entrances to the subdivision advising residents and visitors that they are entering an area of important koala habitat. The signs will contain information such as:

- Advice on the duration of breeding season and the most active times of day/night
- Advice to motorists to drive slowly (40kph)
- Advice to dog owners, warning them of the threat their pets pose to koalas and reminding them of their obligation to keep their dogs under control at all times.
   It is not considered to be feasible to ban dogs from a subdivision of this scale, given the proximity of other existing residential areas
- Contact details for the Koala Preservation Society / Koala Hospital / FAWNA Group to facilitate prompt reporting of sick or injured koalas

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# 10 OPPORTUNITIES TO INCREASE SIZE AND CONDITION OF EXISTING CORE HABITAT

The implementation of an effective primary browse species replacement program as outlined above, creates opportunities to increase the size and improve the condition of existing core koala habitat, both on the subject property and on adjoining lands, as follows:

- As previously outlined, the majority of trees to be removed are considered to be dying or unhealthy with low forage potential. Each of these trees will be replaced at a rate of three to one with primary browse species.
- The existing vegetation is fairly consistent in age throughout the property. The replanting program will provide a new generation of primary browse species to further ensure the longevity of the koala habitat.
- The planting of replacement trees prior to the removal of primary browse species located in latter stages of the subdivision will increase the amount of habitat available in the short term and maintain the overall amount of habitat in the medium to long term.
- The planting of primary browse species in the surrounding streets and drainage reserve will increase the amount of koala habitat available in adjacent areas.

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#### 11 MONITORING AND REPORTING MEASURES

The following monitoring and reporting measures will be incorporated into the proposed residential subdivision and cluster housing development:

- Annual reporting of the density of primary browse species on the subject property during the subdivision development phase of the project. Such reporting is to include details of the number of trees removed and re-planted, and information to allow the comparison of the actual interim density of primary browse trees against the target density of 60 primary browse species per hectare. The annual report will be prepared by the developer, or their representatives, and will also make recommendations, if appropriate, with regard to future plantings required.
- Reporting to Council with regard to the re-planting works carried out on nearby
  public lands. It is anticipated that such works will be carried out in the initial stages
  of the development. The reporting will contain details of planting survival rates and
  will be prepared by the developer or their representatives.
- Annual monitoring of the density of primary browse species during the house building phase of the development. A bond for an agreed amount (say the cost of one for one re-planting plus 30%) will be established with Council by the developer. It is recommended that Council also include provision for replacement plantings in their normal bonding arrangements with individual builders to cover damage to replacement plantings or mature species during house building works.
- All replacement plantings are to be subject to the normal maintenance period required by Council for such works. Inspection of the re-planting works is to be carried out by Council staff and the developer or their representatives prior to acceptance of the replacement primary browse species out of maintenance.

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#### 12 CONCLUSION

The subject property has been determined to contain core koala habitat which is considered to partially support 1-2 male koalas. It is considered that the partial resident population is likely to form a fringing component of a stable breeding population of koalas located within nearby core koala habitat in private lands to the south, and the Lake Innes Nature Reserve.

The principle objective of the Koala Plan of Management is to ensure there is no net reduction of primary browse trees (in number or distribution) as a result of the proposed development. It is anticipated that the proposed three to one tree replacement program will result in a medium to long term improvement of koala habitat, both on the subject property and nearby public lands.

The potential impacts on the existing koala population have been identified to include loss of habitat, road kill, dog attack and drowning.

The amelioration measures are proposed to mitigate the effects of these potential impacts, as follows:

- Retention of a significant majority of primary browse trees on the subject property.
   Emphasis has been placed on the retention of trees under which scats were found and those considered to be of high and medium forage/habitat potential.
- Cluster housing has been used to provide further certainty in areas containing a higher proportion of primary browse trees. The proposed development will fix the general footprint of those dwellings.
- A three for one tree replacement program is to be implemented on the subject property and nearby public roads and reserves. Species to be planted will generally reflect those in existence on the subject property and surrounding lands (Tallowwood, Scribbly Gum, Swamp Mahogany).
- The road layout has been designed to discourage through traffic and generally reduce vehicle speeds.
- A number of primary browse trees retained within allotments are to be lopped to reduce potential conflicts during the house construction phase, and provide more certainty as to their retention.
- Fencing types are to be restricted to those which do not inhibit koala movement through the developed property. Restrictions as to user will require appropriate safety measures to be implemented to minimise the risk of koala drownings.

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- Planting of replacement trees will, where possible, take place prior to the removal
  of existing primary browse species. This is particularly relevant to the final stages
  of the development where replacement trees may have five years growth prior to the
  removal of the existing trees, thereby minimising the impact of short term habitat
  loss.
- Annual monitoring of tree densities is to be undertaken during the life of the project.
   Bonding arrangements are to be made with Council to ensure the survival of the target density of primary browse species after the completion of dwelling construction.