



PORT MACQUARIE-HASTINGS
COUNCIL



Development Assessment Panel

Business Paper

date of meeting: Thursday 17 June 2021

location: Committee Room
Port Macquarie-Hastings Council
17 Burrawan Street
Port Macquarie

time: 2:00pm

Note: Council is distributing this agenda on the strict understanding that the publication and/or announcement of any material from the Paper before the meeting not be such as to presume the outcome of consideration of the matters thereon.

Development Assessment Panel

CHARTER

1.0 OBJECTIVES

To assist in managing Council's development assessment function by providing independent, transparent and expert determinations of development applications that fall outside of staff delegations.

2.0 KEY FUNCTIONS

- To review development application reports and conditions. The focus of the Panel's review is to be on those issues raised in submissions received following exhibition of development applications;
- To determine development applications where there are 3 or more unique submissions or where an application is outside of staff delegations;
- To refer development applications to Council for determination where necessary;
- To provide a forum for objectors and applicants to make submissions on applications before the Development Assessment Panel (DAP);
- To maintain transparency in the determination of development applications.

Delegated Authority of Panel

Pursuant to Section 377 of the Local Government Act, 1993 delegation to:

- Determine development applications under Part 4 of the Environmental Planning and Assessment Act 1979 having regard to the relevant environmental planning instruments, development control plans and Council policies.
- Vary, modify or release restrictions as to use and/or covenants created by Section 88B instruments under the Conveyancing Act 1919 in relation to development applications for subdivisions being considered by the panel.
- Determine Koala Plans of Management under State Environmental Planning Policy 44 - Koala Habitat Protection associated with development applications being considered by the Panel.

Noting the trigger to escalate decision making to Council as highlighted in section 5.2.

3.0 MEMBERSHIP

3.1 Voting Members

- Three (3) independent external members will be selected for each scheduled DAP meeting from an appointed pool of members. One of the independent external members to be the Chairperson. Independent members will be rostered onto meeting on a rotational basis where possible.
- Group Manager Development Assessment (alternate - Director Development and Environment or Development Assessment Planning Coordinator).

The independent external members shall have expertise in one or more of the following areas:

planning, architecture, heritage, the environment, urban design, economics, traffic and transport, law, engineering, government and public administration.

3.2 Non-Voting Members

Not applicable.

3.3 Obligations of members

- Members must act faithfully and diligently and in accordance with this Charter.
- Members must comply with Council's Code of Conduct.
- Except as required to properly perform their duties, DAP members must not disclose any confidential information (as advised by Council) obtained in connection with the DAP functions.
- Members will have read and be familiar with the documents and information provided by Council prior to attending a DAP meeting.
- Members must act in accordance with Council's Workplace Health and Safety Policies and Procedures.
- External members of the Panel are not authorised to speak to the media on behalf of Council. Council officers that are members of the Committee are bound by the existing operational delegations in relation to speaking to the media.

3.4 Member Tenure

The independent external members will be appointed for the term of Four (4) years or until such time as an expression of interest process to source Panel members is completed for the proceeding four (4) year term.

3.5 Appointment of members

- A pool of independent external members (including the Chair) shall be appointed by the Chief Executive Officer following an external Expression of Interest process. Previous Panel members are eligible to be reappointed on the Panel following this expression of interest process.
- Independent members will be rostered on to Panel meetings on a rotational basis where possible to suit Panel member availability and Panel operational needs.
- Staff members on the Panel shall be appointed by the Chief Executive Officer.

4.0 TIMETABLE OF MEETINGS

- The Development Assessment Panel will generally meet on the 1st and 3rd Thursday each month at 2.00pm at the Port Macquarie offices of Council.
- Special Meetings of the Panel may be convened by the Director Development and Environment with three (3) days' notice.

5.0 MEETING PRACTICES

5.1 Meeting Format

- At all meetings of the Panel the Chairperson shall occupy the Chair and preside. The Chair will be responsible for keeping of order at meetings.
- Meetings shall be open to the public.
- The Panel will hear from an applicant and objectors or their representatives. Speakers are required to register to speak by close of business on the day prior to the Panel meeting.
- The Panel shall have the discretion to ask the applicant and objectors questions relating to the proposal and their submission. There is no 'right of reply' for an objector or applicant.
- Where there are a large number of persons making submissions with common interests, the Panel shall have the discretion to hear a representative of those persons rather than multiple persons with the same interest.
- Council assessment staff will be available at Panel meetings to provide technical assessment advice and assistance to the Panel.
- Where considered necessary, the Panel will conduct site inspections prior to the meeting.

5.2 Decision Making

- Decisions are to be made by consensus. Where consensus is not possible on any item, that item is to be referred to Council for a decision.
- All development applications involving a proposed variation to a development standard greater than 10% under Clause 4.6 of the Local Environmental Plan will be considered by the Panel and recommendation made to the Council for a decision.

5.3 Quorum

Three (3) members must be present at a meeting to form a quorum.

5.4 Chairperson and Deputy Chairperson

Independent Chair (alternate - independent member).

5.5 Secretariat

- The Director Development and Environment is to be responsible for ensuring that the Panel has adequate secretariat support. The secretariat will ensure that the business paper and supporting papers are circulated at least three (3) days prior to each meeting. Minutes shall be appropriately approved and circulated to each member within three (3) weeks of a meeting being held.
- The format of and the preparation and publishing of the Business Paper and Minutes shall be similar to the format for Ordinary Council Meetings.

5.6 Recording of decisions

Minutes will be limited to the recording of decisions only and how each member votes for each item before the Panel.

6.0 CONVENING OF “OUTCOME SPECIFIC” WORKING GROUPS

Not applicable.

7.0 CONFIDENTIALITY AND CONFLICT OF INTEREST

- Members of the Panel must comply with the applicable provisions of Council’s Code of Conduct. It is the personal responsibility of members to comply with the standards in the Code of Conduct and regularly review their personal circumstances with this in mind.
- Panel members must declare any conflict of interest at the start of each meeting or before discussion of a relevant item or topic. Details of any conflicts of interest are to be appropriately minuted. Where members are deemed to have a real or perceived conflict of interest, it may be appropriate they be excused from deliberations on the issue where the conflict of interest may exist. A Panel meeting may be postponed where there is no quorum.

8.0 LOBBYING

All members and applicants are to adhere to Council’s Lobbying policy. Outside of scheduled Development Assessment Panel meetings, applicants, their representatives, Councillors, Council staff and the general public are not to lobby Panel members via meetings, telephone conversations, correspondence and the like. Adequate opportunity

will be provided at Panel inspections or meetings for applicants, their representatives and the general public to make verbal submissions in relation to Business Paper items.

9.0 CONDUCT AT MEETINGS

All parties in attendance at a DAP meeting shall conduct themselves respectfully ie. not disrupt the conduct of the meeting, not interject, act courteously and with compassion and empathy and sensitivity and will not insult, denigrate or make defamatory or personal reflections on or impute improper motives to the DAP, Council staff or other members of the public.

Development Assessment Panel

ATTENDANCE REGISTER

Member	18/03/21	15/04/21				
David Crofts	✓	✓				
Michael Mason	✓	✓				
Chris Gee		✓				
Tony McNamara	✓					
Dan Croft (Group Manager Development Assessment)	✓	✓				

Key: ✓ = Present

A = Absent With Apology

X = Absent Without Apology

Meeting Dates for 2021

21/01/2021	Function Room	2:00pm
11/02/2021	Committee Room	2:00pm
25/02/2021	Committee Room	2:00pm
18/03/2021	Committee Room	2:00pm
1/04/2021	Function Room	2:00pm
15/04/2021	Function Room	2:00pm
6/05/2021	Function Room	2:00pm
20/05/2021	Committee Room	2:00pm
3/06/2021	Function Room	2:00pm
17/06/2021	Function Room	2:00pm
1/07/2021	Function Room	2:00pm
15/07/2021	Function Room	2:00pm
19/08/2021	Function Room	2:00pm
2/09/2021	Function Room	2:00pm
16/09/2021	Function Room	2:00pm
7/10/2021	Function Room	2:00pm
21/10/2021	Function Room	2:00pm
4/11/2021	Committee Room	2:00pm
18/11/2021	Committee Room	2:00pm
2/12/2021	Function Room	2:00pm
16/12/2021	Function Room	2:00pm

Development Assessment Panel Meeting

Thursday 17 June 2021

Items of Business

Item	Subject	Page
01	Acknowledgement of Country	<u>9</u>
02	Apologies.....	<u>9</u>
03	Confirmation of Minutes	<u>9</u>
04	Disclosures of Interest.....	<u>13</u>
05	DA2020 - 1100.1 Demolition of Dwelling and Construction of Dual Occupancy with Torrens Title Subdivision and Jetty at Lot 47 DP 246284, No 29 Francis Street, Port Macquarie.....	<u>17</u>
06	General Business	

Item: 01**Subject: ACKNOWLEDGEMENT OF COUNTRY**

"I acknowledge that we are gathered on Birpai Land. I pay respect to the Birpai Elders both past and present. I also extend that respect to all other Aboriginal and Torres Strait Islander people present."

Item: 02**Subject: APOLOGIES**

RECOMMENDATION

That the apologies received be accepted.

Item: 03**Subject: CONFIRMATION OF PREVIOUS MINUTES**

RECOMMENDATION

That the Minutes of the Development Assessment Panel Meeting held on 15 April 2021 be confirmed.

PRESENT

Members:

David Crofts (Independent Chair)
Michael Mason (Independent Member)
Chris Gee (Independent Member)
Group Manager Development Assessment (Dan Croft)

Other Attendees:

Mayor Peta Pinson
Development Engineering Coordinator (Grant Burge)
Development Assessment Planner (Ben Roberts)
Development Assessment Planner (Clinton Tink)
Development Assessment Planner (Fiona Tierney)
Development Assessment Planner (Chris Gardiner)

The meeting opened at 2:00pm.

01 ACKNOWLEDGEMENT OF COUNTRY

The Acknowledgement of Country was delivered.

02 APOLOGIES

Nil.

03 CONFIRMATION OF MINUTES

CONSENSUS:

That the Minutes of the Development Assessment Panel Meeting held on 18 March 2021 be confirmed.

04 DISCLOSURES OF INTEREST

There were no disclosures of interest presented.

05 DA2008 - 225.2 - SECTION 4.55 MODIFICATION TO INDUSTRIAL SUBDIVISION LAYOUT AND STAGING AT LOT 2 DP 712594, LOT 133 DP 754405, LOT 4 DP 720823, LOT 1 DP 1245604, HERONS CREEK ROAD, HERONS CREEK

Speakers:
Amylia Fletcher (applicant)

CONSENSUS:

That the Section 4.55 modification to DA2008 - 225 being a modification to the layout and staging of the previously approved staged industrial subdivision at Lot 2, DP 712594, Lot 133 DP 754405, Lot 4 DP 720823 and Lot 1 DP 1245604, Herons Creek Road, Herons Creek, be determined by granting consent subject to the recommended modified conditions and as amended below:

- Update condition A1 to reference the most recent flood and stormwater assessment being September 2008.
-

06 DA2020 - 1064.1 ALTERATIONS AND ADDITIONS TO SERVICE STATION - FUEL TANK AT LOT 1 DP 831145, 140 PACIFIC DRIVE, PORT MACQUARIE

Speakers:
Michael Riley (opposing application)
John Chapple (applicant)

CONSENSUS:

That DA2020 - 1064.1 for alterations and additions to service station - fuel tank at Lot 1, DP 831145, No. 140 Pacific Drive, Port Macquarie, be determined by granting consent subject to the recommended conditions and as amended below:

- Additional condition in Section C of the consent to read: Prior to commencement of works a traffic management plan is to be submitted to Council for approval . The plan is to demonstrate that the development is not worsening the existing traffic environment on the site and include strategies and actions to effectively and safely manage traffic entering and existing the site.
 - Add the following sentence to condition E2: 'subject to confirmation of the requirement by the EPA.'
-

07 DA2020 - 457.1 MULTI-DWELLING HOUSING AND STRATA SUBDIVISION AT LOT 14 DP 1219811, NO 91 THE RUINS WAY, PORT MACQUARIE

Speakers:

Gabrielle Gregory (opposing application)
Adam Drenzla (opposing application)
Paula Sen Gupta (opposing application)
Siggy Hanisch (opposing application)
Rob Beukers (applicant)

CONSENSUS:

That the Development Assessment Panel recommend to Council that DA 2020 - 457 for a Multi Dwelling Housing and Strata Subdivision at Lot 14, DP 1219811, No. 91 The Ruins Way, Port Macquarie, be determined by granting consent subject to the recommended conditions with the following additional requirement:

1. That prior to the matter being considered by the elected Council, the applicant submit a detailed landscaping plan to Council staff for assessment providing for:
 - a) Cross sections with boundary interfaces.
 - b) Screening of neighbouring properties.
 - c) Softening and Screening of street frontage.
 - d) Details on the retention or removal of Lilli Pilli hedge on site.
 - e) Advanced native plantings in common areas.
 - f) Ongoing landscape maintenance and management plan.

08 GENERAL BUSINESS

Nil.

The meeting closed at 4:30pm.

Item: 04
Subject: DISCLOSURES OF INTEREST

RECOMMENDATION

That Disclosures of Interest be presented

DISCLOSURE OF INTEREST DECLARATION

Name of Meeting:	
Meeting Date:	
Item Number:	
Subject:	
I, the undersigned, hereby declare the following interest:	
<input type="checkbox"/> Pecuniary: Take no part in the consideration and voting and be out of sight of the meeting.	
<input type="checkbox"/> Non-Pecuniary – Significant Interest: Take no part in the consideration and voting and be out of sight of the meeting.	
<input type="checkbox"/> Non-Pecuniary – Less than Significant Interest: May participate in consideration and voting.	
For the reason that:	
Name: Signed:	Date:
Please submit to the Governance Support Officer at the Council Meeting.	

(Refer to next page and the Code of Conduct)

Pecuniary Interest

- 4.1 A pecuniary interest is an interest that you have in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to you or a person referred to in clause 4.3.
- 4.2 You will not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision you might make in relation to the matter, or if the interest is of a kind specified in clause 4.6.
- 4.3 For the purposes of this Part, you will have a pecuniary interest in a matter if the pecuniary interest is:
 - (a) your interest, or
 - (b) the interest of your spouse or de facto partner, your relative, or your partner or employer, or
 - (c) a company or other body of which you, or your nominee, partner or employer, is a shareholder or member.
- 4.4 For the purposes of clause 4.3:
 - (a) Your "relative" is any of the following:
 - i) your parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - ii) your spouse's or de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - iii) the spouse or de facto partner of a person referred to in paragraphs (i) and (ii)
 - (b) "de facto partner" has the same meaning as defined in section 21C of the *Interpretation Act 1987*.
- 4.5 You will not have a pecuniary interest in relation to a person referred to in subclauses 4.3(b) or (c)
 - (a) if you are unaware of the relevant pecuniary interest of your spouse, de facto partner, relative, partner, employer or company or other body, or
 - (b) just because the person is a member of, or is employed by, a council or a statutory body, or is employed by the Crown, or
 - (c) just because the person is a member of, or a delegate of a council to, a company or other body that has a pecuniary interest in the matter, so long as the person has no beneficial interest in any shares of the company or body.

Non-Pecuniary

- 5.1 Non-pecuniary interests are private or personal interests a council official has that do not amount to a pecuniary interest as defined in clause 4.1 of this code. These commonly arise out of family or personal relationships, or out of involvement in sporting, social, religious or other cultural groups and associations, and may include an interest of a financial nature.
- 5.2 A non-pecuniary conflict of interest exists where a reasonable and informed person would perceive that you could be influenced by a private interest when carrying out your official functions in relation to a matter.
- 5.3 The personal or political views of a council official do not constitute a private interest for the purposes of clause 5.2.
- 5.4 Non-pecuniary conflicts of interest must be identified and appropriately managed to uphold community confidence in the probity of council decision-making. The onus is on you to identify any non-pecuniary conflict of interest you may have in matters that you deal with, to disclose the interest fully and in writing, and to take appropriate action to manage the conflict in accordance with this code.
- 5.5 When considering whether or not you have a non-pecuniary conflict of interest in a matter you are dealing with, it is always important to think about how others would view your situation.

Managing non-pecuniary conflicts of interest

- 5.6 Where you have a non-pecuniary conflict of interest in a matter for the purposes of clause 5.2, you must disclose the relevant private interest you have in relation to the matter fully and in writing as soon as practicable after becoming aware of the non-pecuniary conflict of interest and on each occasion on which the non-pecuniary conflict of interest arises in relation to the matter. In the case of members of council staff other than the Chief Executive Officer, such a disclosure is to be made to the staff member's manager. In the case of the Chief Executive Officer, such a disclosure is to be made to the mayor.
- 5.7 If a disclosure is made at a council or committee meeting, both the disclosure and the nature of the interest must be recorded in the minutes on each occasion on which the non-pecuniary conflict of interest arises. This disclosure constitutes disclosure in writing for the purposes of clause 5.6.
- 5.8 How you manage a non-pecuniary conflict of interest will depend on whether or not it is significant.
- 5.9 As a general rule, a non-pecuniary conflict of interest will be significant where it does not involve a pecuniary interest for the purposes of clause 4.1, but it involves:
 - a) a relationship between a council official and another person who is affected by a decision or a matter under consideration that is particularly close, such as a current or former spouse or de facto partner, a relative for the purposes of clause 4.4 or another person from the council official's extended family that the council official has a close personal relationship with, or another person living in the same household
 - b) other relationships with persons who are affected by a decision or a matter under consideration that are particularly close, such as friendships and business relationships. Closeness is defined by the nature of the friendship or business relationship, the frequency of contact and the duration of the friendship or relationship.
 - c) an affiliation between the council official and an organisation (such as a sporting body, club, religious, cultural or charitable organisation, corporation or association) that is affected by a decision or a matter under consideration that is particularly strong. The strength of a council official's affiliation with an organisation is to be determined by the extent to which they actively participate in the management, administration or other activities of the organisation.
 - d) membership, as the council's representative, of the board or management committee of an organisation that is affected by a decision or a matter under consideration, in circumstances where the interests of the council and the organisation are potentially in conflict in relation to the particular matter
 - e) a financial interest (other than an interest of a type referred to in clause 4.6) that is not a pecuniary interest for the purposes of clause 4.1
 - f) the conferral or loss of a personal benefit other than one conferred or lost as a member of the community or a broader class of people affected by a decision.
- 5.10 Significant non-pecuniary conflicts of interest must be managed in one of two ways:
 - a) by not participating in consideration of, or decision making in relation to, the matter in which you have the significant non-pecuniary conflict of interest and the matter being allocated to another person for consideration or determination, or
 - b) if the significant non-pecuniary conflict of interest arises in relation to a matter under consideration at a council or committee meeting, by managing the conflict of interest as if you had a pecuniary interest in the matter by complying with clauses 4.28 and 4.29.
- 5.11 If you determine that you have a non-pecuniary conflict of interest in a matter that is not significant and does not require further action, when disclosing the interest you must also explain in writing why you consider that the non-pecuniary conflict of interest is not significant and does not require further action in the circumstances.
- 5.12 If you are a member of staff of council other than the Chief Executive Officer, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of your manager. In the case of the Chief Executive Officer, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of the mayor.
- 5.13 Despite clause 5.10(b), a councillor who has a significant non-pecuniary conflict of interest in a matter, may participate in a decision to delegate consideration of the matter in question to another body or person.
- 5.14 Council committee members are not required to declare and manage a non-pecuniary conflict of interest in accordance with the requirements of this Part where it arises from an interest they have as a person chosen to represent the community, or as a member of a non-profit organisation or other community or special interest group, if they have been appointed to represent the organisation or group on the council committee.

SPECIAL DISCLOSURE OF PECUNIARY INTEREST DECLARATION

This form must be completed using block letters or typed.

If there is insufficient space for all the information you are required to disclose, you must attach an appendix which is to be properly identified and signed by you.

By <i>[insert full name of councillor]</i>	
In the matter of <i>[insert name of environmental planning instrument]</i>	
Which is to be considered at a meeting of the <i>[insert name of meeting]</i>	
Held on <i>[insert date of meeting]</i>	
PECUNIARY INTEREST	
Address of the affected principal place of residence of the councillor or an associated person, company or body <i>(the identified land)</i>	
Relationship of identified land to councillor <i>[Tick or cross one box.]</i>	<input type="checkbox"/> The councillor has interest in the land (e.g. is owner or has other interest arising out of a mortgage, lease, trust, option or contract, or otherwise). <input type="checkbox"/> An associated person of the councillor has an interest in the land. <input type="checkbox"/> An associated company or body of the councillor has interest in the land.
MATTER GIVING RISE TO PECUNIARY INTEREST¹	
Nature of land that is subject to a change in zone/planning control by proposed LEP <i>(the subject land²)</i> <i>[Tick or cross one box]</i>	<input type="checkbox"/> The identified land. <input type="checkbox"/> Land that adjoins or is adjacent to or is in proximity to the identified land.
Current zone/planning control <i>[Insert name of current planning instrument and identify relevant zone/planning control applying to the subject land]</i>	
Proposed change of zone/planning control <i>[Insert name of proposed LEP and identify proposed change of zone/planning control applying to the subject land]</i>	
Effect of proposed change of zone/planning control on councillor or associated person <i>[Tick or cross one box]</i>	<input type="checkbox"/> Appreciable financial gain. <input type="checkbox"/> Appreciable financial loss.

[If more than one pecuniary interest is to be declared, reprint the above box and fill in for each additional interest]

Councillor's Signature: **Date:**

This form is to be retained by the council's Chief Executive Officer and included in full in the minutes of the meeting

Last Updated: 3 June 2019

Important Information

This information is being collected for the purpose of making a special disclosure of pecuniary interests under clause 4.36(c) of the Model Code of Conduct for Local Councils in NSW (the Model Code of Conduct).

The special disclosure must relate only to a pecuniary interest that a councillor has in the councillor's principal place of residence, or an interest another person (whose interests are relevant under clause 4.3 of the Model Code of Conduct) has in that person's principal place of residence.

Clause 4.3 of the Model Code of Conduct states that you will have a pecuniary interest in a matter because of the pecuniary interest of your spouse or your de facto partner or your relative or because your business partner or employer has a pecuniary interest. You will also have a pecuniary interest in a matter because you, your nominee, your business partner or your employer is a member of a company or other body that has a pecuniary interest in the matter.

"Relative" is defined by clause 4.4 of the Model Code of Conduct as meaning your, your spouse's or your de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child and the spouse or de facto partner of any of those persons.

You must not make a special disclosure that you know or ought reasonably to know is false or misleading in a material particular. Complaints about breaches of these requirements are to be referred to the Office of Local Government and may result in disciplinary action by the Chief Executive of the Office of Local Government or the NSW Civil and Administrative Tribunal.

This form must be completed by you before the commencement of the council or council committee meeting at which the special disclosure is being made. The completed form must be tabled at the meeting. Everyone is entitled to inspect it. The special disclosure must be recorded in the minutes of the meeting.

¹ Clause 4.1 of the Model Code of Conduct provides that a pecuniary interest is an interest that a person has in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to the person. A person does not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision the person might make in relation to the matter, or if the interest is of a kind specified in clause 4.6 of the Model Code of Conduct.

² A pecuniary interest may arise by way of a change of permissible use of land adjoining, adjacent to or in proximity to land in which a councillor or a person, company or body referred to in clause 4.3 of the Model Code of Conduct has a proprietary interest

Item: 05

Subject: DA2020 - 1100.1 DEMOLITION OF DWELLING AND CONSTRUCTION OF DUAL OCCUPANCY WITH TORRENS TITLE SUBDIVISION AND JETTY AT LOT 47 DP 246284, NO 29 FRANCIS STREET, PORT MACQUARIE

Report Author: Development Assessment Planner, Benjamin Roberts

Applicant:	Collins W Collins
Owner:	P Markov and S L Kinloch
Estimated Cost:	\$900,000
Parcel no:	6915

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA2020 - 1100.1 for demolition of dwelling and construction of dual occupancy with Torrens title subdivision and jetty at Lot 47, DP 246284, No. 29 Francis Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for demolition of dwelling and construction of dual occupancy with torrens title subdivision and additional boat ramp and jetty at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, three (3) submissions were received.

The application has been amended during assessment in response to issues raised by assessment staff. The amended plans were provided to submitters and any additional comments sought over a further two-week period.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls as justified. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the attached conditions (**Attachment 1**).

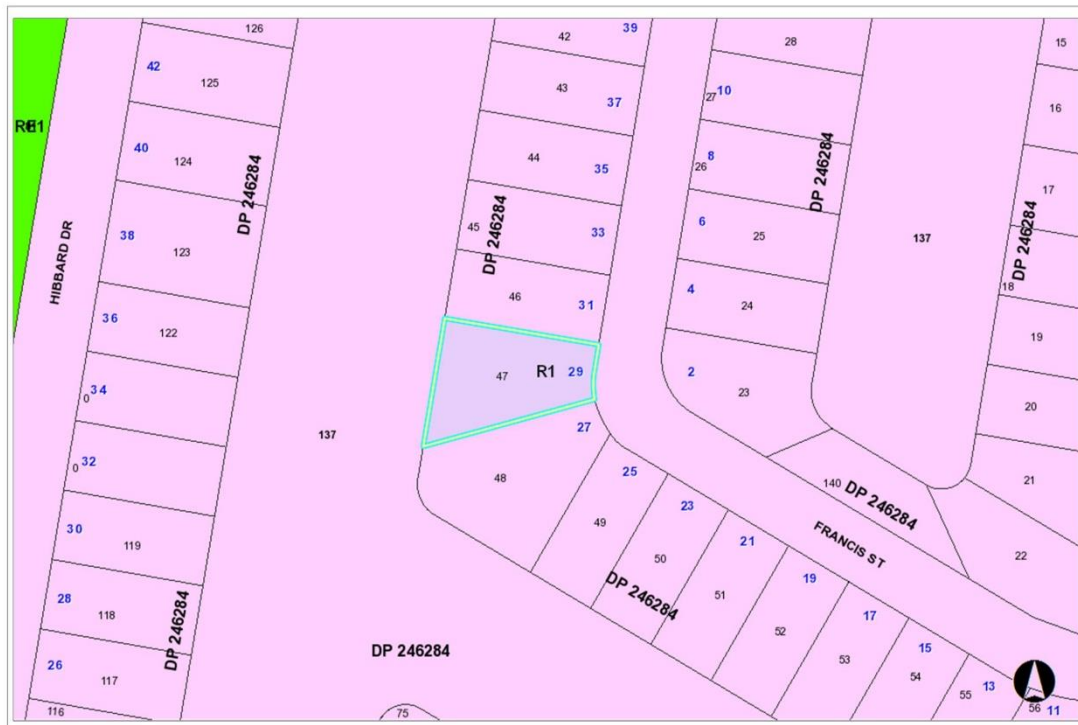
The reason for the application being referred to Council's Development Assessment Panel (DAP) is because three (3) objections to the proposal have been received. A copy of the DAP Charter outlining the delegations and functions of the DAP is available on Council's website.

1. BACKGROUND

Existing Sites Features and Surrounding Development

The site has an area of 1029m². The site contains an existing two-storey dwelling with an existing jetty/pontoon and boat ramp. The site is relatively flat upon the building footprint area before falling away toward the canal/water at the rear.

The site is zoned R1 General Residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:



2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Demolition of the existing dwelling.
- Construction of new two detached two storey dwellings and a new additional jetty/pontoon and boat ramp.
- Torrens title subdivision.

Refer to **Attachment 2** at the end of this report for plans of the proposed development.

Application Chronology

- 18 December 2020 - Application lodged.
- 23 December 2020 to 25 January 2021 - Public exhibition via neighbour notification.
- 19 January 2021 - Essential Energy comments received.
- 12 February 2021 - Additional information request to applicant.
- 22 March 2021 - Additional information and revised plans lodged.
- 27 April 2021 - Changes to revetment wall proposed and revised plans received.
- 28 April 2021 - Revised plans provided to previous objectors (2 weeks for further comment provided).
- 31 May 2021 - Shadow comparison plans provided by applicant.
- 7 June 2021 - Revised plans with AHD levels from survey provided by applicant.

3. STATUTORY ASSESSMENT**Section 4.15(1) Matters for Consideration**

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

- (a) The provisions (where applicable) of:**
(i) Any Environmental Planning Instrument

State Environmental Planning Policy (Koala Habitat Protection) 2020

Clause 5 - This SEPP applies to the Port Macquarie-Hastings Local Government Area.

Clause 7 - The site is not under a Koala Plan of Management and the land has an area less than 1 hectare including adjoining land in the same ownership. No further consideration of this policy is necessary.

State Environmental Planning Policy No. 55 – Remediation of Land

Following an inspection of the site and a search of Council records, the subject land is not identified as being potentially contaminated and is suitable for the intended use.

State Environmental Planning Policy (Coastal Management) 2018

The site is located within a coastal use and coastal environment area.

In accordance with clause 7, this SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.

Having regard to clauses 13 and 14 of the SEPP the proposed development is not considered likely to result in any of the following:

- a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;
- b) any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on Aboriginal cultural heritage, practices and places;
- e) any adverse impacts on the cultural and built environment heritage;
- f) any adverse impacts the use of the surf zone;
- g) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands;
- h) overshadowing, wind funneling and the loss of views from public places to foreshores; and
- i) any adverse impacts on existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability.

In accordance with Clause 15 the proposal is not likely to cause increased risk of coastal hazards on that land or other land.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is predominately cleared and located within an area zoned for residential purposes.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

BASIX certificates have been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

State Environmental Planning Policy (Infrastructure) 2007

Clause 45 - Development in proximity to electricity infrastructure - referral to Essential Energy required for any of the following:

- (a) the penetration of ground within 2m of an underground electricity power line or an electricity distribution pole or within 10m of any part of an electricity tower,
- (b) development carried out:
 - (i) within or immediately adjacent to an easement for electricity purposes (whether or not the electricity infrastructure exists), or
 - (ii) immediately adjacent to an electricity substation, or
 - (iii) within 5m of an exposed overhead electricity power line,
- (c) installation of a swimming pool any part of which is:
 - (i) within 30m of a structure supporting an overhead electricity transmission line, measured horizontally from the top of the pool to the bottom of the structure at ground level, or
 - (ii) within 5m of an overhead electricity power line, measured vertically upwards from the top of the pool

The site inspection revealed underground power within proximity to the site however, the exact location of the underground lines is unknown. The application was referred to Essential Energy for comment having regard to the new driveway works proposed. Essential Energy raised no safety concerns from the proposed development.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 - The subject site is zoned R1 General Residential. In accordance with clause 2.3(1) and the R1 zone landuse table, dual occupancies (detached) and ancillary jetty and boat ramp are a permissible landuse with consent.
- Clause 2.3(2) - The objectives of the R1 zone are as follows:
 - *To provide for the housing needs of the community.*
 - *To provide for a variety of housing types and densities.*
 - *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- The proposal is consistent with the zone objectives as it is a permissible landuse and consistent with the established residential locality. The proposal contributes to the range of housing options in the locality.
- Clause 2.6 - The land may be subdivided with development consent and Torrens title subdivision of the dual occupancy is proposed.
- Clause 2.7 - The demolition of the existing dwelling requires consent as it does not fit within the provisions of SEPP (Exempt and Complying) 2008.

- Clause 4.1 - The lot for proposed dwelling 1 is 611m² which is over the minimum lot size standard being (450m²) while the lot for dwelling 2 is 419m² which is under the minimum lot size standard being (450m²). Clause 4.1A allows an integrated housing type application whereby construction and subdivision are included in the one application. When both construction and subdivision are included in the one application, clause 4.1A allows the minimum lot size standard to be varied/reduced.

The intent of the clause is to encourage housing diversity without compromising residential amenity. This overall assessment shows that the development will have limited impact on adjoining properties. The surrounding area also contains a mixture of low and medium to high density residential development. This proposal will be consistent with such a density.

- Clause 4.3 - The proposed maximum overall height of the building above ground level is 8.177m and complies with the standard height limit of 8.5m applying to the site.
- Clause 4.4 - The floor space ratio of the proposal is 0.5:1 and complies with the maximum 0.65:1 floor space ratio applying to the site.
- Clause 5.10 – The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.1 - The site is mapped as potentially containing class 3 acid sulfate soils. The proposed development does not include any excavation extending more than 1m below the natural surface level and therefore no adverse impacts are expected to occur.
- Clause 7.3 - The site is land within a mapped “flood planning area” (land subject to flood discharge of 1:100 annual recurrence interval flood event, plus the applicable climate change allowance and relevant freeboard). In this regard the following comments are provided which incorporate consideration of the objectives of Clause 7.3, Council’s Flood Policy 2015, the NSW Government’s *Flood Prone Lands Policy* and the NSW Government’s *Floodplain Development Manual* (2005):
 - The proposal is compatible with the flood hazard of the land taking into account projected changes as a result of climate change;
 - The proposal will not result in a significant adverse effect on flood behaviour that would result in detrimental increases in the potential flood affectation of other development or properties;
 - The proposal incorporates measures to minimise & manage the flood risk to life and property associated with the use of land. Conditions have been recommended in relation to minimum floor levels and engineering of the structures to withstand flood forces.
 - The proposal is not likely to significantly adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses;
 - The proposal is not likely to result in unsustainable social and economic costs to the community as a consequence of flooding.
 - Standard free board levels and flood engineering requirements are recommended. Refer to consent conditions.

- Clause 7.13 - Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.

(ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013

DCP 2013: Part B - General Provisions - B2: Environmental Management			
DCP Objective	Development Provisions	Proposed	Complies
3	a) Development must comply with Council's Developments, Public Place & Events - Waste Minimisation and Management Policy.	Satisfactory arrangements can be put in place for storage and collection of waste. Standard condition recommended for construction waste management.	Yes
Cut and Fill Regrading			
4	a) Development shall not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building (This does not apply to buildings where such cut and fill is fully retained within or by the external walls of the building).	The extension of the revetment wall will require fill of more than 1m in height at the rear.	No*
5	a) A certified practicing structural engineer must certify any retaining wall greater than 1.0m.	Condition recommended requiring certification of the proposed extension of the revetment/retaining wall.	Yes
	b) Where a combination of a fence and a wall is proposed to be greater than 1.2m high: <ul style="list-style-type: none"> – be a maximum combined height of 1.8m above existing property boundary level; – be constructed up to the front boundary for a maximum length of 6.0m or 30% of the street frontage, whichever is less; 	No front fence retaining wall combination proposed.	N/A

	<ul style="list-style-type: none"> the fence component has openings which make it not less than 25% transparent; and provide a 3m x 3m splay for corner sites, and provide a 900mm x 900mm splay for vehicle driveway entrances. 		
Tree Management – Private Land			
11	a) Pruning must be undertaken in accordance with Australian Standard AS 4373 - Pruning of Amenity Trees.	No pruning proposed.	N/A
	b) An application for the removal of a tree listed in Table 1 must be accompanied by an Arborist's report stating that the tree: <ul style="list-style-type: none"> is dangerous; or is dying and remedial pruning would not improve the deteriorated condition of the tree; or has a history of branch fall (documented or photographic evidence to be provided); or is structurally unsound or; diseased. Advice on the requirement of an arborist report associated with a tree removal permit can be obtained from Council's Tree Assessment staff. The requirement for an arborist report for tree removal associated with a development application will be determined on merit by Council's Development Assessment. 	A number of exotic trees are proposed to be removed as part of the development. None of the trees are identified in table 1. No Arborist report required.	N/A
	c) Where a tree listed in Table 1 is approved for removal it must be compensated with 2 x koala habitat trees. Significant large-scale development will require an	N/A	N/A

	advanced size koala food tree or habitat tree (primary Koala browse species) that meets AS2303:2015 Tree Stock for Landscape Use. The compensation tree is to be planted in a suitable location as determined by the Director of Development and Environment or their delegate.		
	g) Any pruning or removal of any tree on private land must be undertaken in accordance with Council's tree management specifications.	Capable of compliance.	Yes

DCP 2013: Part B - General Provision - B3: Hazards Management**Flooding**

19	a) Development must comply with Council's Floodplain Management Plan and Flood Policies.	See comments under Clause 7.3 of the LEP. The proposal is consistent with the Flood Policy and appropriate conditions have been recommended requiring minimum floor levels to be achieved and engineering for flood forces.	Yes
----	--	---	-----

DCP 2013: Part B- General Provisions- B4: Transport, Traffic Management, Access and Car Parking

DCP Objective	Development Provisions	Proposed	Complies
Parking Provision			
24	a) Off-street Parking is provided in accordance with Table 3: - 1 parking space per each dwelling.	Double garage provided to each dwelling with extra space within each driveway.	Yes
Parking Layout			
28	c) Parking spaces shall generally be behind the building line but may be located between the building line and the street when: - it is stacked parking in the driveway; or	Garages located behind the building line.	Yes

	<ul style="list-style-type: none"> - it can be demonstrated that improvements to the open space provided will result; and - the spaces are screened (densely landscaped or similar) from the street by a landscaping with a minimum width of 3.0m for the entire length of the parking area. 		
	d) Parking design and layout is provided in accordance with AS/NZS 2890.1 - Parking facilities - Off-street car parking.	Satisfactory parking design and layout.	Yes
34	a) All parking and manoeuvring spaces must be designed to avoid concentrations of water runoff on the surface.	Capable of being managed and will be addressed in detail during assessment of the section 68 application.	Yes
	b) Council will not permit the discharge of stormwater directly into kerbing and guttering or table drains for any development other than that of a minor nature.	Dwellings will be required to connect to the stormwater drainage in the street. Details will be provided as part of the section 68 application.	Yes

DCP 2013: Part B - General Provisions - B5: Social Impact Assessment and Crime Prevention

DCP Objective	Development Provisions	Proposed	Complies
Crime Prevention			
43	a) The development addresses the generic principles of crime prevention: <ul style="list-style-type: none"> - Casual surveillance and sightlines; - Land use mix and activity generators; - Definition of use and ownership; - Basic exterior building design; - Lighting; - Way-finding; and 	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes

	<ul style="list-style-type: none"> - Predictable routes and entrapment locations; - as described in the Crime Prevention Through Environmental Design (CPTED) principles. 		
--	---	--	--

DCP 2013: Part C - Development Specific Provisions - C1: Low Density Residential Development

DCP Objective	Development Provisions	Proposed	Complies
Front Setbacks			
44	<p>a) Dwellings may incorporate an articulation zone to a street frontage at no less than 3m from property boundary. The following building elements are permitted within the articulation zone:</p> <ul style="list-style-type: none"> - an entry feature or portico; - a balcony, deck, patio, pergola, terrace or verandah; - a window box treatment; - a bay window or similar feature; - an awning or other feature over a window; - a sun shading feature. <p>b) These building elements should not extend above the eave gutter line, other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the dwelling house.</p>	A covered front porch/entry with supporting posts setback 4.526m	Yes
	<p>c) The primary road front setback shall be: Classified road = any frontage 6.0m Primary frontage = 4.5m Secondary frontage = 3.0m Ancillary Lane = 2.0m Large lot residential and rural zones = 10.0m</p>	<p>4.526m setback to porch of dwelling 2.</p> <p>5.526m setback to garage of dwelling 2.</p>	Yes

45	a) A garage, carport or car parking space should: <ul style="list-style-type: none"> – be at least 1m behind the building line, where the dwelling(s) has a setback from a front boundary of 4.5m or more, or —be at least 5.5m from a front boundary, where the dwelling(s) has a setback of less than 4.5m. 	Garages are setback greater than the minimum 5.5m and at least 1m behind the building line.	Yes
	b) The total width of the garage/carport openings should not be more than 6m and not more than 50 per cent of the width of the building.	5m wide garage doors proposed to each dwelling. Garage width of Unit 1 is 56.5% of building width. Garage width of Unit 2 is 62.5% of building width.	Yes No* No*
	c) Driveway crossovers are no greater than 5.0m in width.	Crossovers are less than 5m in width.	Yes
	d) Where a dual occupancy or attached dwelling is proposed on a corner lot a garage and driveway is provided on each road frontage.	N/A	N/A

Side and Rear Setbacks

46	a) A minimum rear boundary setback of 4m is to be provided to dwellings (including verandahs, patios and decks).	10m setback to rear boundary.	Yes
	b) A minimum rear boundary setback of 900mm applies to sheds and swimming pools subject to achieving minimum required private open space area.	N/A	N/A
	c) Council may consider varying rear setback requirements where it is demonstrated that the private open space could achieve better solar access between the building and the side setback. In that instance, one side setback	N/A	N/A



PORT MACQUARIE
HASTINGS
COUNCIL

		than 3 hrs between 9am - 3pm on 21 June. The shadow diagrams also demonstrate a comparison example of a building set at 3m along the entire south boundary for direct comparison to the proposed shadows.	
	c) First floors and above should have building walls that step in and out at least every 12m by a minimum of 500mm articulation. Where first floors and above are setback >3m, wall articulation is not required.	First floors walls facing side boundaries are provided with adequate articulation or wall lengths less than 12m.	Yes
Private Open Space			
48.	a) All dwellings should have a minimum area of private open space of 35m ² , which includes a principal private open space area with: <ul style="list-style-type: none"> - a minimum dimension of 4m x 4m, and - a maximum grade of 5% for minimum 4m x 4m of the total open space requirement, and - direct accessibility from a ground floor living area and orientated to maximise use. 	Both dwellings are provided with >35m ² directly accessible open space areas which comprise a minimum 4m x 4m area.	Yes
	b) Private open space may include clothes drying areas and garbage storage.	Noted	Yes
Public Domain and Fencing			
49	a) Front fences built forward of the building line for the primary road frontage should be detailed on the development application plans.	No front fencing proposed.	N/A
	b) Solid Front fences up to 1.2m high should be: <ul style="list-style-type: none"> - Setback 1.0m from the front boundary, and - Suitably landscaped to reduce visual impact, and 	N/A	N/A

	<ul style="list-style-type: none"> Provide a 3m x 3m splay for corner sites. 		
	b) Front fences proposed to be more than 1.2m high should be a maximum of 1.8m in height, above existing front property boundary level, and either: <ul style="list-style-type: none"> Include landscaped recesses having minimum dimensions of 1.8m long x 900mm deep which occupy no less than 50% of the total length of the fence, or be erected up to the front boundary for a maximum length of 6.0m or 50% of the street frontage, 	N/A	N/A
	c) have openings which make it not less than 25% transparent (no individual opening more than 30mm wide);	N/A	N/A
	d) provide a 3m x 3m splay for corner sites, and	N/A	N/A
	e) provide a 900mm x 900mm splay for vehicle driveway entrances.	N/A	N/A
50	a) For tennis courts or other similar areas, chain wire fences should be black or dark green plastic coated mesh.	None proposed.	N/A
	b) Solid fences enclosing these facilities should not be permitted over 1.8m.	N/A	N/A
Bulk and Scale			
51	a) Direct views between indoor living rooms and principal private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots, including possible dwellings on future lots, should be obscured or screened where: <ul style="list-style-type: none"> Ground and first floor (and above) indoor living 	The primary living and open space areas are positioned on the ground floor with the existing 1.8m boundary fencing providing appropriate privacy protection to adjoining dwellings. The rumpus rooms proposed on the first floors of both dwellings face	Yes

	<p>room windows are within a 9m radius.</p> <ul style="list-style-type: none"> - Direct views between principal private open space areas where within a 12m radius. - Direct views between indoor living rooms of dwellings into the principal area of private open space of other dwellings within a 12m radius. 	<p>each other internally and are provided with high light windows.</p> <p>Windows on the first floors facing adjacent dwellings serve either bedroom or bathroom windows. While not required it is noted that highlight windows or screening has been incorporated into the north facing windows of dwelling 2. In response to submissions privacy screening was also added to the south facing first floor window of bedroom 2 of dwelling 1 and to the north facing first floor window of bedroom 2 of dwelling 2.</p>	
	<p>b) A balcony, deck, patio, pergola, terrace or verandah should have a privacy screen where there are direct views of:</p> <ul style="list-style-type: none"> - Indoor living room windows of adjacent dwellings, including proposed dwellings approved on adjoining lots within 9m radius; or - Principal areas of private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots within a 12m radius. 	<p>No direct views to adjacent dwelling's private open space from proposed first floor decks.</p>	Yes
	<p>c) Privacy protection is not required for:</p> <ul style="list-style-type: none"> - Any Indoor living room windows with a sill height of greater than 1.5m above the finished floor level of that room or where fixed non-openable translucent glass is installed to the same height. 	N/A	N/A
	<p>d) Direct views described above may be reduced or obscured by one of the</p>	<p>No privacy screening required.</p>	N/A

	<p>following measures (details to be submitted with the development application):</p> <ul style="list-style-type: none"> - 1.8m high fence or wall between ground-floor level windows or between a dwelling and principal private open space - Screening of minimum 1.7m height, that has 25% openings (max), with no individual opening more than 30mm wide, is permanently fixed and is made of durable materials. - A window, the whole of which has translucent glass and is not able to be opened. 		
Water Recreation Structure (Boat Launching Ramp, Jetty and Mooring)			
53	a) The design of any jetty or boating structure will require engineering certification.	Noted. Standard condition recommended in this regard.	Yes
54	a) Mooring piles are to be set at a level no lower than the level which ensures that the floating structure is retained during the design 1:100 year flood event.	Condition recommended confirming this requirement.	Yes
	b) The width of a jetty walkway leading to a platform should not be greater than 1.0 metres.	The width of the walkway is less than 1m.	Yes
	c) The area of a platform at the end of a walkway should not exceed 16m ² .	10.8m ² .	Yes
	d) The overall length of a jetty when measured from the existing revetment wall should not exceed 17 metres.	14.4m long.	Yes
	e) Boating ramps should have a maximum overall width of 3 metres and a maximum overall length of 10.0 metres when measured from the existing revetment wall unless associated with a boatshed where the boat	The boat ramp is 3m wide and approximately 4m long.	Yes

	ramp should not exceed 2.7m in width.		
	f) pontoons moored at right angles to the revetment wall should not extend beyond a point 17 metres from the wall.	Condition recommended confirming this requirement.	Yes
	g) Pile cut off levels should not be lower than RL3.0 metres AHD.	Condition recommended confirming this requirement.	Yes
	h) Fixed jetties may only extend to a point 7 metres from the revetment wall.	Condition recommended confirming this requirement.	Yes
	i) Any extension beyond a point 7 metres from the revetment wall is to be by way of a pivoting walkway to a floating pontoon.	Condition recommended confirming this requirement.	Yes
	j) The deck of the jetty is to be above and not resting on the revetment wall and the top surface is not to be above RL 1.4m AHD.	Condition recommended confirming this requirement.	Yes
	k) pontoons moored parallel to the revetment wall should not extend beyond a point 12 metres from it.	The jetty pontoon will be in line with the existing jetty associated with the site at a distance of 14.4m from the lower existing revetment wall.	No but variation considered acceptable.
	l) Floating moorings should be located between 17 metres from the revetment wall.	N/A	N/A
	m) Fixed mooring poles should not be greater than 17 metres from the revetment wall.	N/A	N/A
55	a) Jetties and moorings (both fixed and floating) should be located a minimum of 10m from any jetty or mooring (both fixed and floating) located on any adjacent property.	No jetties exist on the immediately adjacent properties.	N/A
	b) Boat ramps and jetties should be located in such a way that vessels using the boat ramp or moored on a jetty do not project past a line which is a prolongation of the side boundaries of the development site.	Boat ramp is aligned with the property boundary and jetty and pontoon are located so that vessel would not project past the prolongation of the side boundaries.	Yes
	c) For multi dwelling housing and residential flat building	N/A	N/A

	development only one boat ramp and one jetty should be permitted, however where such development is carried out on a site with a frontage to a waterway exceeding 25m, then one additional jetty and one additional boat ramp may be permitted.		
Ancillary Development			
56	<p>a) For ancillary development in R1 General Residential, R2 Low Density Residential, R3 Medium Density Residential, R4 High Density Residential, R5 Large Lot Residential and RU5 Village zones:</p> <ul style="list-style-type: none"> - The height of an outbuilding or the alterations and additions to an existing outbuilding on a lot should not be more than 4.8m above ground level (existing). - The building should be single storey construction with a maximum roof pitch of 24 degrees. - The maximum area of the building should be 60m² for lots less than 900m² and maximum of 100m² for larger lots. - Ancillary development that is a garage, or an outbuilding, or a rainwater tank should not be located in front of the main building line with the exception of swimming pools. 	No outbuildings are proposed and rainwater tanks are appropriately positioned behind the building line.	Yes

Note: Subdivision provisions of the DCP (except battleaxe handle width) are aimed at the creation of vacant lots (i.e. not lots within an integrated housing proposal such as this) and have therefore been excluded from the above assessment. Servicing requirements are discussed later in this report.

The proposal seeks to vary Development Provision 4 which provides that development shall not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building. The proposed extension of the revetment wall will be >1m in height to match existing.

The relevant objectives are:

- Minimise the extent of site disturbance caused by excessive cut and fill to the site.
- Ensure there is no damage or instability to adjoining properties caused by excavation or filling.
- Ensure that there is no adverse alteration to the drainage of adjoining properties.
- Ensure the privacy of adjoining dwellings and private open space are protected.
- Ensure that adequate stormwater drainage is provided around the perimeter of buildings and that overflow paths are provided.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- The extension of the revetment wall will match the existing revetment wall.
- Stormwater and drainage can be adequately managed.
- No potential damage or instability to adjoining properties is identified.
- No adverse privacy impacts to adjoining dwellings would result.

The proposal seeks to vary Development Provision 45 which provides that the total width of the garage openings should not be more than 6m and not more than 50% of the width of the building. The garage width of Unit 1 is 56.5% of building width and the garage width of Unit 2 is 62.5% of building width.

The relevant objectives are:

- To minimise the impact of garages and driveways on the streetscape, on street parking and amenity.
- To minimise the visual dominance of garages in the streetscape.
- To provide safe and functional vehicular access.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- There is some established character in the street. Immediately adjoining to the north is a double garage positioned out front representing more than 50% of the building width. Further along the street there are examples of double garages out front which represent more than 50% of the building width.
- The front entry porch feature to dwelling 2 aids in reducing the visual impact and dominance of the garages on the streetscape. Amendments were made during assessment to incorporate an entry porch and push the garage to dwelling 2 slightly further back following concerns with streetscape impacts from the garages being positioned forward of the building line.
- A reduction in driveways widths undertaken during assessment has also provided space /opportunity for landscaping between the two driveways which will aid in reducing streetscape impact/dominance of the garages.
- The garage of dwelling 1 is setback approximately 9m from the front boundary and at an angle to the street which aids in reducing the streetscape impact/dominance of that garage door.

- Both of the two dwellings have upper floor levels which will reduce the perceptible dominance of the garage doors.
- The garage doors are compliant with the 5m width provision.

Based on the above assessment, the variations proposed to the provisions of the DCP are considered acceptable and the relevant objectives have been satisfied. Cumulatively, the variations do not amount to an adverse impact or a significance that would justify refusal of the application.

(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No planning agreement has been offered or entered into relating to the site.

(iv) Any matters prescribed by the Regulations

Demolition of buildings AS 2601 - Clause 92

Demolition of the existing dwelling is capable of compliance with the Australian Standard. A suitable consent condition is recommended to re-inforce this requirement.

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality

Context and setting

The proposal will be unlikely to have any adverse impacts to existing adjoining properties and satisfactorily addresses the public domain.

The proposal is considered to be consistent with other residential development in the locality and adequately addresses planning controls for the area.

There are no adverse impacts on existing view sharing.

There are no adverse privacy impacts.

There are no adverse overshadowing impacts. The proposal does not prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June.

Access, transport and traffic

The proposal will be unlikely to have any adverse impacts in terms access, transport and traffic. The existing road network will satisfactorily cater for any increase in traffic generation as a result of the development. During assessment the width of the proposed driveways was reduced to help retain some space on the frontage for on street parking.

Water Supply

Service available – details required with S.68 application. Appropriate conditions recommended.

Sewer

Service available – details required with S.68 application. Appropriate conditions recommended.

Stormwater

Service available – details required with S.68 application. Appropriate conditions recommended.

Other Utilities

Telecommunication and electricity services are available to the site.

Heritage

This site does not contain or adjoin any known heritage item or site of significance.

Other land resources

No adverse impacts anticipated. The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will be unlikely to have any adverse impacts on water resources and the water cycle.

Soils

The proposed development will be unlikely to have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

Air and microclimate

The construction and/or operations of the proposed development will be unlikely to result in any adverse impacts on the existing air quality or result in any pollution.

Flora and fauna

Construction of the proposed development will not require any removal/clearing of any significant vegetation and therefore will be unlikely to have any significant adverse impacts on biodiversity or threatened species of flora and fauna. Section 5A of the Act is considered to be satisfied.

Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated.

Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

Noise and vibration

No adverse impacts anticipated. Condition recommended to restrict construction to standard construction hours.

Bushfire

The site is not identified as being bushfire prone.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area.

Social impacts in the locality

Given the nature of the proposed development and its' location the proposal is unlikely to result in any adverse social impacts.

Economic impact in the locality

No adverse impacts. Likely positive impacts can be attributed to the construction of the development and associated flow on effects (ie maintained employment and increased expenditure in the area).

Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality. No adverse impacts likely.

Construction

No potential adverse impacts identified to neighbouring properties with the construction of the proposal.

Cumulative impacts

The proposed development is not expected to have any adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

Site constraints of flooding have been adequately addressed and appropriate conditions of consent recommended.

(d) Any submissions made in accordance with this Act or the Regulations

Three (3) written submissions were received following public exhibition of the application. Copies of the written submissions have been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:

Submission Issue/Summary	Planning Comment/Response
Privacy concerns.	Refer to comments in Development Control Plan (DCP) assessment table of this report surrounding privacy controls.
Overshadowing impacts.	Refer to comments in Development Control Plan (DCP) assessment table of this report surrounding overshadowing controls.
Noise and dust impacts from demolition of the existing dwelling.	Demolition of the existing dwelling is capable of compliance with the Australian Standard. A suitable consent condition is recommended to re-inforce this requirement.
The proposal is too large and out of character with the surrounding built environment.	The proposal meets the adopted planning controls and is consistent with other established two storey dwellings within the immediate locality. The floor space ratio is below the

Submission Issue/Summary	Planning Comment/Response
	maximum 0.65:1 ratio floor area to site area.
Bulk and scale impacts upon adjoining properties.	The principle planning controls in this regard are the maximum building height and floor space ratio. The proposal is below the maximum permissible for both. It is considered that the proposal is of a scale that is sufficiently consistent with other two storey dwellings within the immediate and wider locality.
The garages dominate the streetscape and the variation sought to the DCP controls should not be supported.	Refer to comments in Development Control Plan (DCP) assessment table of this report surrounding garage width variation sought. The application was also amended during assessment to incorporate a front porch forward of the garages which assist with reducing the perceived impacts to the streetscape.
The driveways on the corner will create an adverse traffic safety impact and result in a loss of available on-street parking.	Given the low speed environment no adverse traffic safety concerns were identified. The application was amended during assessment which included a slight change to driveway locations and a reduction in their widths to retain space for on street parking areas outside adjoining properties.

(e) The Public Interest

The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

Ecologically Sustainable Development and Precautionary Principle

Ecologically sustainable development requires the effective integration of economic and environmental considerations in decision-making processes.

The four principles of ecologically sustainable development are:

- the precautionary principle,
- intergenerational equity,
- conservation of biological diversity and ecological integrity,
- improved valuation, pricing and incentive mechanisms.

The principles of ESD require that a balance needs to be struck between the man-made development and the need to retain the natural vegetation. Based on the assessment provided in the report and with recommended conditions of consent, it is considered an appropriate balance has been struck.

Climate change

The proposal is not considered to be vulnerable to any risks associated with climate change.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- The proposal incorporates an additional residential component (i.e another dwelling) and therefore development contributions will be required towards augmentation of town water supply and sewerage system head works under Section 64 of the Local Government Act 1993.
- The proposal incorporates an additional residential component (i.e another dwelling) and therefore development contributions will be required in accordance with Section 7.11 of the Environmental Planning and Assessment Act 1979 towards roads, open space, community cultural services, emergency services and administration buildings.
- A copy of the contributions estimate is included as **Attachment 3**.




5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

Attachments

1.  DA2020 - 1100.1 Recommended conditions
2.  DA2020 - 1100.1 Plans
3.  DA2020 - 1100.1 Contributions estimate

**FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF
PROPOSED CONDITIONS****NOTE: THESE ARE DRAFT ONLY****DA NO: 2020/1100****DATE: 2/06/2021****PRESCRIBED CONDITIONS**

The development is to be undertaken in accordance with the prescribed conditions of Part 6 - Division 8A of the *Environmental Planning & Assessment Regulations* 2000.

A – GENERAL MATTERS

- (1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Statement of Environmental Effects	D4354	Collins W Collins	November 2020
Development plans as stamped	Dwg No: D4354 Sheets 1, 3 to 16 Issue U	Collins W Collins	7 June 2021
Draft subdivision plan	Dwg No: D4354 Sheets 17 Issue R	Collins W Collins	27 May 2021
BASIX Certificates	1151409S_02 1151428S_02	Collins W Collins	9 December 2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No building or subdivision work shall commence until a Construction Certificate or Subdivision Works Certificate has been issued and the applicant has notified Council of:

- a. the appointment of a Principal Certifying Authority; and
- b. the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

- (3) (A003) The proponent shall submit an application for a Subdivision Certificate for Council certification with all relevant documentation.
- (4) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.

- (5) (A009) The development site is to be managed for the entirety of work in the following manner:
1. Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 2. Appropriate dust control measures;
 3. Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
 4. Building waste is to be managed via an appropriate receptacle;
 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
 6. Building work being limited to the following hours, unless otherwise permitted by Council;
 - Monday to Saturday from 7.00am to 6.00pm
 - No work to be carried out on Sunday or public holidaysThe builder to be responsible to instruct and control his sub-contractors regarding the hours of work.
- (6) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (7) (A091) All parts of the structure below the applicable Flood Planning Level (1 in 100 flood level including climate change plus the relevant freeboard) shall be constructed from flood compatible materials compliant with the ABCB Standard for Construction of Buildings in Flood Hazard Areas. Consideration should also be given to the relevant provisions contained with the Hawkesbury-Nepean Floodplain Management Steering Committee document *Reducing Vulnerability of Buildings to Flood Damage (2007)*. For the purpose of this requirement, the 1 in 100 year flood level including climate change may be assumed to be RL3.63m AHD.
- (8) Jetty pile cut off levels must not be lower than the 1 in 100 year flood event including any applicable climate change allowance plus 500mm freeboard. For the purpose of this requirement, the 1 in 100 year flood level including climate change may be assumed to be RL 3.63m AHD.
- (9) The width of a jetty walkway leading to a platform should not be greater than 1.0 metres.
- (10) Payment of the annual occupation fee for boating structures as set out in Council's Management Plan, due on 1 July each year.
- (11) Pontoons moored at right angles to the revetment wall are not to extend beyond a point 17 metres from the wall.
- (12) The waterway structures shall not to be modified, extended or changed without the prior approval of Council.
- (13) Fixed jetties may only extend to a point 7m from the revetment wall. Any extension beyond a point 7m from the revetment wall is to be by way of a pivoting walkway to a floating pontoon.
- (14) The deck of the jetty is to be above and not resting on the revetment wall and the top surface is not to be above RL 1.4m AHD. No load is to be imparted to the revetment wall.

- (15) Fixed mooring poles shall not be greater than 17m from the revetment wall.

B – PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE OR SUBDIVISION WORKS CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
- Position and depth of the sewer (including junction)
 - Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location
- (2) (B003) Submission to the Principal Certifying Authority prior to the issue of a Subdivision Works Certificate detailed design plans for the following works associated with the developments. Public infrastructure works shall be constructed in accordance with Port Macquarie-Hastings Council's current AUSPEC specifications and design plans are to be accompanied by AUSPEC DQS:
1. Sewerage reticulation. Provision to each lot of a separate sewer line to Council's main. Council records indicate that the development site has an existing sewer junction connected to the 150mm AC sewer main running parallel with the eastern boundary of the development lot. The sewer junction shall be capped off with an approved fitting in conjunction with demolition works and Council notified to carry out an inspection prior to backfilling of this work.
 2. Water supply plans shall include hydraulic plans for internal water supply services and associated works in accordance with AS 3500, Plumbing Code of Australia and Port Macquarie-Hastings Council Policies. Each dwelling shall be provided with a separate metered water connection with the meters being located on the road frontage. Engineering plans are required to show all existing and proposed water services to the lot.
 3. Stormwater systems.
- (3) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.
- Such works include, but not be limited to:
- Civil works
 - Traffic management
 - Work zone areas
 - Hoardings
 - Concrete foot paving
 - Footway and gutter crossing
 - Functional vehicular access
- (4) (B010) Payment to Council, prior to the issue of a Construction or Subdivision Certificate (whichever occurs first) of the Section 7.11 contributions set out in the "Notice of Payment – Developer Charges" schedule attached to this consent unless deferral of payment of

contributions has been approved by Council. The contributions are levied, pursuant to the Environmental Planning and Assessment Act 1979 as amended, and in accordance with either the provisions of the following plans (as amended) or a Planning Agreement:

- Port Macquarie-Hastings Administration Building Contributions Plan 2007
- Hastings S94 Administration Levy Contributions Plan 2003
- Port Macquarie-Hastings Open Space Contributions Plan 2018
- Hastings S94 Major Roads Contributions Plan 2004
- Hastings River Drive S94 Contributions Plan 1997
- Port Macquarie-Hastings Community Cultural and Emergency Services Contributions Plan 2005

The plans may be viewed on Council's website or during office hours at the Council Chambers located on the corner of Burrawan and Lord Streets, Port Macquarie, 9 Laurie Street, Laurieton, and High Street, Wauchope.

The attached "Notice of Payment" is valid for the period specified on the Notice only. The contribution amounts shown on the Notice are subject to adjustment in accordance with CPI increases adjusted quarterly and the provisions of the relevant plans. Payments can only be made using a current "Notice of Payment" form. Where a new Notice of Payment form is required, an application in writing together with the current Notice of Payment application fee is to be submitted to Council.

- (5) (B011) Prior to the issue of Construction or Subdivision Certificate (whichever occurs first), a Compliance Certificate under Section 307 of the Water Management Act 2000 must be obtained from the Water Authority.

Note1: Port Macquarie-Hastings Council is defined as a Water Supply Authority under section 64 of the Local Government Act 1993. As part of the Notice of Requirements of the Water Authority under Section 306 of the Water Management Act 2000, the payment of a cash contribution is required, prior to the issue of a Construction or Subdivision Certificate (whichever occurs first), of the Section 64 contributions, as set out in the "Notice of Payment – Developer Charges" schedule attached to and included as part of this consent unless deferral of payment of contributions has been approved by Council. The contributions are levied in accordance with either the provisions of the relevant Section 64 Development Servicing Plan or a Planning Agreement.

Note 2: A Section 307 Compliance Certificate issued by the Water Authority at the construction certificate stage only relates to the payment of contributions in accordance with the Development Servicing Plan or a Planning Agreement. A further Compliance Certificate may be required for other water management works prior to occupation or the issue of an Occupation or Subdivision Certificate relating to the development.

Note 3: The Water Authority will accept payment of the equivalent amount of contributions under Section 608 of the Local Government Act 1993.

- (6) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications

prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.

- (7) (B071) Prior to the issue of any Construction Certificate, the provision of water and sewer services to the land are to be approved by the relevant Water Authority and relevant payments received.
- (8) (B067) The floor level of all habitable areas is to be a minimum of 500mm above the 1 in 100 year flood level including the applicable climate change allowance. For the purpose of this requirement, the 1 in 100 year flood level including climate change may be assumed to be RL3.63m AHD. The floor level of all habitable areas must therefore be at or above 4.13m AHD. Prior to release of the Construction Certificate floor levels satisfying this requirement shall be clearly illustrated on the plans.
- (9) (B068) The floor level of all non-habitable areas is to be at or above the 1 in 20 year flood level. For the purpose of this requirement, the 1 in 20 year flood level may be assumed to be RL2.38m AHD. Prior to release of the Construction Certificate floor levels satisfying this requirement shall be clearly illustrated on the plans.
- (10) Prior to release of the Construction Certificate a practising chartered professional structural engineer is to provide certification to the PCA that the jetty is designed so that all structural members are capable of withstanding flood forces and the impact of any debris (carried by floodwaters) likely to occur for a range of floods up to and including the 1 in 100 year flood including climate change and the relevant freeboard level of 500mm. For the purpose of this requirement, the 1 in 100 year flood level including climate change may be assumed to be RL 3.63m AHD. Velocities to be adopted for the calculation of forces created by flood waters and debris loading shall be at least three (3) times the velocities for a 1 in 100 year flood including climate change plus freeboard. For the purpose of this requirement, the velocity for the 1 in 100 flood including climate change may be assumed to be 0.21m/s.
- (11) (B039) Detailed drawings and specifications prepared by a professional engineer for all retaining walls supporting:
 - i. earthworks that are more than 600mm above or below ground level (existing); or
 - ii. located within 1m of the property boundaries; or
 - iii. earthworks that are more than 1m above or below ground level (existing) in any other location;are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.
- (12) Submission and approval from Council of the detailed engineering design plans for the pontoon/jetty prepared and certified by a qualified civil and/or structural engineer, with such plans to include details of:
 - a. Footings
 - b. Pier and/or concrete slabs as required
 - c. Framework
 - d. Decking and handrail
 - e. Level based on Australian Height Datum (AHD including 1SLW and 1SHW tide levels).

C – PRIOR TO ANY WORK COMMENCING ON SITE

- (1) (C004) Prior to works commencing an application being made to the electricity and telecommunications service providers. Services are required to be underground.
- (2) (C013) Where a Vertical Inspection Shaft (VIS) exists within a property, access to the VIS shall be made available at all times. Before during and after construction, the VIS must not be buried, damaged or act as a stormwater collection pit. No structures, including retaining walls, shall be erected within 1.0 metre of the sewer manhole or located so as to prevent access to the manhole.

D – DURING WORK

- (1) (D001) Development works on public property or works to be accepted by Council as an infrastructure asset are not to proceed past the following hold points without inspection and approval by Council. Notice of required inspection must be given 24 hours prior to inspection, by contacting Council's Customer Service Centre on (02) 6581 8111. You must quote your Construction Certificate number and property description to ensure your inspection is confirmed:
 - a. when trenches are open, stormwater/water/sewer pipes and conduits jointed and prior to backfilling;
 - b. prior to the pouring of concrete for sewerage works and/or works on public property;
 - c. during construction of sewer infrastructure;

All works at each hold point shall be certified as compliant in accordance with the requirements of AUSPEC Specifications for Provision of Public Infrastructure and any other Council approval, prior to proceeding to the next hold point.

- (2) (D006) A copy of the current stamped approved construction plans must be kept on site for the duration of site works and be made available upon request to either the Principal Certifying Authority or an officer of the Council.
- (3) (D029) The demolition of any existing structure shall be carried out in accordance with Australian Standard AS 2601: The Demolition of Structures. No demolition materials shall be burnt or buried on site. The person responsible for the demolition works shall ensure that all vehicles leaving the site carrying demolition materials have their loads covered and do not track soil or waste materials onto the road. Should the demolition works obstruct or inconvenience pedestrian or vehicular traffic on an adjoining public road or reserve, separate application shall be made to Council to enclose the public place with a hoarding fence.

Should asbestos be present, its removal shall be carried out in accordance with the National OH&S Committee – Code of Practice for Safe Removal of Asbestos and Code of Practice for the Management and Control of Asbestos in Workplaces.

- (4) Marine grade, Type "SR" or equivalent cement to be used in concrete work in the tidal zone.

E – PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE / SUBDIVISION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E034) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port

Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.

- (3) (E044) The applicant will be required to submit prior to occupation or the issue of the Occupation Certificate, certification by a Registered Surveyor that the development has met the necessary flood planning levels specified in this consent.
- (4) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (5) (E053) All works relating to public infrastructure shall be certified by a practicing Civil Engineer or Registered Surveyor as compliant with the requirements of AUSPEC prior to issue of Occupation/Subdivision Certificate or release of the security bond, whichever is to occur first.
- (6) (E056) A Certificate of Compliance under the provisions of Section 307 of the Water Management Act must be obtained prior to the issue of any occupation or subdivision certificate. The application for the certificate is to include an acceptable Work-As-Executed plan for water and sewer mains and services from a Professional Engineer or Registered Surveyor.
- (7) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (8) (E068) Prior to the issue of a subdivision or occupation certificate (whichever occurs first), evidence to the satisfaction of the Certifying Authority from the electricity and telecommunications providers that satisfactory services arrangements have been made to the lots or dwellings (including street lighting and fibre optic cabling where required).
- (9) (E195) The subdivision certificate shall not be issued until such time that the dwellings associated with this development are substantially commenced (as determined by Council) or where a strata management statement, or restriction as to user, prohibits any dwelling on each lot other than the dwelling approved as part of this consent.
- (10) Mooring piles are to be painted white above RL 1.0 AHD. Timber mooring piles are to be fitted with a steel collar at the top of to restrain splitting.

F – OCCUPATION OF THE SITE

- (1) (F004) The dwellings are approved for permanent residential use and not for short term tourist and visitor accommodation.
- (2) The use of the jetty shall be such as to prohibit the encroaching of any boat, when moored beyond the projection of the property boundaries.

CURRENT REVISION + NOTES

Date: 07.06.21 Description: FFL UPDATED TO FLOOD LEVEL

Issue: U Drawn: MS



DUAL OCCUPANCY - TORRENS

LOT No: 47 DP No: 246284

STREET: 29 FRANCIS STREET, PORT MACQUARIE

CWC JOB #: D4354

CONTENTS







Sheet Sheet Name

- 1 SITE PLAN
- 2 S68 & S138 PLAN
- 3 JETTY PLAN
- 4 DWELLING 1 FLOOR PLANS
- 5 DWELLING 2 - LOWER FLOOR PLAN
- 6 DWELLING 2 - UPPER FLOOR PLAN
- 7 EAST & WEST ELEVATIONS
- 8 DWELLING 1 - ELEVATIONS
- 9 DWELLING 1 - ELEVATIONS
- 10 DWELLING 2 - ELEVATIONS
- 11 SECTIONS
- 12 SECTION
- 13 DWELLING 1 GLAZING
- 14 DWELLING 2 GLAZING
- 15 ROOF PLAN
- 16 INDICATIVE LANDSCAPE PLAN
- 17 DRAFT SUBDIVISION PLAN
- 18 SHADOWS - 9AM WINTER SOLSTICE
- 19 SHADOWS - 12PM WINTER SOLSTICE
- 20 SHADOWS - 3PM WINTER SOLSTICE
- 21 BUILDING SPECIFICATIONS
- 22 WORK SAFETY NOTES

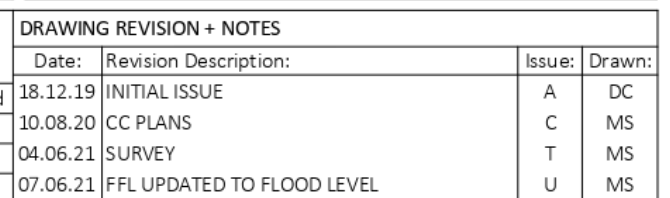


[illegible]

NOTE: CONTOURS AND SPOT LEVELS ARE INDICATIVE ONLY AND FINAL SITE LEVELS COMPLETED BY A REGISTERED SURVEYOR IS RECOMMENDED BEFORE START OF CONSTRUCTION.

	SILTATION CONTROL IN ACCORDANCE WITH COUNCIL POLICY E1 AND THE ADOPTED AUSPEC STANDARD
	SEWER LINE
	GARDEN TAP LOCATION
	DOWN PIPE LOCATION
	SITE HOARDING FENCING
	FALL OF BATTER

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



Summary of BASIX Commitments
 (Refer to Certificate for exact details)

Commitments
Energy: R1.86 or R2.40 including construction
Water: R1.86 or R2.40 including construction
Waste: R1.86 or R2.40 including construction
On Ground: No Insulation
R2.45 (up)
Unventilated, 55mm foil-backed blanket
Insulation (SA 0.475 - 0.70)
Including gutter/fascia Roof over alfresco Upper floor
Clear with aluminium frames excluding those noted as
Low-e clear with aluminium frames to the following
5.6 SHGC 0.369 - 0.451 D1W22
but <=7.5 L/min
Toilets: 3"
Kitchen Taps: 3"
per dwelling
Roof Collection: 100m³ per dwelling
Sts in the development
Water supply to washing machine
at 1 external tap
Electric (boosted) STCs 31 - 35
air-conditioning in at least 1 living & 1 bedroom (3.0
verage zone)
air-conditioning in at least 1 living & 1 bedroom (3.0
verage zone)
om, Kitchen: ducted, manual control
ry: no mechanical ventilation
Cooktop & Electric Oven to be installed
Outdoor clothes drying line to be installed




Diagrammatic Framing Only
 NON-COMBUSTIBLE ROOF
 NON-COMBUSTIBLE FASCIA
 NON-COMBUSTIBLE GUTTER
 FASCIA LESS THAN 450mm TO BOUNDARY
 NON-COMBUSTIBLE EAVE LINING
 MINIMUM DISTANCE FROM FASCIA FACE TO BOUNDARY TO BE NO LESS THAN 450mm
 NON-COMBUSTIBLE EAVE LINING





Diagrammatic Framing Only
 NON-COMBUSTIBLE ROOF
 COMBUSTIBLE FASCIA
 NON-COMBUSTIBLE GUTTER
 MINIMUM DISTANCE FROM FASCIA FACE TO BOUNDARY TO BE NO LESS THAN 450mm
 NON-COMBUSTIBLE EAVE LINING

Site Plan Details:
 - **Proposed Dwellings:** Dwelling 1 and Dwelling 2, both with upper and lower floors.
 - **Setbacks:** 10m building line, 10007m boundary, 1800mm high masonry wall.
 - **Features:** Alfresco, balcony, solar hws, drying area, porch, garage, driveway, sewer junction, sewer plotted from council records, proposed water meter & service location, grated surcharge pit, water main, hyd, sand bags, existing cross over to be demolished.
 - **Boundaries:** Boundary 34110, Boundary 41805, Boundary 47515, Boundary 46 DP246284 (Existing Single Storey).
 - **Other:** Existing retaining wall, siltation control fencing, existing boat ramp to remain, existing stairs & handrails down to NGL as part of existing retaining wall, balustrading to top of retaining wall.

Scale: 1:200
North Arrow: Indicated by a circle with an arrow pointing North.


STORMWATER NOTE:
STORMWATER/RAINWATER OVERFLOW
TO EXISTING KERB OUTLETS

	SEWER LINE
	GARDEN TAP LOCATION
	DOWN PIPE LOCATION

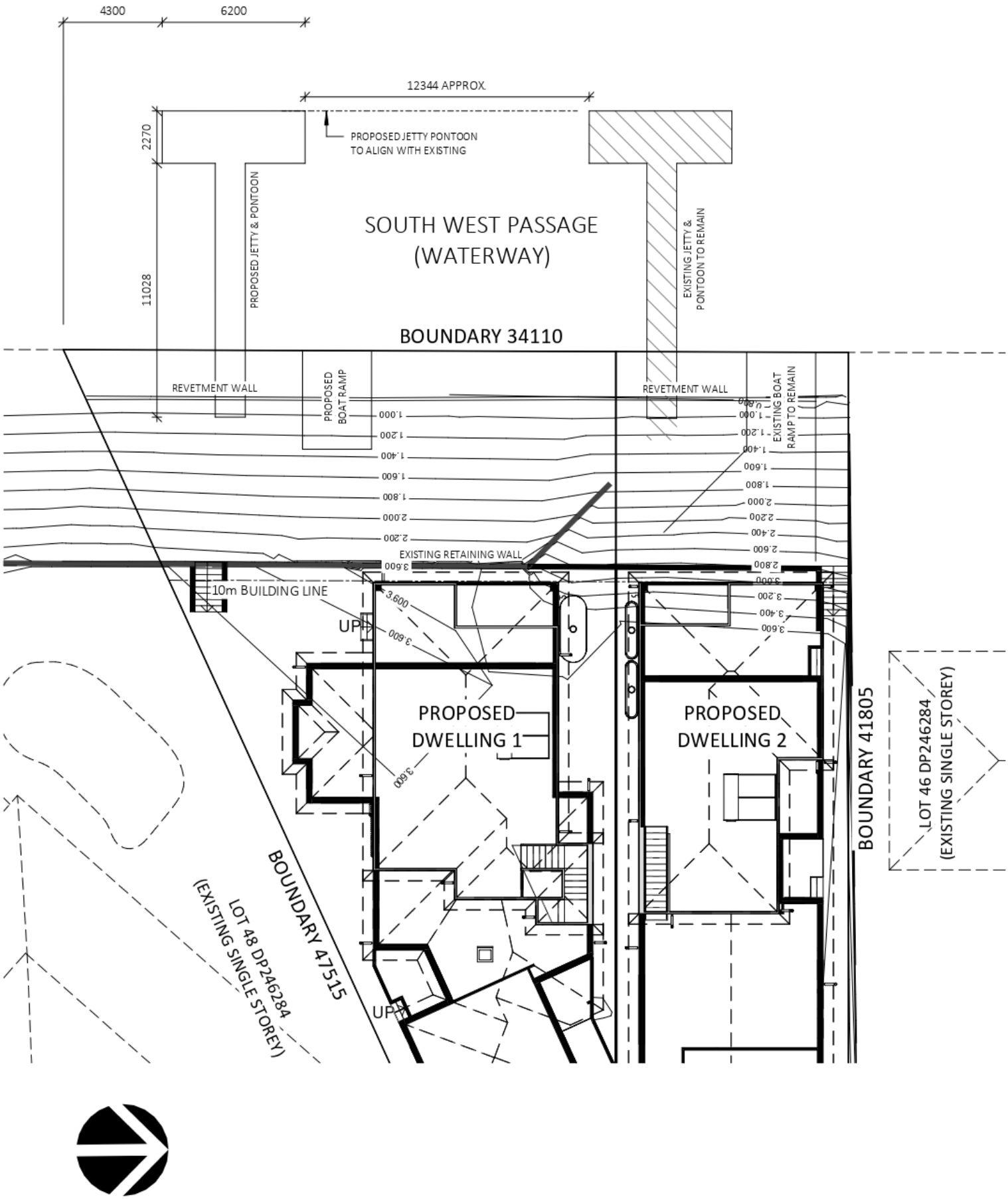
- | | | |
|---|--|---------------------------------|
|  | CATCHMENT OF ROOF AREA TO BE DIRECTED TO TANK (TO BE USED AS GUIDE ONLY) | :100m ² PER DWELLING |
|  | PROPOSED TANK LOCATION 1,500 LTRS PER DWELLING AS PER BASIX. REFER TO ENGINEERS DETAILS FOR DETENTION TANK SIZES | |
|  | PATH OF WATER FLOW FROM D/PIPES TO TANK (TO BE USED AS A GUIDE ONLY) | |
|  | WATER FLOW FROM TANK TO APPLIANCES (TO BE USED AS A GUIDE ONLY) | |
| | LAWN & GARDEN AREA TO BE D1: 70m ² ; D2: 50m ² (AS PER BASIX CERTIFICATE TO BE USED AS A GUIDE ONLY) | |

ALL LEVELS WERE COMPLETED BY COASTAL SURVEY SOLUTIONS AND ARE TO AHD. ALL LEVELS AND CONTOURS TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

 collinswcollins Pty Ltd Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS		S68 & S138 PLAN		DRAWING REVISION + NOTES				
	LOT No: 47 DP No: 246284		SHEET: 2 OF 22	SCALE:	As indicated	Date:	Revision Description:	Issue:	Drawn:
	STREET No: 29					18.12.19	INITIAL ISSUE	A	DC
	STREET NAME: FRANCIS STREET, PORT MACQUARIE		SHEET SIZE:	A3	10.08.20	CC PLANS	C	MS	
			START DATE:	18.12.19	04.06.21	SURVEY	T	MS	
	CLIENT: MARKOV		DWG No:	D4354	07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS	
89A lord street (PO Box 5667), Port Macquarie nsw 2444 Shop 17 Centrepont Arcade, Taree NSW 2430 T: 02 6583 4411 F: 02 6583 9820 WWW.COLINSWCOLLINS.COM.AU									

Note: Copyright © 2020: Collins.w.Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced
or transmitted in any form or by means, electronic,
mechanical, photocopying, recording or otherwise, without
the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to
check all the dimensions on the job prior to commencement
of shop drawings or fabrication. Discrepancies to be referred
to the consultant/Designer prior to commencement of work.



JETTY PLAN SCALE 1:200

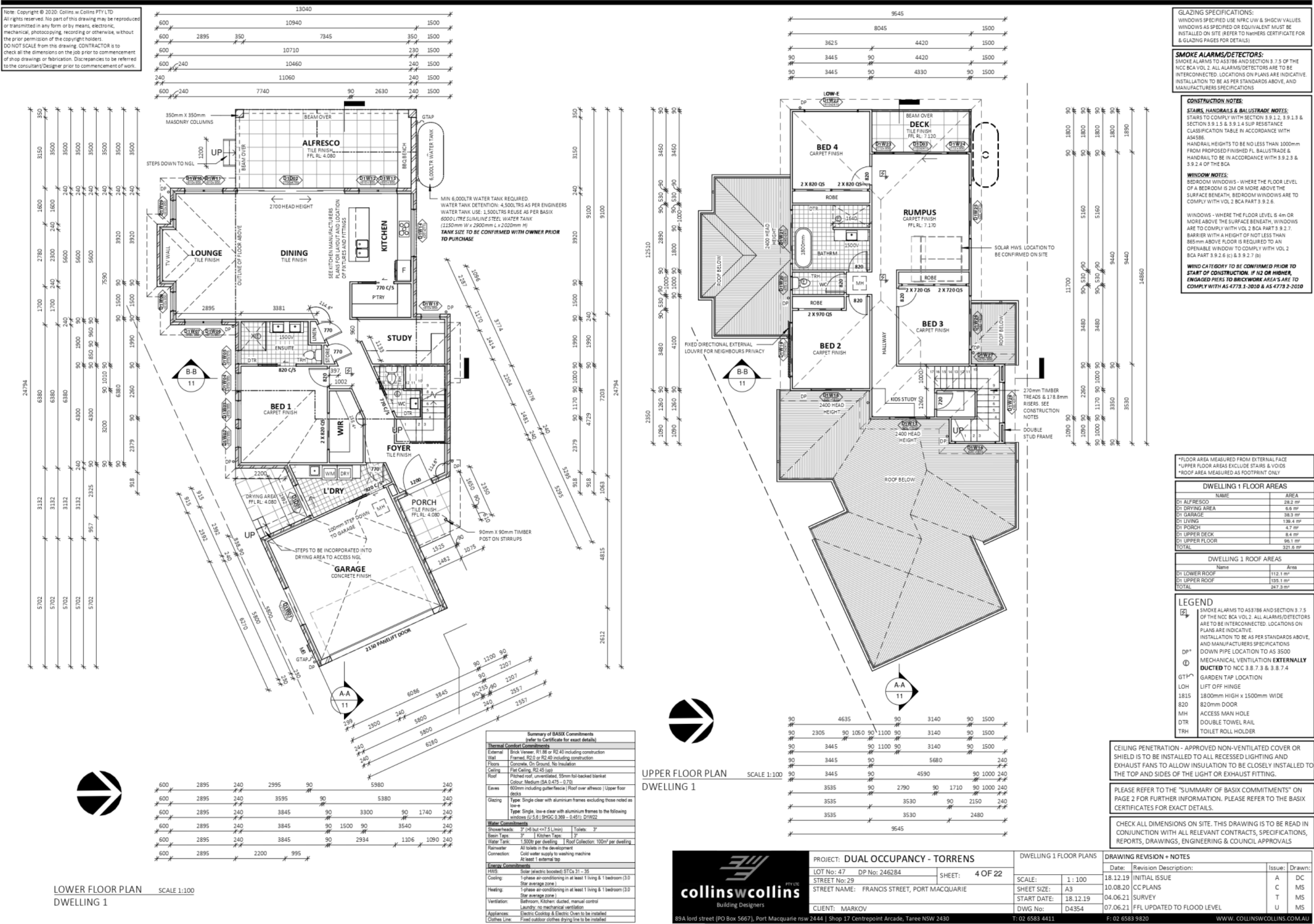
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



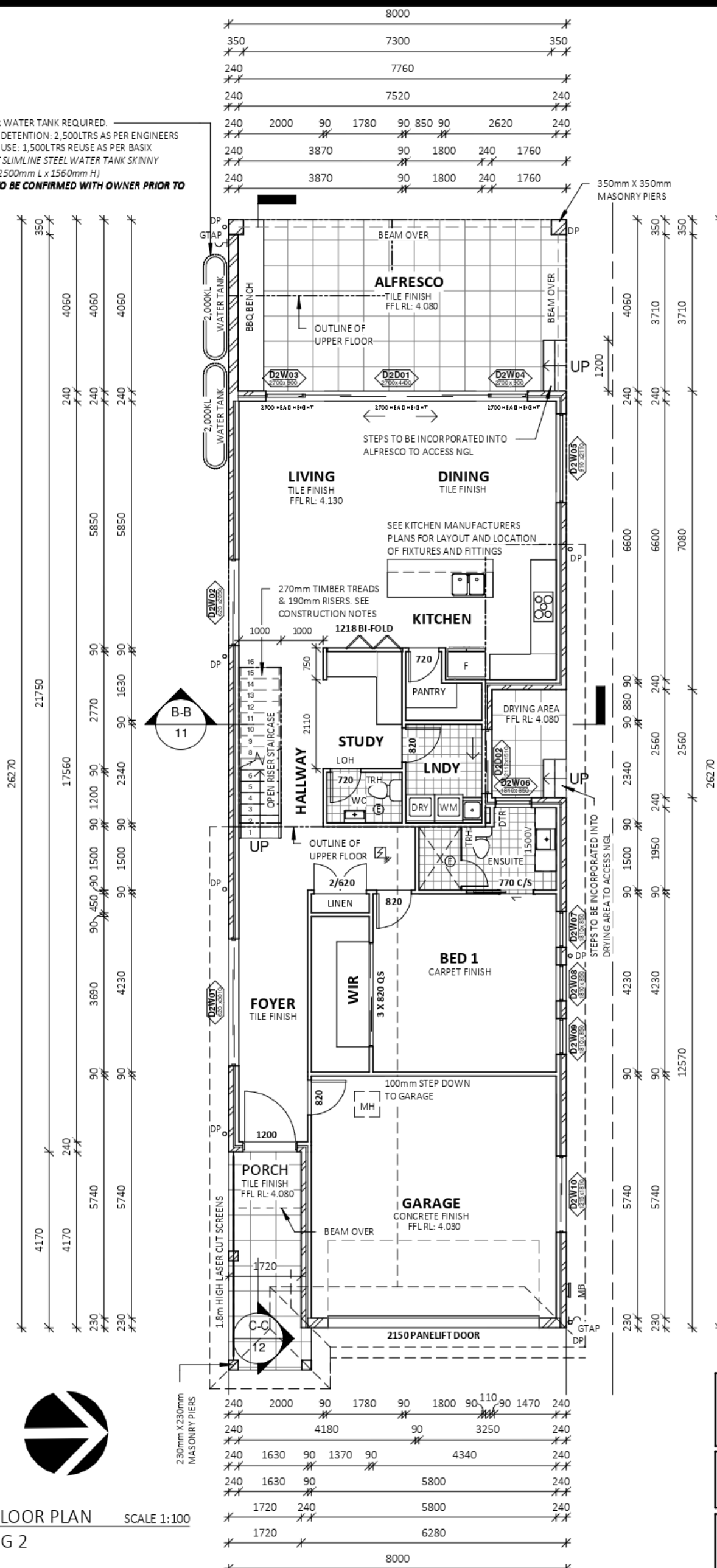
PROJECT: DUAL OCCUPANCY - TORRENS		
LOT No: 47	DP No: 246284	SHEET: 3 OF 22
STREET No: 29		
STREET NAME: FRANCIS STREET, PORT MACQUARIE		
CLIENT: MARKOV		

JETTY PLAN	
SCALE:	As indicated
SHEET SIZE:	A3
START DATE:	18.12.19
DWG No:	D4354

DRAWING REVISION + NOTES			
Date:	Revision Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS



MIN 4,000LTR WATER TANK REQUIRED.
WATER TANK DETENTION: 2,500LTRS AS PER ENGINEERS
WATER TANK USE: 1,500LTRS REUSE AS PER BASIX
2x 2000 LITRE SLIMLINE STEEL WATER TANK SKINNY
(550mm W x 2500mm L x 1560mm H)
TANK SIZES TO BE CONFIRMED WITH OWNER PRIOR TO PURCHASE



Note: Copyright © 2020: Collins.w Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant/Designer prior to commencement of work.

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES.
WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NETHERS CERTIFICATE FOR & GLAZING PAGES FOR DETAILS)

SMOKE ALARMS/DETECTORS:
SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS

CONSTRUCTION NOTES:

STAIRS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH SECTION 3.9.1.2, 3.9.1.3 & SECTION 3.9.1.5 & 3.9.1.4 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

WINDOW NOTES:
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.6.

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.7.
BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.6 (c) & 3.9.2.7 (b)

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010

*FLOOR AREA MEASURED FROM EXTERNAL FACE
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS
*ROOF AREA MEASURED AS FOOTPRINT ONLY

DWELLING 2 FLOOR AREAS

NAME	AREA
D2 ALFRESCO	32.5 m ²
D2 DRYING AREA	4.5 m ²
D2 FLOOR (LOWER)	128.9 m ²
D2 GARAGE	38.7 m ²
D2 PORCH	2.6 m ²
D2 DECK	7.0 m ²
D2 FLOOR (UPPER)	91.7 m ²
TOTAL	305.8 m ²

DWELLING 2 ROOF AREAS

Name	Area
D2 LOWER ROOF	122.8 m ²
D2 UPPER ROOF	123.3 m ²
TOTAL	246.1 m ²

LEGEND

	SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS
DP°	DOWN PIPE LOCATION TO AS 3500
	MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4
GT	GARDEN TAP LOCATION
LOH	LIFT OFF HINGE
1815	1800mm HIGH x 1500mm WIDE
820	820mm DOOR
MH	ACCESS MAN HOLE
DTR	DOUBLE TOWEL RAIL
TRH	TOILET ROLL HOLDER

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATES FOR EXACT DETAILS.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



LOWER FLOOR PLAN SCALE 1:100
DWELLING 2

collinswcollins PTY LTD
Building Designers

PROJECT: DUAL OCCUPANCY - TORRENS

LOT No: 47 DP No: 246284 SHEET: 5 OF 22

STREET No: 29

STREET NAME: FRANCIS STREET, PORT MACQUARIE

CLIENT: MARKOV

DWELLING 2 - LOWER FLOOR PLAN

SCALE: 1 : 100

SHEET SIZE: A3

START DATE: 18.12.19

DWG No: D4354

DRAWING REVISION + NOTES

Date:	Revision Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

Note: Copyright © 2020: Collins.w Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant/Designer prior to commencement of work.

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NAtHERS CERTIFICATE FOR & GLAZING PAGES FOR DETAILS)

SMOKE ALARMS/DETECTORS:
SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS

CONSTRUCTION NOTES:**STAIRS, HANDRAILS & BALUSTRADE NOTES:**

STAIRS TO COMPLY WITH SECTION 3.9.1.2, 3.9.1.3 & SECTION 3.9.1.5 & 3.9.1.4 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

WINDOW NOTES:

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.6.

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.7. BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.6 (c) & 3.9.2.7 (b)

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010

*FLOOR AREA MEASURED FROM EXTERNAL FACE
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS
*ROOF AREA MEASURED AS FOOTPRINT ONLY

DWELLING 2 FLOOR AREAS

NAME	AREA
D2 ALFRESCO	32.5 m²
D2 DRYING AREA	4.5 m²
D2 FLOOR (LOWER)	128.9 m²
D2 GARAGE	38.7 m²
D2 PORCH	2.6 m²
D2 DECK	7.0 m²
D2 FLOOR (UPPER)	91.7 m²
TOTAL	305.8 m²

DWELLING 2 ROOF AREAS

Name	Area
D2 LOWER ROOF	122.8 m²
D2 UPPER ROOF	123.3 m²
TOTAL	246.1 m²

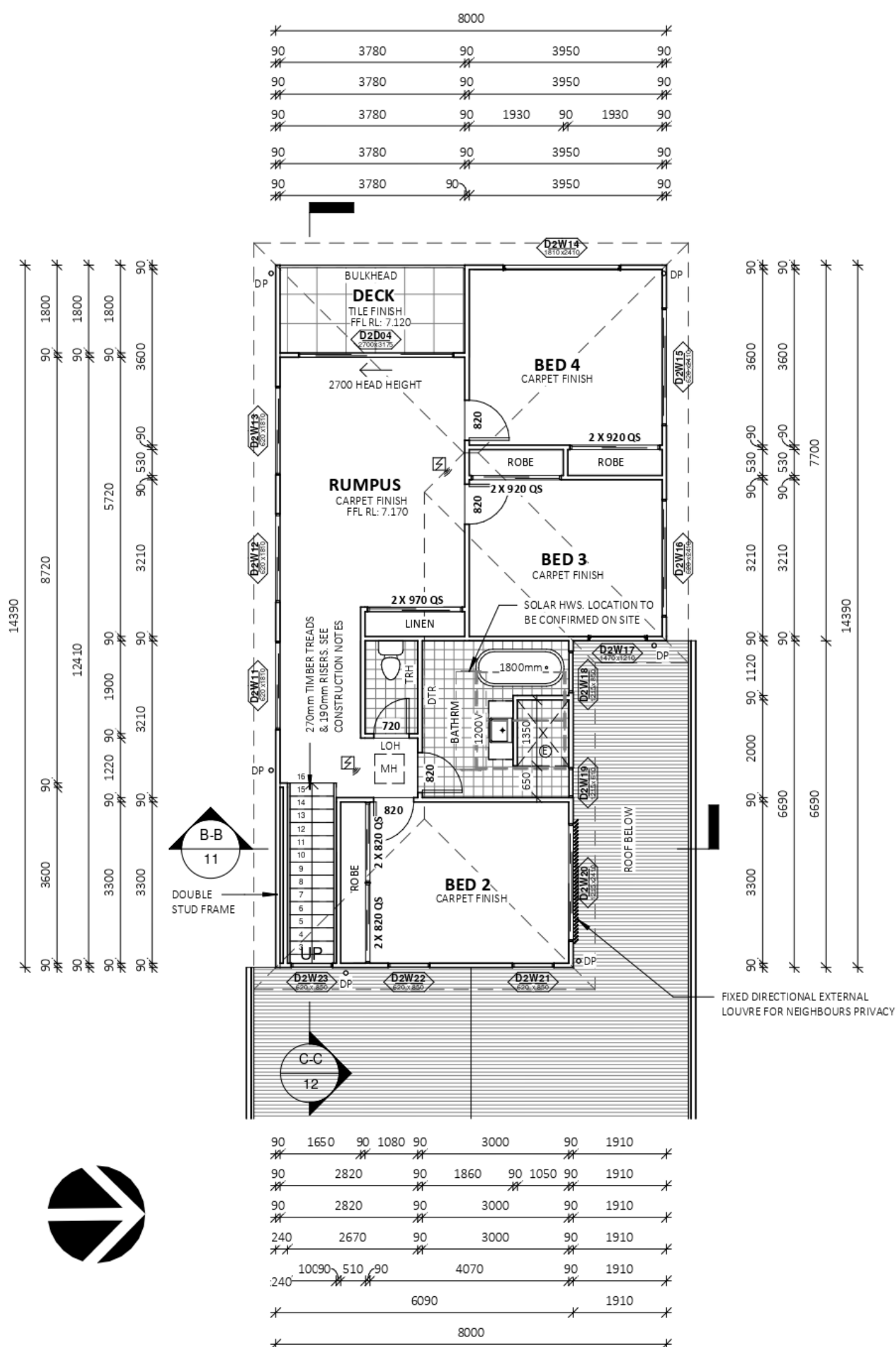
LEGEND

	SMOKE ALARMS TO AS3786 AND SECTION 3.7.5 OF THE NCC BCA VOL 2. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS
DP°	DOWN PIPE LOCATION TO AS 3500
	MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4
GT~	GARDEN TAP LOCATION
LOH	LIFT OFF HINGE
1815	1800mm HIGH x 1500mm WIDE
820	820mm DOOR
MH	ACCESS MAN HOLE
DTR	DOUBLE TOWEL RAIL
TRH	TOILET ROLL HOLDER

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATES FOR EXACT DETAILS.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



UPPER FLOOR PLAN SCALE 1:100
DWELLING 2



PROJECT: DUAL OCCUPANCY - TORRENS

LOT No: 47 DP No: 246284 SHEET: 6 OF 22

STREET No: 29 STREET NAME: FRANCIS STREET, PORT MACQUARIE

CLIENT: MARKOV

DWELLING 2 - UPPER FLOOR PLAN

SCALE: 1 : 100

SHEET SIZE: A3

START DATE: 18.12.19

DWG No: D4354

DRAWING REVISION + NOTES

Date:	Revision Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

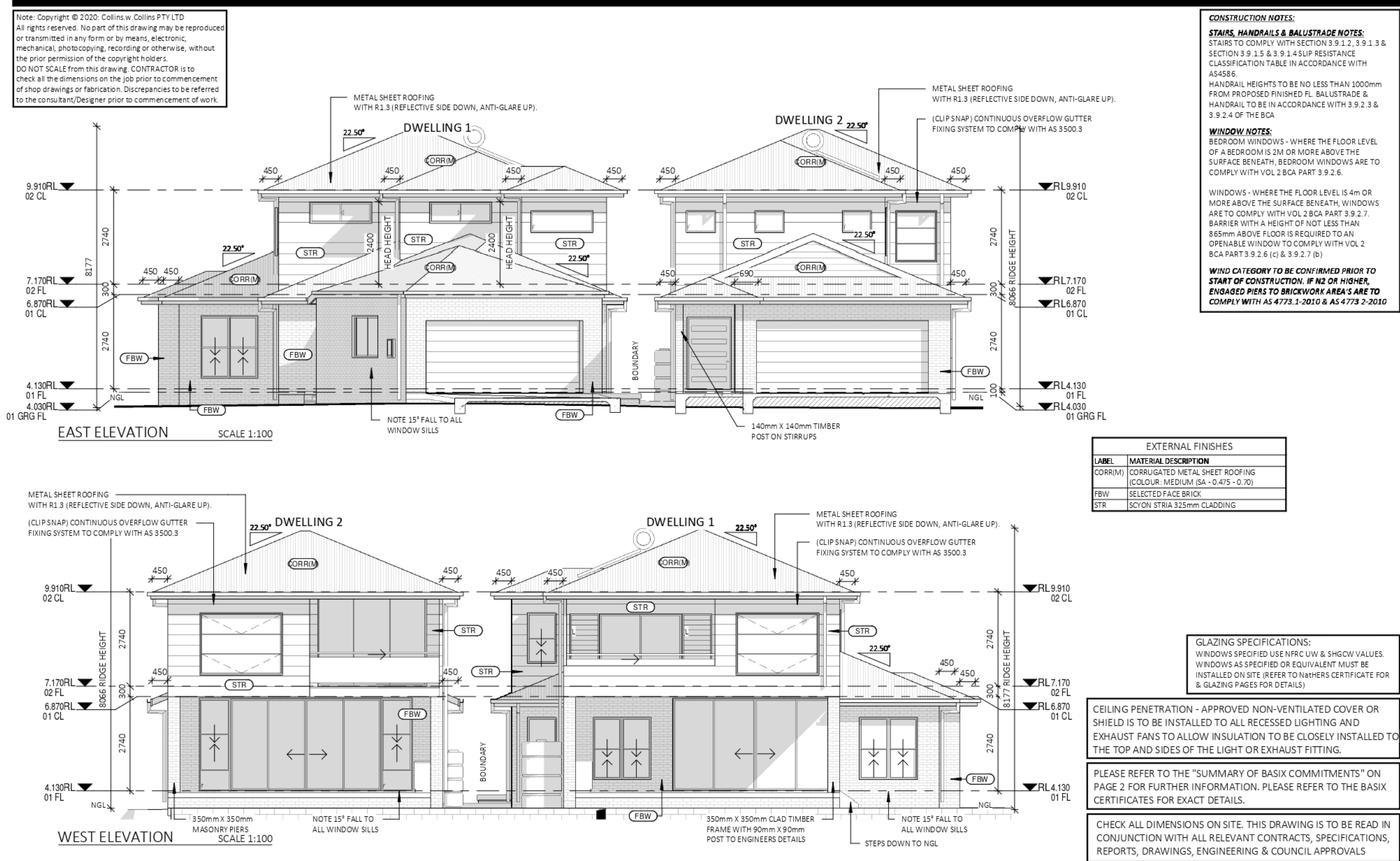
collinswcollins PTY LTD
Building Designers


89A lord street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

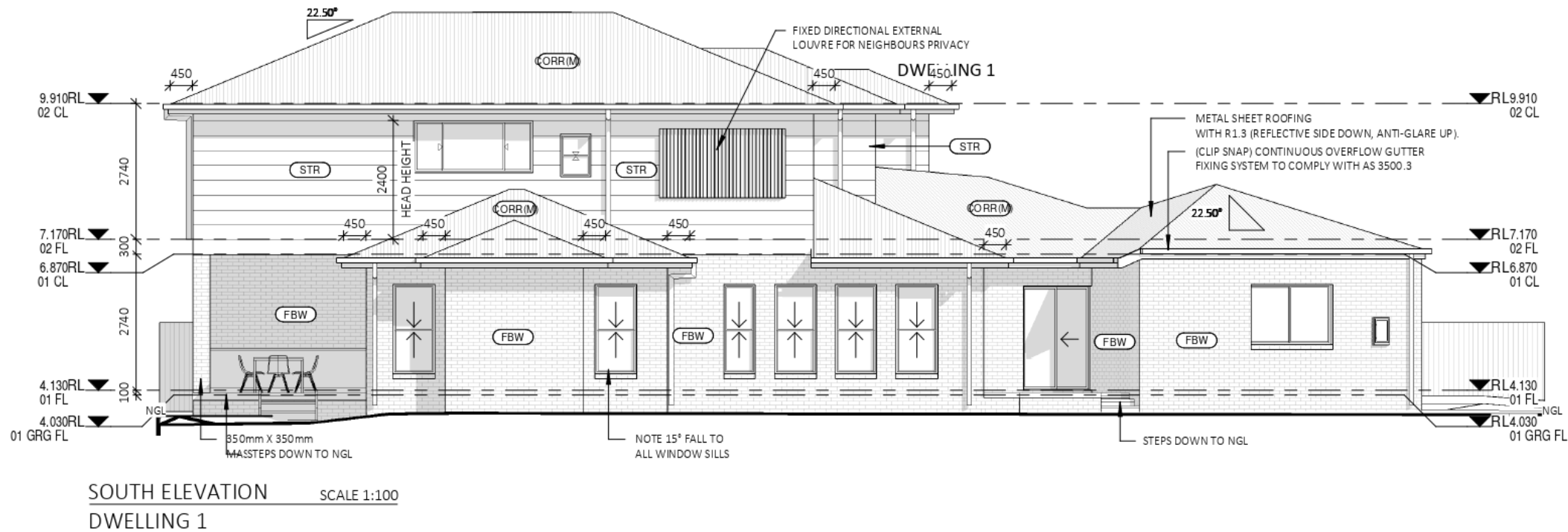
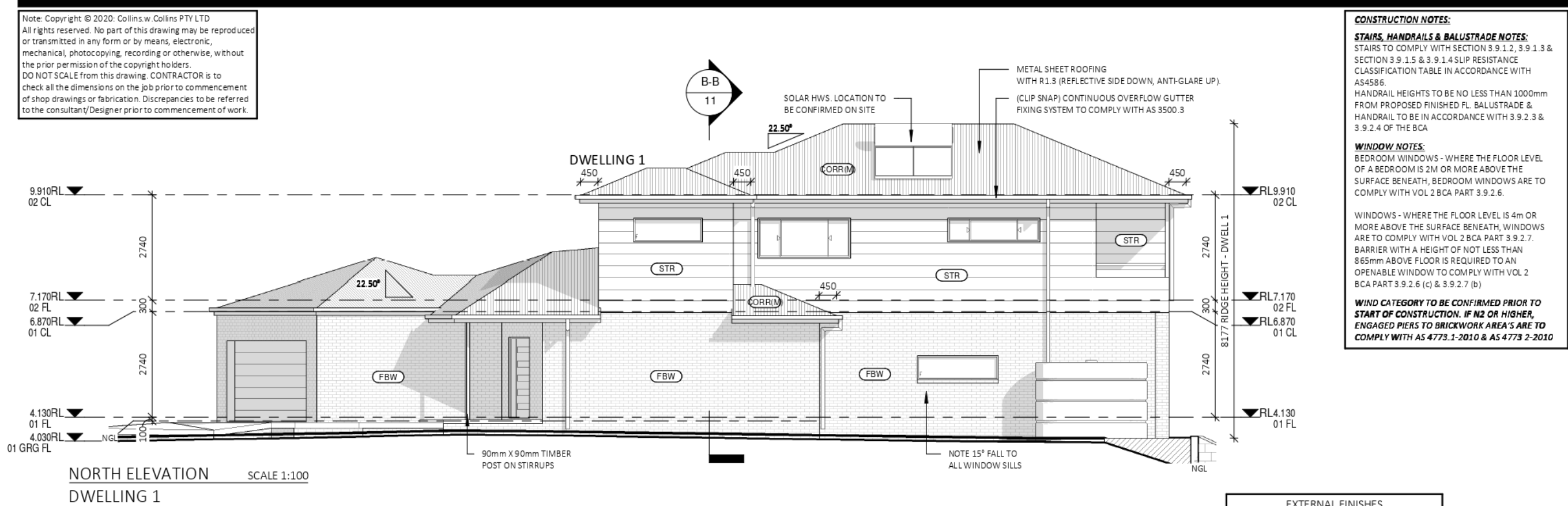
T: 02 6583 4411


F: 02 6583 9820

WWW.COLLINSWCOLLINS.COM.AU

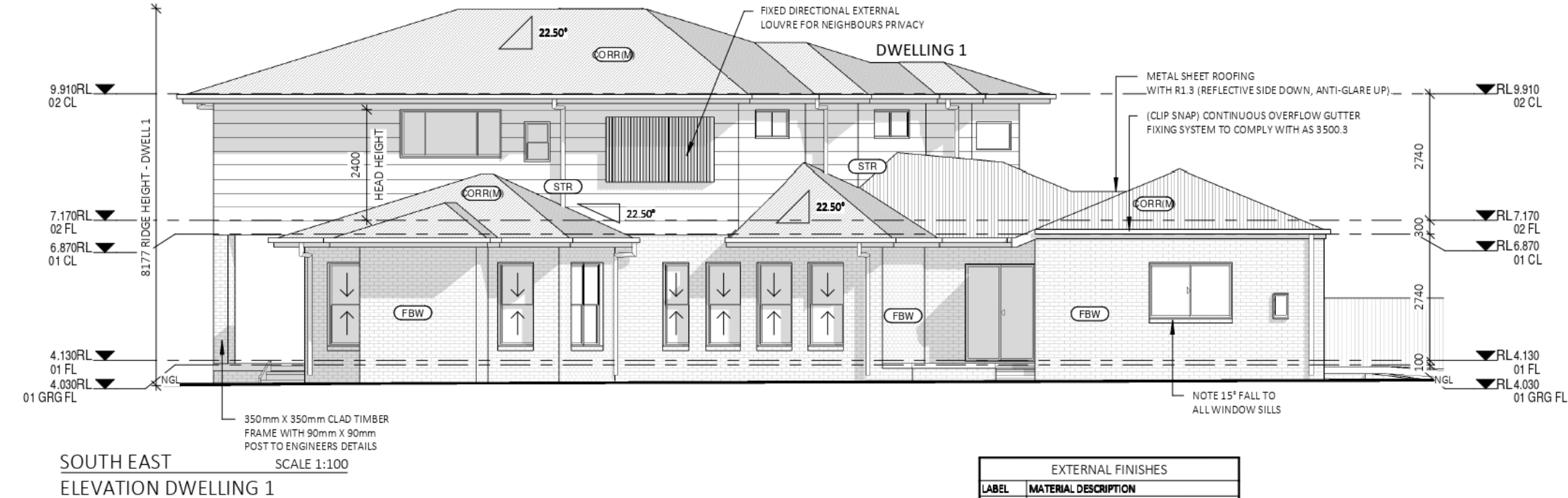


 collinswcollins Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS		EAST & WEST ELEVATIONS		DRAWING REVISION + NOTES				
	LOT No: 47 DP No: 246284		SHEET: 7 OF 22	SCALE: 1 : 100		Date:	Description:	Issue:	Drawn:
	STREET No: 29			SHEET SIZE: A3	18.12.19	INITIAL ISSUE	A	DC	
	STREET NAME: FRANCIS STREET, PORT MACQUARIE				10.08.20	CC PLANS	C	MS	
	CLIENT: MARKOV		START DATE: 18.12.19	15.09.20	D1 UPPER PUSHED BACK	E	MS		
			DWG No: D4354	27.05.21	SHADOWS	S	MS		
89A lord street (PO Box 5667), Port Macquarie NSW 2444 Shop 17 Centrepoint Arcade, Taree NSW 2430				T: 02 6583 4411	F: 02 6583 9820		WWW. COLLINSWCOLLINS.COM.AU		
						04.06.21	SURVEY	T	MS
						07.06.21	FEL UPDATED TO FLOOD LEVEL	U	MS



 collinswcollins PTY LTD Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS		DWELLING 1 - ELEVATIONS		DRAWING REVISION + NOTES				
	LOT No: 47 DP No: 246284				Date:	Description:	Issue:	Drawn:	
	STREET No: 29		SHEET: 8 OF 22	SCALE: 1 : 100		18.12.19	INITIAL ISSUE	A	DC
	STREET NAME: FRANCIS STREET, PORT MACQUARIE			SHEET SIZE: A3		10.08.20	CC PLANS	C	MS
	CLIENT: MARKOV		START DATE: 18.12.19		08.12.20	WATER TANK SIZES & NOTES	K	MS	
			DWG No: D4354		27.05.21	SHADOWS	S	MS	
					04.06.21	SURVEY	T	MS	
				07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS		
89A lord street (PO Box 5667), Port Macquarie NSW 2444 Shop 17 Centrepoint Arcade, Taree NSW 2430									
T: 02 6583 4411					F: 02 6583 9820			WWW. COLLINSWCOLLINS.COM.AU	

Note: Copyright © 2020: Collins.w.Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant/Designer prior to commencement of work.



EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
CORR(M)	CORRUGATED METAL SHEET ROOFING (COLOUR: MEDIUM (SA - 0.475 - 0.70))
FBW	SELECTED FACE BRICK
STR	SCYON STRIA 325mm CLADDING

CONSTRUCTION NOTES:
STAIRS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH SECTION 3.9.1.2, 3.9.1.3 & SECTION 3.9.1.5 & 3.9.1.4 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA
WINDOW NOTES:
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.6.
WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.7. BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.6 (c) & 3.9.2.7 (b)
WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010


GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NATHERS CERTIFICATE FOR & GLAZING PAGES FOR DETAILS)

Summary of BASIX Commitments (refer to Certificate for exact details)	
Thermal Comfort Commitments	
External Wall	Brick Veneer, R1.88 or R2.40 including construction
Floors	Framed, R2.0 or R2.40 including construction
Ceiling	Concrete, On Ground, No Insulation
Roof	Fat Ceiling, R2.45 (up)
Eaves	Pitched roof, unventilated, 55mm foil-backed blanket Colour: Medium (SA 0.475 - 0.70)
Glazing	Type: Single clear with aluminium frames excluding those noted as low-e Type: Single, low-e clear with aluminium frames to the following windows (U 5.6 SHGC 0.360 - 0.451): D1W22
Water Commitments	
Showerheads:	3" (>6 but <=7.5 L/min)
Basin Taps:	3"
Kitchen Taps:	3"
Water Tank:	1,500ltr per dwelling
Roof Collection:	100m² per dwelling
Rainwater Connection:	All toilets in the development Cold water supply to washing machine At least 1 external tap
Energy Commitments	
HWS:	Solar (electric boosted) STCs 31 - 35
Cooling:	1-phase air-conditioning in at least 1 living & 1 bedroom (3.0 Star average zone)
Heating:	1-phase air-conditioning in at least 1 living & 1 bedroom (3.0 Star average zone)
Ventilation:	Bathroom, Kitchen: ducted, manual control Laundry: no mechanical ventilation
Appliances:	Electric Cooktop & Electric Oven to be installed
Clothes Line:	Fixed outdoor clothes drying line to be installed

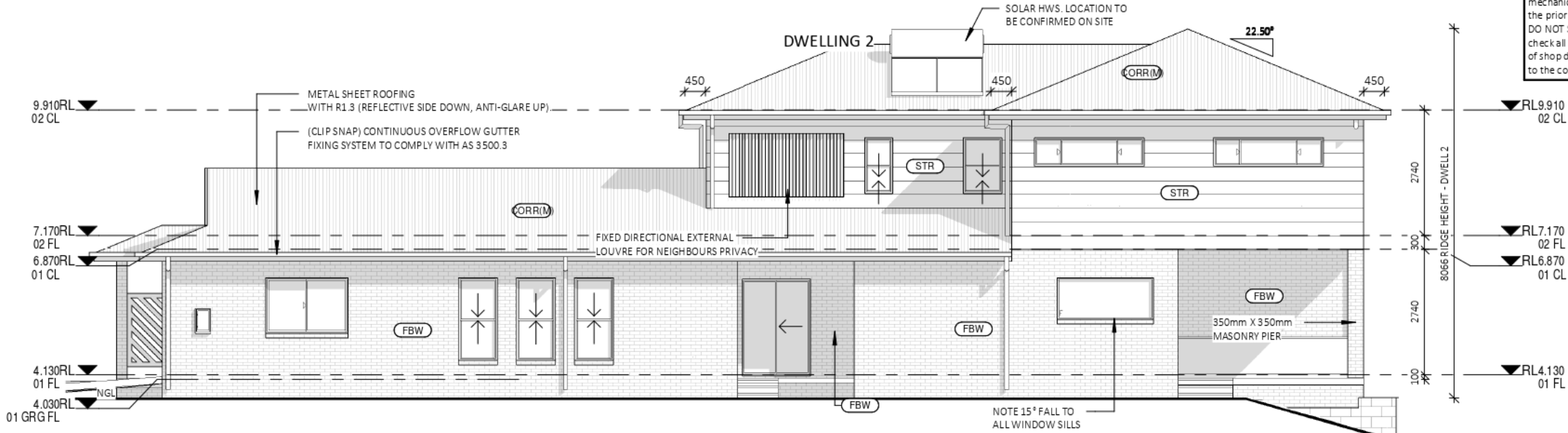
CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATES FOR EXACT DETAILS.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

 collinswcollins PTY LTD Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS		DWELLING 1 - ELEVATIONS		DRAWING REVISION + NOTES				
	LOT No: 47 DP No: 246284				SHEET: 9 OF 22		Date:	Description:	Issue:
	STREET No: 29		SCALE:	1 : 100			18.12.19	INITIAL ISSUE	A
	STREET NAME: FRANCIS STREET, PORT MACQUARIE		SHEET SIZE:	A3	10.08.20	CC PLANS	C	MS	
	CLIENT: MARKOV		START DATE:	18.12.19	15.09.20	D1 UPPER PUSHED BACK	E	MS	
			DWG No:	D4354	27.05.21	SHADOWS	S	MS	
				04.06.21	SURVEY	T	MS		
				07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS		
89A lord street (PO Box 5667), Port Macquarie NSW 2444 Shop 17 Centrepoint Arcade, Taree NSW 2430				T: 02 6583 4411		F: 02 6583 9820		WWW. COLLINSWCOLLINS.COM.AU	

Note: Copyright © 2020: Collins.w.Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant/Designer prior to commencement of work.



EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
CORR(M)	CORRUGATED METAL SHEET ROOFING (COLOUR: MEDIUM (SA - 0.475 - 0.70))
FBW	SELECTED FACE BRICK
STR	SCYON STRIA 325mm CLADDING

CONSTRUCTION NOTES:

STAIRS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH SECTION 3.9.1.2, 3.9.1.3 & SECTION 3.9.1.5 & 3.9.1.4 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA

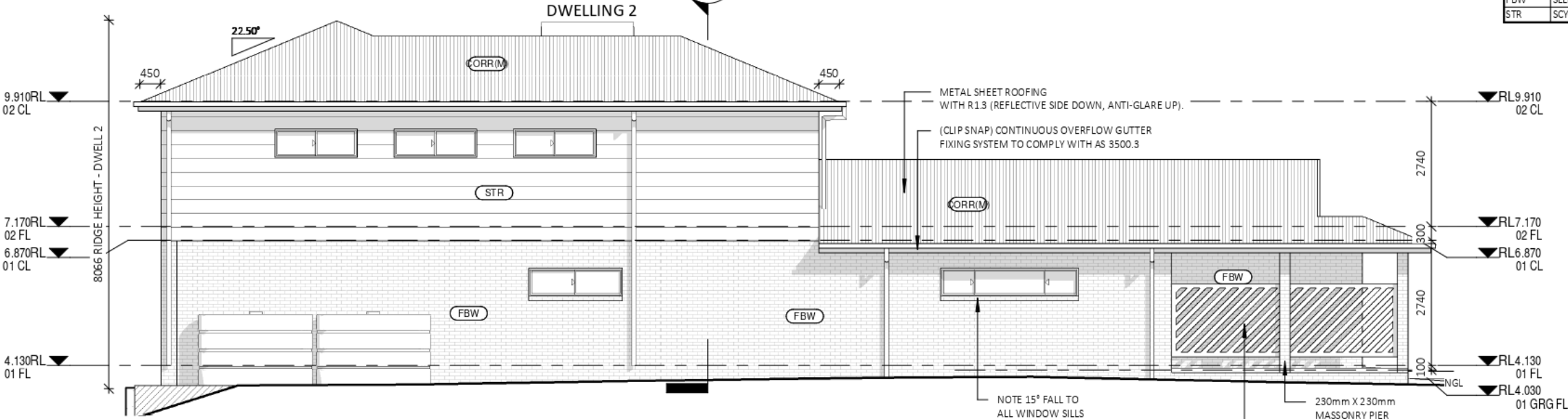
WINDOW NOTES:
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.6.

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.7. BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.6 (c) & 3.9.2.7 (b)

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE NFRC U_w & SHGC_w VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NATHERS CERTIFICATE FOR & GLAZING PAGES FOR DETAILS)



CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATES FOR EXACT DETAILS.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



89A lord street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepoint Arcade, Taree NSW 2430

PROJECT: DUAL OCCUPANCY - TORRENS

LOT No: 47 DP No: 246284

STREET No: 29

STREET NAME: FRANCIS STREET, PORT MACQUARIE

CLIENT: MARKOV

SHEET: 10 OF 22

DWELLING 2 - ELEVATIONS

SCALE: 1 : 100

SHEET SIZE: A3

START DATE: 18.12.19

DWG No: D4354

DRAWING REVISION + NOTES

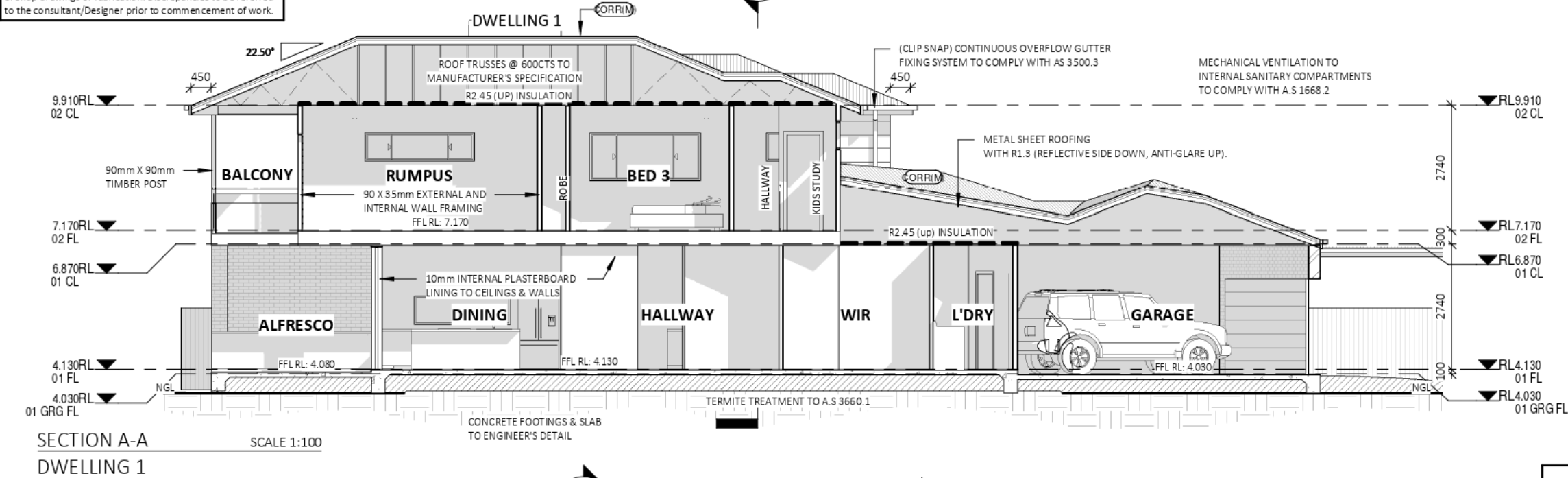
Date:	Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
15.09.20	D1 UPPER PUSHED BACK	E	MS
27.05.21	SHADOWS	S	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

T: 02 6583 4411

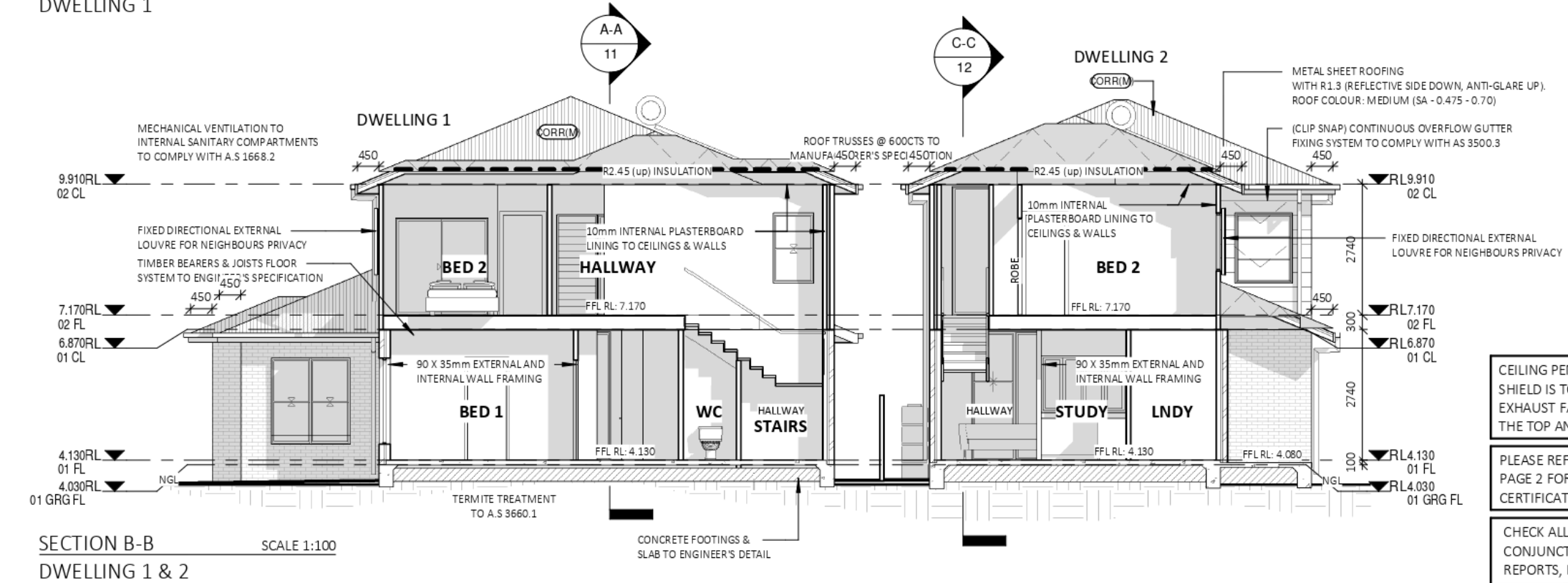
F: 02 6583 9820

WWW.COLLINSWCOLLINS.COM.AU

Note: Copyright © 2020: Collinsw. Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant/Designer prior to commencement of work.



CONSTRUCTION NOTES:
STAIRS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH SECTION 3.9.1.2, 3.9.1.3 & SECTION 3.9.1.5 & 3.9.1.4 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA
WINDOW NOTES:
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.6.
WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.7. BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.6 (c) & 3.9.2.7 (b)
WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010




EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
CORR(M)	CORRUGATED METAL SHEET ROOFING (COLOUR: MEDIUM (SA - 0.475 - 0.70))
FBW	SELECTED FACE BRICK
STR	SCYON STRIA 325mm CLADDING

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NATHERS CERTIFICATE FOR & GLAZING PAGES FOR DETAILS)

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

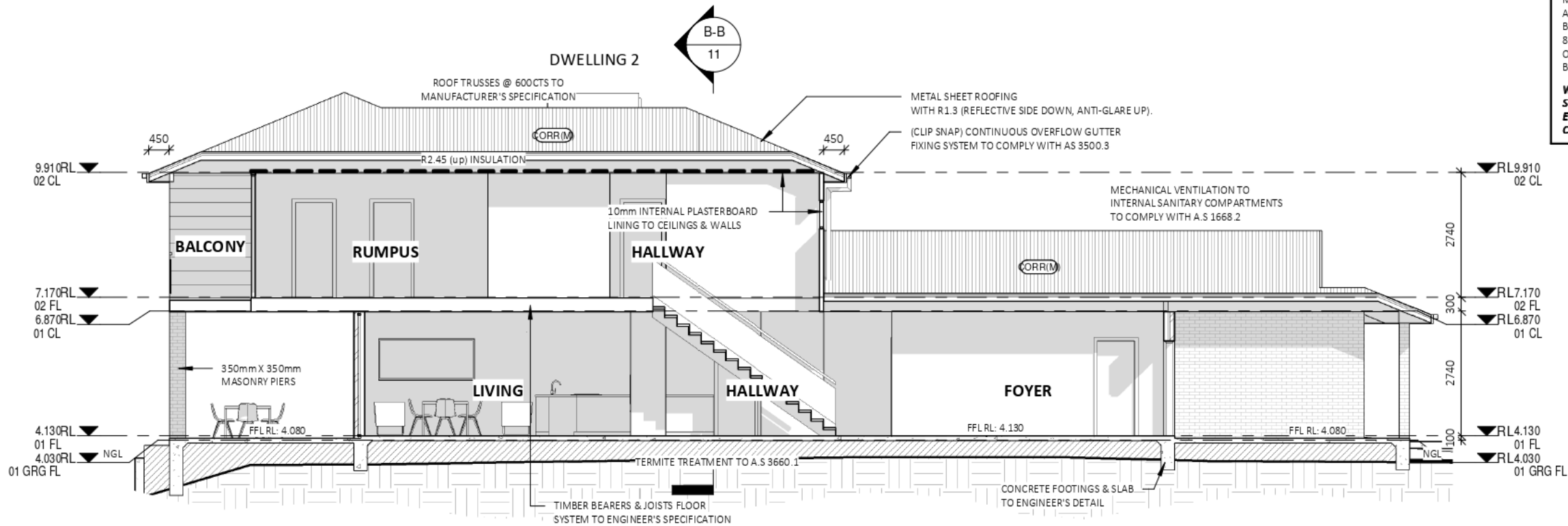
PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATES FOR EXACT DETAILS.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

 collinswcollins PTY LTD Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS		SECTIONS		DRAWING REVISION + NOTES			
	LOT No: 47 DP No: 246284				Date:	Description:	Issue:	Drawn:
	STREET No: 29		SHEET: 11 OF 22	18.12.19	INITIAL ISSUE	A	DC	
	STREET NAME: FRANCIS STREET, PORT MACQUARIE			10.08.20	CC PLANS	C	MS	
	CLIENT: MARKOV		SHEET SIZE:	A3	15.09.20	D1 UPPER PUSHED BACK	E	MS
			START DATE:	18.12.19	08.12.20	WATER TANK SIZES & NOTES	K	MS
			DWG No:	D4354	04.06.21	SURVEY	T	MS
				07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS	
89A lord street (PO Box 5667), Port Macquarie NSW 2444 Shop 17 Centrepoint Arcade, Taree NSW 2430								
T: 02 6583 4411				F: 02 6583 9820		WWW. COLLINSWCOLLINS.COM.AU		

Note: Copyright © 2020: Collins.w.Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant/Designer prior to commencement of work.

CONSTRUCTION NOTES:
STAIRS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH SECTION 3.9.1.2, 3.9.1.3 & SECTION 3.9.1.5 & 3.9.1.4 SLIP RESISTANCE CLASSIFICATION TABLE IN ACCORDANCE WITH AS4586.
HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH 3.9.2.3 & 3.9.2.4 OF THE BCA
WINDOW NOTES:
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.6.
WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH VOL 2 BCA PART 3.9.2.7. BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW TO COMPLY WITH VOL 2 BCA PART 3.9.2.6 (c) & 3.9.2.7 (b)
WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010



SECTION C-C
DWELLING 2
SCALE 1:100

Summary of BASIX Commitments (refer to Certificate for exact details)			
Thermal Comfort Commitments			
External Wall	Brick Veneer, R1.86 or R2.40 including construction Framed, R2.0 or R2.40 including construction		
Floors	Concrete, On Ground, No Insulation		
Ceiling	Flat Ceiling, R2.45 (up)		
Roof	Pitched roof, unventilated, 55mm foil-backed blanket Colour: Medium (SA 0.475 – 0.70)		
Eaves	600mm including gutter/fascia Roof over alfresco Upper floor decks		
Glazing	Type: Single clear with aluminium frames excluding those noted as low-e Type: Single, low-e clear with aluminium frames to the following windows (U 5.6 SHGC 0.369 – 0.451); D1W22		
Water Commitments			
Showerheads:	3" (>6 but <= 7.5 L/min)	Toilets:	3"
Basin Taps:	3"	Kitchen Taps:	3"
Water Tank:	1,500Ltr per dwelling	Roof Collection:	100m² per dwelling
Rainwater	All toilets in the development		
Connection:	Cold water supply to washing machine At least 1 external tap		
Energy Commitments			
HWS	Solar (electric boosted) STCs 31 – 35		
Cooling:	1-phase air-conditioning in at least 1 living & 1 bedroom (3.0 Star average zone)		
Heating:	1-phase air-conditioning in at least 1 living & 1 bedroom (3.0 Star average zone)		
Ventilation:	Bathroom, Kitchen: ducted, manual control Laundry: no mechanical ventilation		
Appliances:	Electric Cooktop & Electric Oven to be installed		
Clothes Line:	Fixed outdoor clothes drying line to be installed		


EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
CORR(M)	CORRUGATED METAL SHEET ROOFING (COLOUR: MEDIUM (SA - 0.475 - 0.70))
FBW	SELECTED FACE BRICK
STR	SCYON STRIA 325mm CLADDING

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO NATHERS CERTIFICATE FOR & GLAZING PAGES FOR DETAILS)

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATES FOR EXACT DETAILS.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

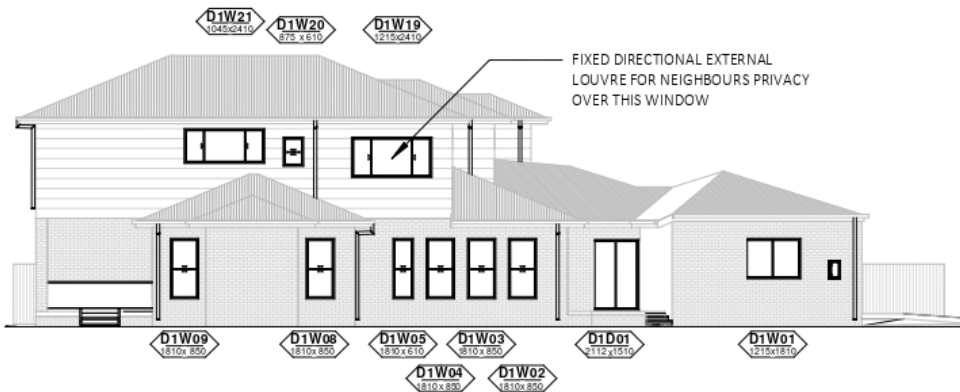
 <div>PTY LTD</div> collinswcollins Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS		SECTION		DRAWING REVISION + NOTES				
	LOT No: 47 DP No: 246284				Date:		Description:		Issue:
	STREET No: 29		SHEET: 12 OF 22		18.12.19	INITIAL ISSUE		A	DC
	STREET NAME: FRANCIS STREET, PORT MACQUARIE		SCALE: 1 : 100		10.08.20	CC PLANS		C	MS
	CLIENT: MARKOV		SHEET SIZE: A3		15.09.20	D1 UPPER PUSHED BACK		E	MS
			START DATE: 18.12.19		08.12.20	WATER TANK SIZES & NOTES		K	MS
			DWG No: D4354		04.06.21	SURVEY		T	MS
				07.06.21	FFL UPDATED TO FLOOD LEVEL		U	MS	
89A lord street (PO Box 5667), Port Macquarie NSW 2444 Shop 17 Centrepoint Arcade, Taree NSW 2430									
T: 02 6583 4411									
F: 02 6583 9820									
WWW. COLLINSWCOLLINS.COM.AU									



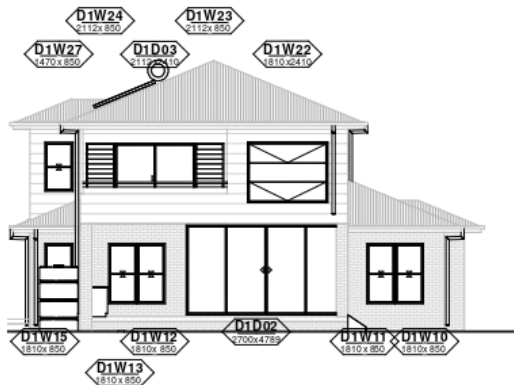
NORTH GLAZING ELEVATION SCALE 1:200
DWELLING 1



EAST GLAZING ELEVATION SCALE 1:200
DWELLING 1



SOUTH GLAZING ELEVATION SCALE 1:200
DWELLING 1



WEST GLAZING ELEVATION SCALE 1:200
DWELLING 1

DWELLING 1 - DOOR GLAZING SCHEDULE							
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONSTRUCTION	GLAZING
D1D01	01 FL	L'DRY	2112	1510	SLIDING DOOR	ALUMINIUM	STANDARD
D1D02	01 FL	DINING	2700	4789	SLIDING DOOR	ALUMINIUM	STANDARD
D1D03	02 FL	RUMPUS	2112	2410	SLIDING DOOR	ALUMINIUM	STANDARD

DWELLING 1 - WINDOW GLAZING SCHEDULE							
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONSTRUCTION	GLAZING
D1W01	01 FL	GARAGE	1215	1810	SLIDING	ALUMINIUM	STANDARD
D1W02	01 FL	BED 1	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W03	01 FL	BED 1	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W04	01 FL	BED 1	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W05	01 FL	ENSUITE	1810	610	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W06	01 FL	LOUNGE	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W07	01 FL	LOUNGE	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W08	01 FL	LOUNGE	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W09	01 FL	LOUNGE	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W10	01 FL	LOUNGE	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W11	01 FL	LOUNGE	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W12	01 FL	KITCHEN	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W13	01 FL	KITCHEN	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W14	01 FL	KITCHEN	620	2110	FIXED	ALUMINIUM	STANDARD
D1W15	01 FL	STUDY	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W16	02 FL	STAIRS	620	1810	FIXED	ALUMINIUM	STANDARD
D1W17	02 FL	KIDS STUDY	620	1810	SLIDING	ALUMINIUM	STANDARD
D1W18	02 FL	BED 2	620	1810	SLIDING	ALUMINIUM	STANDARD
D1W19	02 FL	BED 2	1215	2410	SLIDING	ALUMINIUM	STANDARD
D1W20	02 FL	WC	875	610	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W21	02 FL	BATHRM	1045	2410	SLIDING	ALUMINIUM	STANDARD
D1W22	02 FL	BED 4	1810	2410	F/A/F	ALUMINIUM	LOW-E
D1W23	02 FL	RUMPUS	2112	850	LOUVRE	ALUMINIUM	STANDARD
D1W24	02 FL	RUMPUS	2112	850	LOUVRE	ALUMINIUM	STANDARD
D1W25	02 FL	RUMPUS	620	2410	SLIDING	ALUMINIUM	STANDARD
D1W26	02 FL	BED 3	1045	2410	SLIDING	ALUMINIUM	STANDARD
D1W27	02 FL	STAIRS	1470	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D1W28	02 FL	STAIRS	620	1810	FIXED	ALUMINIUM	STANDARD

Note: Copyright © 2020: Collins.w.Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant/Designer prior to commencement of work.

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE (REFER TO BASIX CERTIFICATES FOR DETAILS).

LOW-E GLAZING: LOW-E GLAZING WITH STANDARD ALUMINIUM FRAMES AS INDICATED

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES TO REMAINDER

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.6

WINDOWS AND GLAZING TO COMPLY WITH:
AS 4055 : WIND LOADS FOR HOUSING
AS 1288 : GLASS IN BUILDING - SELECTION & INSTALLATION
AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING
AS 1170-Part 2 : WIND ACTIONS
AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS
THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE.

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATES FOR EXACT DETAILS.

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

89A lord street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepoint Arcade, Taree NSW 2430

PROJECT: DUAL OCCUPANCY - TORRENS

LOT No: 47	DP No: 246284	SHEET: 13 OF 22
STREET No: 29		
STREET NAME: FRANCIS STREET, PORT MACQUARIE		
CLIENT: MARKOV		

T: 02 6583 4411

DWELLING 1 GLAZING

SCALE:	As indicated
SHEET SIZE:	A3
START DATE:	18.12.19
DWG No:	D4354

F: 02 6583 9820

DRAWING REVISION + NOTES

Date:	Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
15.09.20	D1 UPPER PUSHED BACK	E	MS
08.12.20	WATER TANK SIZES & NOTES	K	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

WWW. COLLINSWCOLLINS.COM.AU



<u><i>DWELLING 2 - DOOR GLAZING SCHEDULE</i></u>							
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONSTRUCTION	GLAZING
D2D01	01 FL	DINING	2700	4400	SLIDING DOOR	ALUMINIUM	STANDARD
D2D02	01 FL	LNDY	2112	1510	SLIDING DOOR	ALUMINIUM	STANDARD
D2D04	02 FL	RUMPUS	2700	3175	SLIDING DOOR	ALUMINIUM	STANDARD

<u>DWELLING 2 - WINDOW GLAZING SCHEDULE</u>							
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONSTRUCTION	GLAZING
D2W01	01 FL	FOYER	620	3010	SLIDING	ALUMINIUM	STANDARD
D2W02	01 FL	LIVING	620	2050	SLIDING	ALUMINIUM	STANDARD
D2W03	01 FL	LIVING	2700	900	DOUBLE HUNG	ALUMINIUM	STANDARD
D2W04	01 FL	DINING	2700	900	DOUBLE HUNG	ALUMINIUM	STANDARD
D2W05	01 FL	DINING	910	2110	FIXED	ALUMINIUM	STANDARD
D2W06	01 FL	ENSUITE	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D2W07	01 FL	BED 1	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D2W08	01 FL	BED 1	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D2W09	01 FL	BED 1	1810	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D2W10	01 FL	GARAGE	1215	1810	SLIDING	ALUMINIUM	STANDARD
D2W11	02 FL	HALLWAY	620	1810	SLIDING	ALUMINIUM	STANDARD
D2W12	02 FL	RUMPUS	620	1810	SLIDING	ALUMINIUM	STANDARD
D2W13	02 FL	RUMPUS	620	1810	SLIDING	ALUMINIUM	STANDARD
D2W14	02 FL	BED 4	1810	2410	F/A/F	ALUMINIUM	STANDARD
D2W15	02 FL	BED 4	620	2410	SLIDING	ALUMINIUM	STANDARD
D2W16	02 FL	BED 3	620	2410	SLIDING	ALUMINIUM	STANDARD
D2W17	02 FL	BED 3	1470	1210	F/A/F	ALUMINIUM	STANDARD
D2W18	02 FL	BATHRM	1215	850	DOUBLE HUNG	ALUMINIUM	STANDARD
D2W19	02 FL	BATHRM	1215	610	DOUBLE HUNG	ALUMINIUM	STANDARD
D2W20	02 FL	BED 2	1215	2410	SLIDING	ALUMINIUM	STANDARD
D2W21	02 FL	BED 2	620	850	FIXED	ALUMINIUM	STANDARD
D2W22	02 FL	BED 2	620	850	FIXED	ALUMINIUM	STANDARD
D2W23	02 FL	HALLWAY	620	850	FIXED	ALUMINIUM	STANDARD

Note: Copyright © 2020: Collins.w.Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced
or transmitted in any form or by means, electronic,
mechanical, photocopying, recording or otherwise, without
the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to
check all the dimensions on the job prior to commencement
of shop drawings or fabrication. Discrepancies to be referred
to the consultant/Designer prior to commencement of work.

GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES
WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE
INSTALLED ON SITE (REFER TO BASIX CERTIFICATES FOR
DETAILS).

LOW-E GLAZING: LOW-E GLAZING WITH STANDARD ALUMINIUM FRAMES AS INDICATED

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH
STANDARD ALUMINIUM FRAMES TO REMAINDER

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH PART 3.6.4.5 OF THE BCA

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS MORE THAN 2m ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH BCA VOL 2 PART 3.9.2.6


WINDOWS AND GLAZING TO COMPLY WITH:
AS 4055 : WIND LOADS FOR HOUSING
AS 1288 : GLASS IN BUILDING - SELECTION & INSTALLATION
AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING
AS 1170-Part 2 : WIND ACTIONS
AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE.

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATES FOR EXACT DETAILS.

CEILING PENETRATION - APPROVED NON-VENTILATED COVER OR SHIELD IS TO BE INSTALLED TO ALL RECESSED LIGHTING AND EXHAUST FANS TO ALLOW INSULATION TO BE CLOSELY INSTALLED TO THE TOP AND SIDES OF THE LIGHT OR EXHAUST FITTING.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

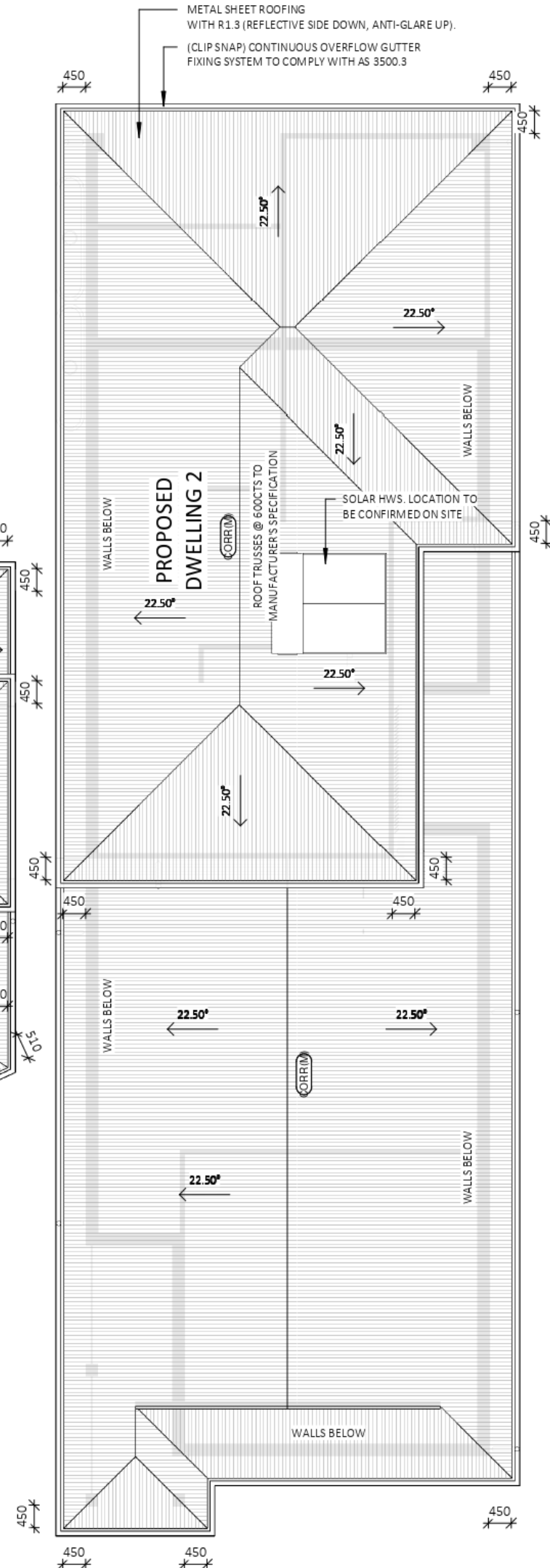
 collinswcollins Pty LTD Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS		DWELLING 2 GLAZING		DRAWING REVISION + NOTES				
	LOT No: 47 DP No: 246284		SHEET: 14 OF 22		Date:	Description:	Issue:	Drawn:	
	STREET No: 29		SCALE: As indicated		18.12.19	INITIAL ISSUE	A	DC	
	STREET NAME: FRANCIS STREET, PORT MACQUARIE		SHEET SIZE: A3		10.08.20	CC PLANS	C	MS	
	CLIENT: MARKOV		START DATE: 18.12.19		20.08.20	CHANGES AS PER EMAIL	D	MS	
			DWG No: D4354		22.03.21	FENCE NOTE UPDATE	P	MS	
					04.06.21	SURVEY	T	MS	
				07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS		
89A lord street (PO Box 5667), Port Macquarie NSW 2444 Shop 17 Centrepoint Arcade, Taree NSW 2430				T: 02 6583 4411		F: 02 6583 9820		WWW.COLLINSWCOLLINS.COM.AU	

[illegible]

EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
CORR(M)	CORRUGATED METAL SHEET ROOFING (COLOUR: MEDIUM (SA - 0.475 - 0.70))
FBW	SELECTED FACE BRICK
STR	SCYON STRIA 325mm CLADDING




ROOF PLAN SCALE 1:100



GLAZING SPECIFICATIONS:
WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES.
WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE
INSTALLED ON SITE (REFER TO NATHERS CERTIFICATE FOR
& GLAZING PAGES FOR DETAILS)

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

 collinswcollins PTY LTD Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS		ROOF PLAN		DRAWING REVISION + NOTES			
	LOT No: 47 DP No: 246284 STREET No: 29				SHEET: 15 OF 22		Date:	Revision Description:
	STREET NAME: FRANCIS STREET, PORT MACQUARIE		SCALE:	1 : 100	18.12.19	INITIAL ISSUE	A	DC
	CLIENT: MARKOV		SHEET SIZE:	A3	10.08.20	CC PLANS	C	MS
			START DATE:	18.12.19	04.06.21	SURVEY	T	MS
		DWG No:	D4354	07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS	

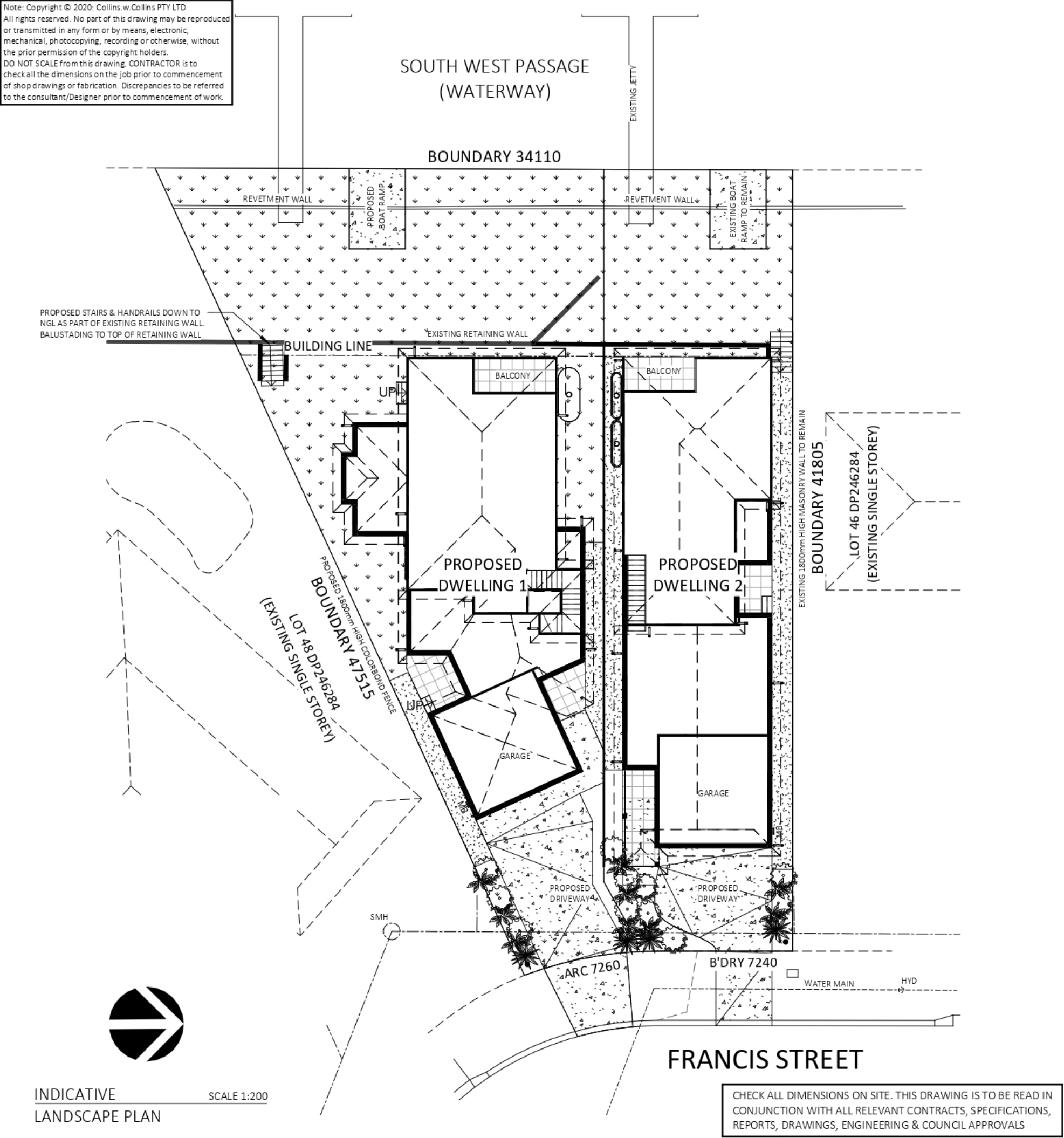
89A lord street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepoint Arcade, Taree NSW 2430

T: 02 6583 4411


F: 02 6583 9820

WWW.COLLINSWCOLLINS.COM.AU

Note: Copyright © 2020: Collins.w.Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant/Designer prior to commencement of work.



LEGEND AND NOTES		LEGEND AND NOTES		LEGEND AND NOTES	
	NEW WARM SEASON TURF GRASS THROUGHOUT		EXISTING NEIGHBOURING VEGETATION TO BE PRESERVED AND PROTECTED THROUGHOUT	<ul style="list-style-type: none">THIS PLAN IS NOT BE USED FOR CONSTRUCTIONTHIS PLAN IS CONCEPTUAL ONLY AND IS DESIGNED TO HIGHLIGHT VARIOUS LANDSCAPE USES AROUND THE SITE,ANY SUGGESTED PLANTS OR PLANT LIST IS INDICATIVE ONLY AND THE FINAL SELECTION OF ACTUAL SPECIES WILL BE SITE AND MICRO CLIMATE DEPENDENT,ALL HARD-SCAPED SURFACES SHALL BE INSTALLED BY QUALIFIED LANDSCAPE TRADES AND AS PER MANUFACTURERS INSTRUCTIONS,TURF SPECIES SHALL CONSISTS OF A WARM SEASON SPECIES ONLY SUCH AS; BUFFALO, KIKUYU OR COUCH,THE ADVICE AND PLAN FROM A PROFESSIONAL LANDSCAPE DESIGNER IS TO BE SOUGHT PRIOR TO ANY CONSTRUCTION / LANDSCAPE WORKS COMMENCING,LANDSCAPE HAS A DOMINANT NORTHERN ASPECT AND SELECTED PLANTS ARE TO BE SUN TO FULL SUN TOLERANT CAPABLE OF WITHSTANDING YEAR ROUND NORTHERN SUN,PLANTS ON THE IMMEDIATE SOUTHERN SIDE OF BUILDINGS AND DWELLING MAY NEED SOME SHADE TOLERANCE,PLANTINGS ARE TO BE WATER WISE AND DROUGHT TOLERANT ONCE ESTABLISHED	
	HARD SURFACE - PATHS PATHS TO HAVE PERMEABLE SURFACE FINISH		SMALL EVERGREEN NATIVE TREES		
	HARD SURFACE - DRIVEWAY REFER BUILDING DESIGN FOR DETAILS		FEATURE OR STATEMENT PLANTINGS		
	HARD SURFACE - PATIOS REFER BUILDING DESIGN FOR DETAILS		NEW SMALL / MEDIUM EVERGREEN SHRUBS		
			NEW SMALL / MEDIUM EVERGREEN SOFT WOODED PERENNIALS		
			NEW EVERGREEN PROSTRATE SHRUBS OR GROUND COVER PLANTINGS		



collinswcollins

Building Designers

PTY LTD

89A lord street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

PROJECT: DUAL OCCUPANCY - TORRENS

LOT No: 47DP No: 246284

STREET No: 29

STREET NAME: FRANCIS STREET, PORT MACQUARIE

SHEET: 16 OF 22

CLIENT: MARKOV

INDICATIVE LANDSCAPE PLAN

SCALE:As indicated

SHEET SIZE:A3

START DATE:18.12.19

DWG No:D4354

DRAWING REVISION + NOTES

Date:	Revision Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

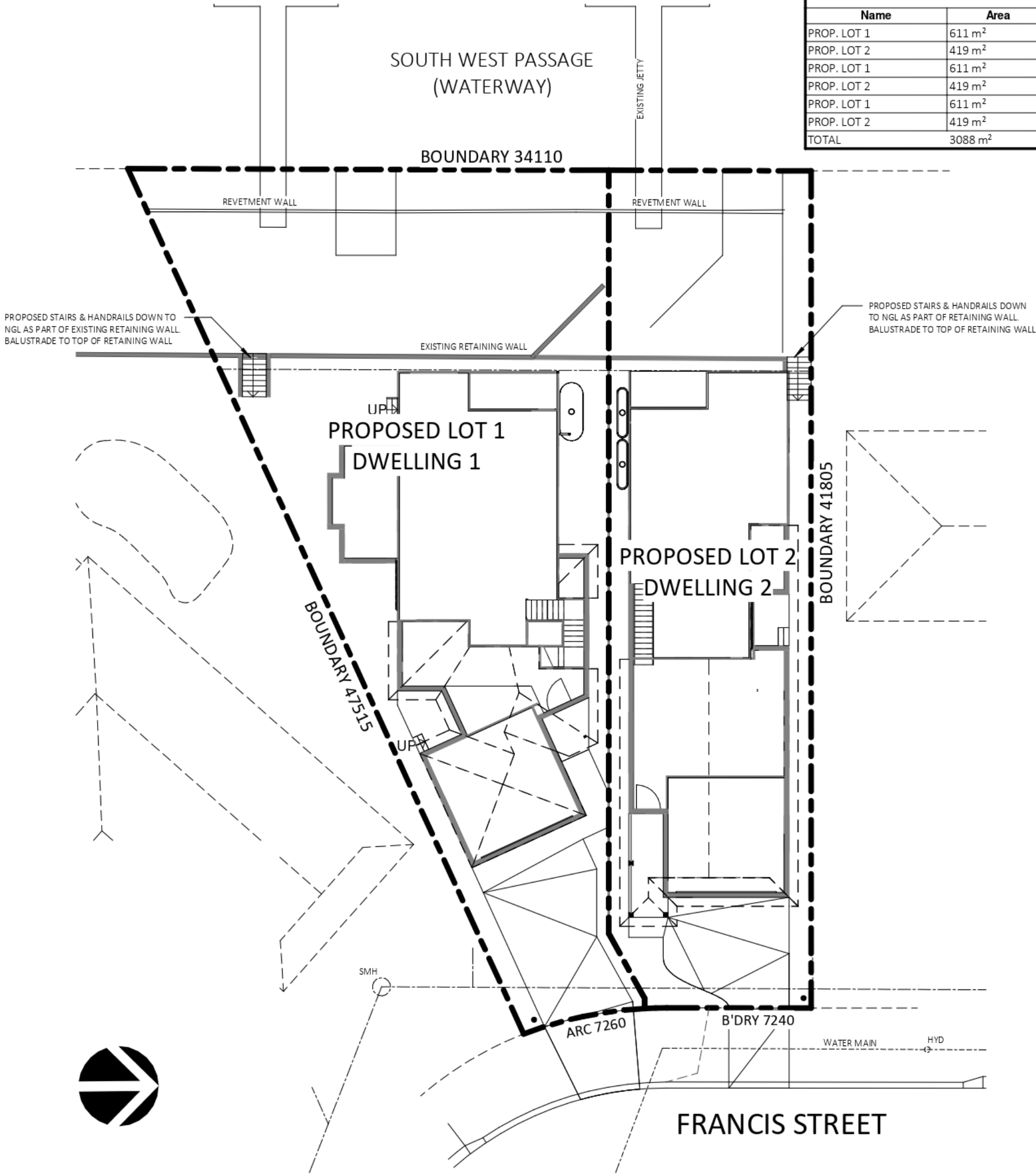
T: 02 6583 4411

F: 02 6583 9820

WWW.COLINSWCOLLINS.COM.AU

Note: Copyright © 2020: Collins.w.Collins PTY LTD
All rights reserved. No part of this drawing may be reproduced
or transmitted in any form or by means, electronic,
mechanical, photocopying, recording or otherwise, without
the prior permission of the copyright holders.
DO NOT SCALE from this drawing. CONTRACTOR is to
check all the dimensions on the job prior to commencement
of shop drawings or fabrication. Discrepancies to be referred
to the consultant/Designer prior to commencement of work.

EXISTING LOT SIZE	
Name	Area
EXIST. LOT	1029 m ²
EXIST. LOT	1029 m ²
TOTAL	2059 m ²
PROPOSED LOT SUBDIVISION	
Name	Area
PROP. LOT 1	611 m ²
PROP. LOT 2	419 m ²
PROP. LOT 1	611 m ²
PROP. LOT 2	419 m ²
PROP. LOT 1	611 m ²
PROP. LOT 2	419 m ²
TOTAL	3088 m ²



CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



PROJECT: DUAL OCCUPANCY - TORRENS		
LOT No: 47	DP No: 246284	SHEET: 17 OF 22
STREET No: 29		
STREET NAME: FRANCIS STREET, PORT MACQUARIE		
CLIENT: MARKOV		

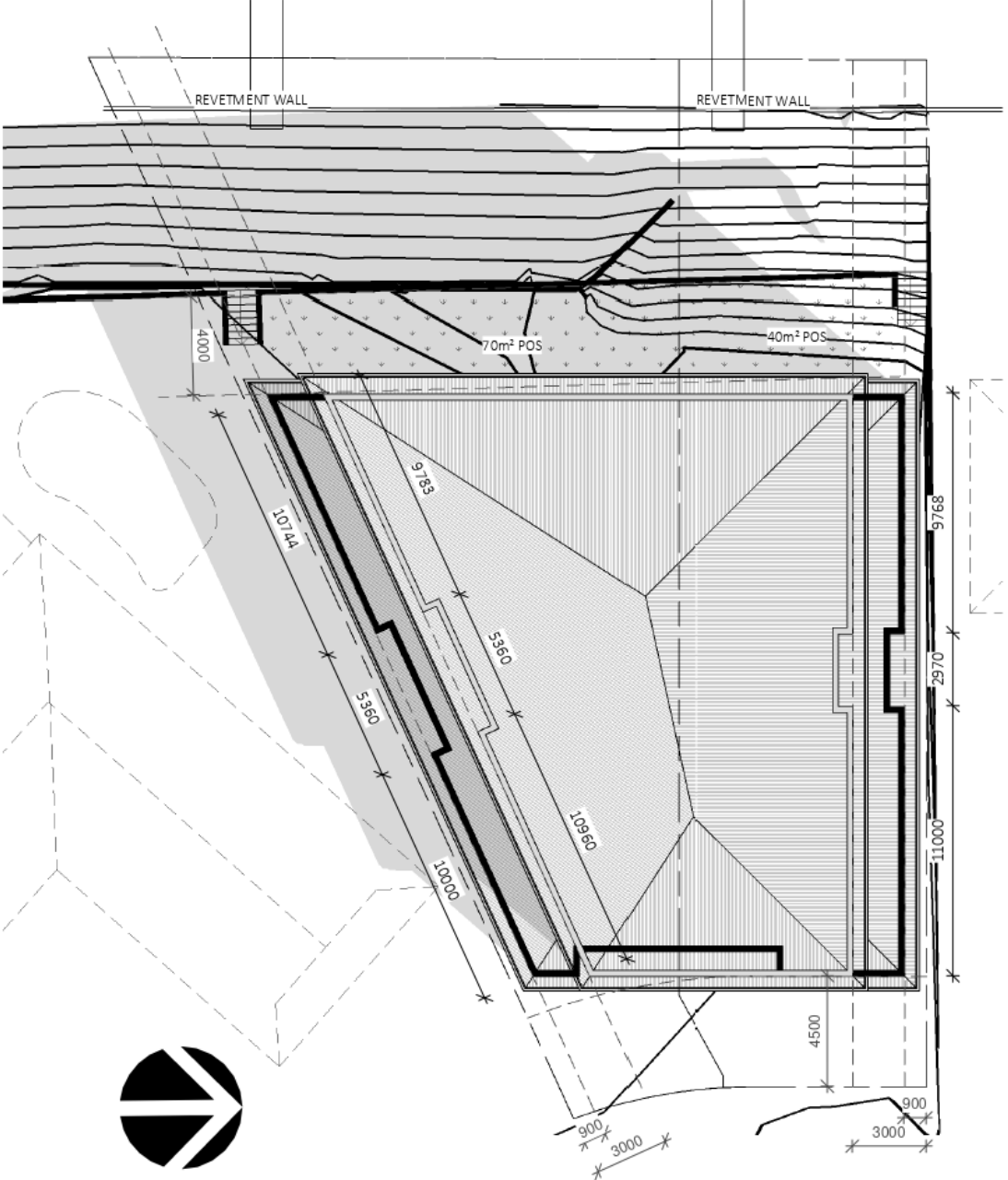
DRAFT SUBDIVISION PLAN	
SCALE:	As indicated
SHEET SIZE:	A3
START DATE:	18.12.19
DWG No:	D4354

DRAWING REVISION + NOTES			
Date:	Revision Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS



PROPOSED
9AM - 21 JUNE

SCALE 1:250



DCP
9AM - 21 JUNE

SCALE 1:250

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS



collinswcollins
Building Designers

89A lord street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

PROJECT: DUAL OCCUPANCY - TORRENS		
LOT No: 47	DP No: 246284	SHEET: 18 OF 22
STREET No: 29		
STREET NAME: FRANCIS STREET, PORT MACQUARIE		
CLIENT: MARKOV		

SHADOWS - 9AM WINTER SOLSTICE	
SCALE:	As indicated
SHEET SIZE:	A3
START DATE:	18.12.19
DWG No:	D4354

DRAWING REVISION + NOTES			
Date:	Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
18.05.21	REVETMENT WALL & STAIRS	R	MS
27.05.21	SHADOWS	S	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

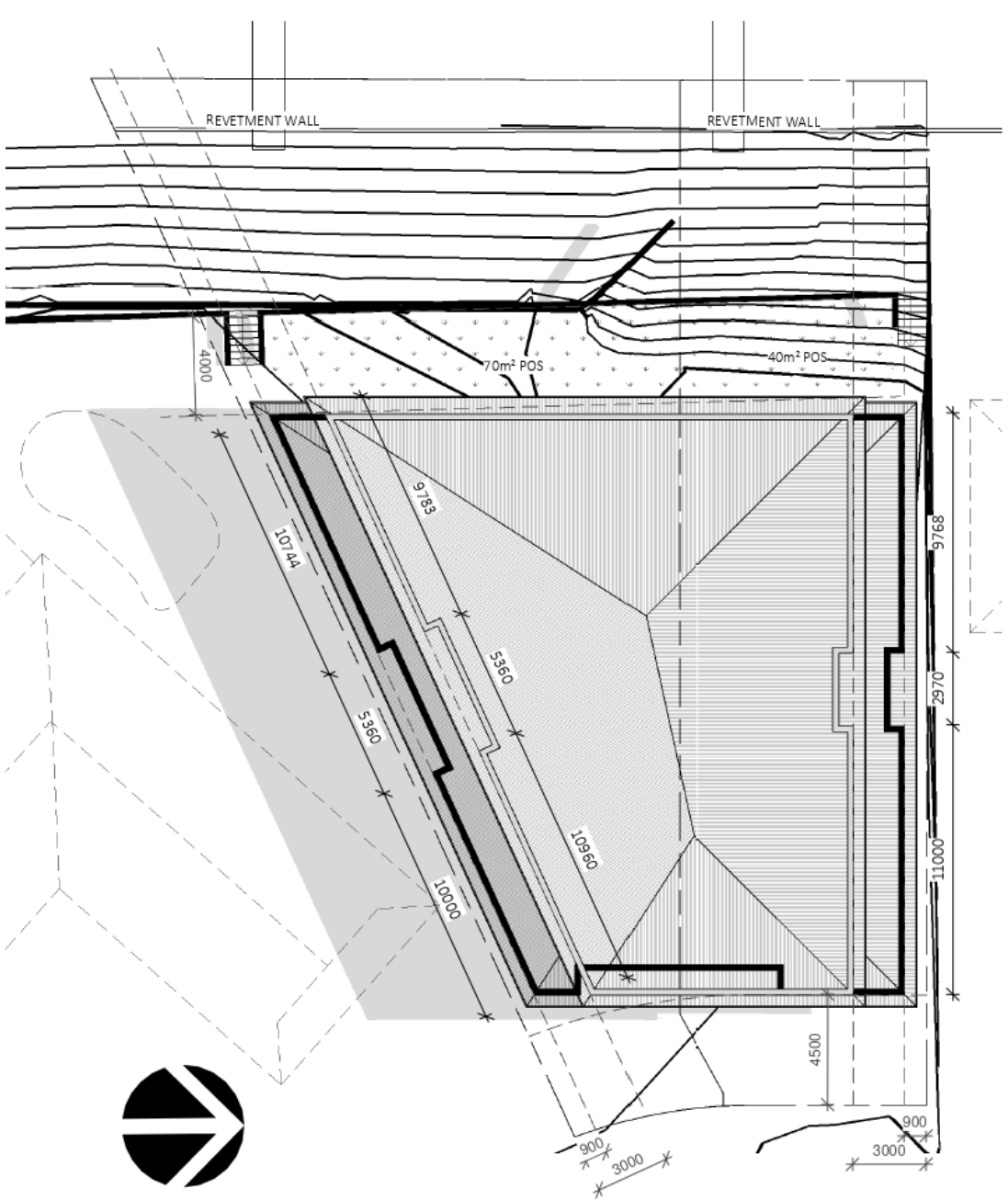
T: 02 6583 4411

F: 02 6583 9820

WWW. COLLINSWCOLLINS.COM.AU



PROPOSED
12PM - 21 JUNE
SCALE 1:250



DCP
12PM - 21 JUNE
SCALE 1:250

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

collinswcollins PTY LTD
Building Designers

89A lord street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

PROJECT: DUAL OCCUPANCY - TORRENS			SHADOWS - 12PM WINTER SOLSTICE		DRAWING REVISION + NOTES			
LOT No: 47	DP No: 246284	SHEET: 19 OF 22	SCALE:	As indicated	Date:	Description:	Issue:	Drawn:
STREET No: 29	STREET NAME: FRANCIS STREET, PORT MACQUARIE		SHEET SIZE:	A3	18.12.19	INITIAL ISSUE	A	DC
CLIENT: MARKOV			START DATE:	18.12.19	22.04.21	REVTMENT WALL & STAIRS ADDED	Q	MS
			DWG No:	D4354	18.05.21	REVTMENT WALL & STAIRS	R	MS
					27.05.21	SHADOWS	S	MS
					04.06.21	SURVEY	T	MS
					07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

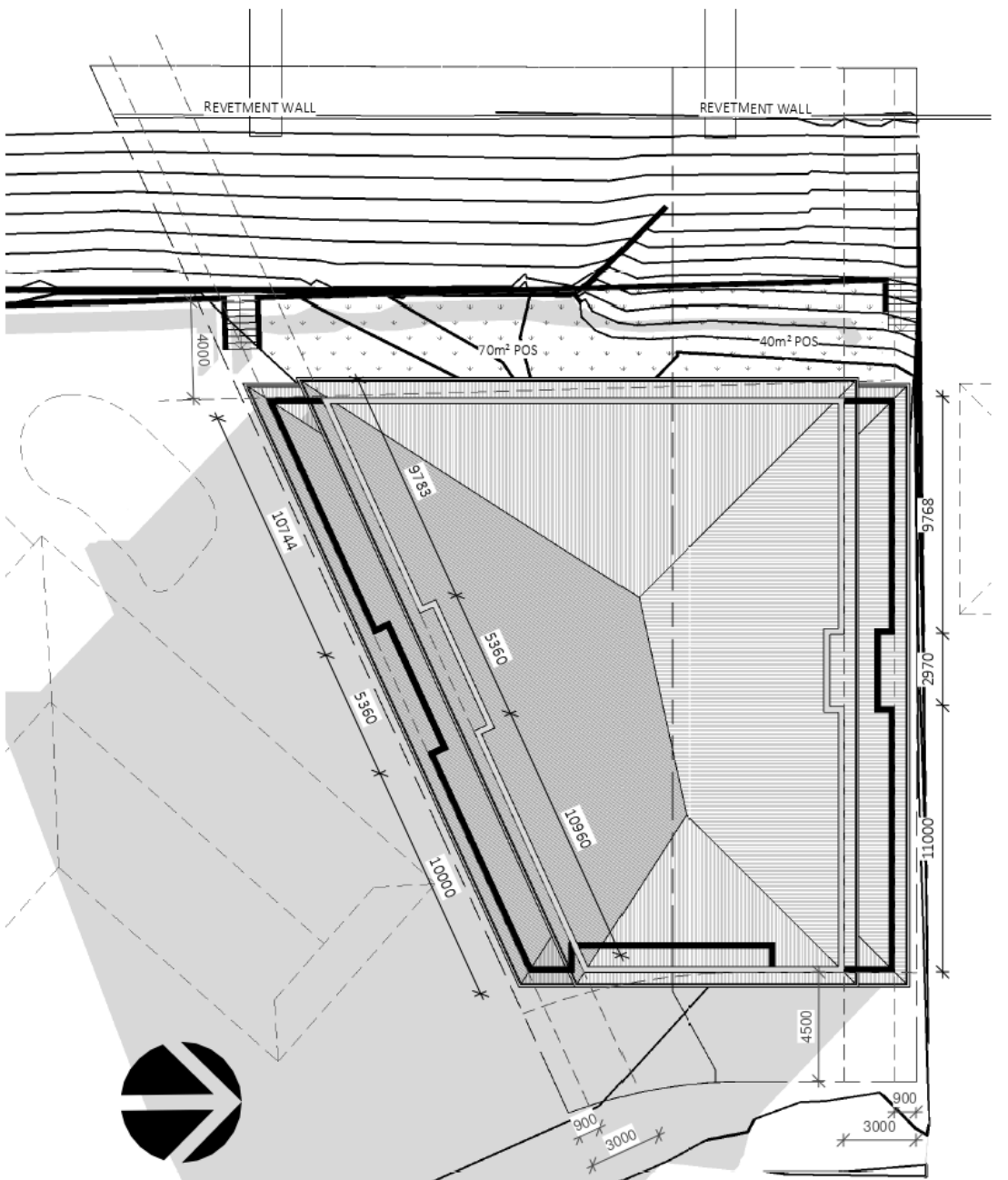
T: 02 6583 4411

F: 02 6583 9820

WWW. COLLINSWCOLLINS.COM.AU



PROPOSED
3PM - 21 JUNE
SCALE 1:250



DCP
3PM - 21 JUNE
SCALE 1:250

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, ENGINEERING & COUNCIL APPROVALS

collinswcollins PTY LTD
Building Designers

89A lord street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

PROJECT: DUAL OCCUPANCY - TORRENS		
LOT No: 47	DP No: 246284	SHEET: 20 OF 22
STREET No: 29		
STREET NAME: FRANCIS STREET, PORT MACQUARIE		
CLIENT: MARKOV		

SHADOWS - 3PM WINTER SOLSTICE	
SCALE:	As indicated
SHEET SIZE:	A3
START DATE:	18.12.19
DWG No:	D4354

DRAWING REVISION + NOTES			
Date:	Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
22.04.21	REVETMENT WALL & STAIRS ADDED	Q	MS
18.05.21	REVETMENT WALL & STAIRS	R	MS
27.05.21	SHADOWS	S	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

T: 02 6583 4411

F: 02 6583 9820

WWW.COLLINSWCOLLINS.COM.AU

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to):
OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

REVISED DECEMBER 2019

BUILDING SPECIFICATIONS FOR CLASS 1 AND 10 BUILDINGS
All works to be completed in accordance with the current version of the National Construction Code Series, including Building Code of Australia (BCA), Volume 2 and the Plumbing Code of Australia (PCA), Volume 3 as applicable.
All Australian Standards listed are the versions that have been adopted by the relevant version of the National Construction Code Series at the time of Construction Certificate or Complying Development Certificate Application.

STRUCTURAL PROVISIONS
Structural Design Manuals – is satisfied by complying with:
a) 3.0.3, 3.0.4, 3.0.5 of the BCA; or
b) the relevant provisions of other Parts of Section 3 of the Housing Provisions of the BCA relating to structural elements; or
c) any combination thereof.
3.0.5 - Structural Software – Must comply with the Australian Building Codes Board (ABCB) Protocol for Structural Software and Part 3.4.0.2 of the BCA.

SITE PREPARATION
Earthworks - Earthworks are to be undertaken in accordance with Part 3.1.1 of the BCA.
Earth Retaining structures (ie. retaining walls & batter) to be in accordance with AS4678.
Drainage – Stormwater drainage is to be undertaken in accordance with AS/NZS 3500.3, or, the Acceptable Construction Practice as detailed in Part 3.1.3 of the BCA.
Termite Risk Management – Where a primary building element is considered susceptible to termite attack the building shall be protected in accordance with the following:
a) AS 3600.1, and
b) A durable notice is permanently fixed to the building in a prominent location, such as in a meter box or the like, including the details listed in Part 3.1.4.4 of the BCA.
c) The Acceptable Construction Practice as detailed in accordance with Part 3.1.4 of the BCA.

FOOTINGS AND SLABS
The footing or slab is to be constructed in accordance with AS 2870, except that for the purposes of Clause 5.3.3.1 of AS 2870, a damp-proofing membrane is required to be provided, or, the Acceptable Construction Practice detailed in Part 3.2 of the BCA
Piled footings are to be designed in accordance with AS 2159.

MASONRY
Unreinforced Masonry – to be designed and constructed in accordance with;

a) AS 3700; or
b) AS 4773 Parts 1 and 2
Reinforced Masonry – to be designed and constructed in accordance with;
a) AS 3700; or
b) AS 4773 parts 1 and 2

Masonry Accessories – to be constructed and installed in accordance with;

a) AS 3700; or
b) AS 4773 Parts 1 and 2
Weatherproofing of Masonry
This Part applies to an external wall (including the junction between the wall and any window or door) of a Class 1 Building.
This Part does not apply to any Class 10 building except where its construction contributes to the weatherproofing of the Class 1 building.
The weatherproofing of masonry is to be carried out in accordance with;
a) AS 3700; except as provided for by Part 3.3.2.0 (a), or
b) AS 4773 Part 2 1 and 2

FRAMING
Sub-Floor Ventilation – Is to comply with the Acceptable Construction Practice of Part 3.4.1 of the BCA.
Steel Framing – is to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.4.2 of the BCA, or, one of the following manuals:
a) Steel structures: AS 4100.
b) Cold-formed steel structures: AS/NZS4600.
c) Residential and low-rise steel framing: NASH Standard.
Timber Framing – is to be designed and constructed in accordance with the following, as appropriate:
a) AS 1684.2.
b) AS 1684.4.
Structural Steel Members – is to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.4.4 of the BCA, or, one of the following manuals:
a) Steel Structures: AS 4100.
b) Cold-formed steel structures: AS/NZS 4600.

ROOF AND WALL CLADDING
Roof Cladding – is to comply with the Acceptable Construction Practice of Part 3.5.1 of the BCA, or, one of the following:
a) Roofing tiles: Part 3.5.1 BCA - AS2050.
b) Metal Roof Cladding: Part 3.5.1 BCA - AS1562.1.
c) Plastic sheet roofing: AS/NZS 4256 Parts 1, 2, 3 and 5; and AS/NZS 1562.3.
Gutters and Downpipes – are to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.5.3 of the BCA, or, AS/NZS 3500.3 – Stormwater drainage.
Timber & Composite Wall Cladding – to be designed and constructed in accordance with Acceptable Construction Practice of Part 3.5.4 of the BCA.
Autoclaved Aerated Concrete to AS5146.1
Metal wall cladding to be designed and constructed in accordance with AS 1562.1.

GLAZING
Glazing – to be designed and constructed in accordance with the Acceptable Construction Practice of Part 3.6.1 of the BCA, or, one of the following manuals as applicable under Part 3.6.0 BCA
a) AS 2047.
b) AS 1288.

FIRE SAFETY
Fire Hazard properties of materials to comply with Part 3.7.1 of the BCA.
Fire Separation of external walls to comply with Part 3.7.2 of the BCA.
Fire Separation of separating walls & floors to comply with Part 3.7.3 of the BCA.
Fire Separation of garage top dwelling to comply with Part NSW 1.1 of the BCA.
Smoke Alarms & Evacuation lighting to comply Part 3.7.5 of the BCA.

BUSHFIRE AREAS
Bushfire Areas – This section relates to:
a) A Class 1 building; or
b) A Class 10a building or deck associated with a Class 1 building,
If it is constructed in accordance with the following:
c) AS 3959, except as amended by planning for bushfire protection and, except for Section 9 Construction for Bushfire Attack Level FZ (BAL-FZ). Buildings subject to BAL-FZ must comply with specific conditions of development consent for construction at this level; or
d) The requirements of (c) above as modified by the development consent following consultation with the NSW Rural Fire Service under section 79BA of the Environmental Planning and Assessment Act 1979; or
e) The requirements of (c) above as modified by the development consent with a bushfire safety authority issued under section 100B of the Rural Fire Act for the purposes of integrated development.

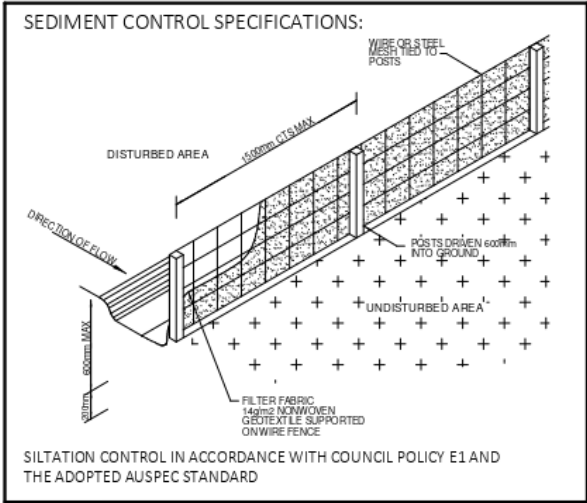
Alpine Areas – to be constructed in accordance with the Acceptable Construction Practice of Part 3.10.4 of the BCA if located in an alpine area.

HEALTH AND AMENITY
Wet Areas and External Waterproofing – building elements in wet areas within a building must:
a) Be waterproof or water resistant in accordance with Table 3.8.1.1 of the BCA; and
b) Comply with AS 3740.
c) External areas to comply with AS4654.1 & AS4654.2
Room Heights – are to be constructed in accordance with the Acceptable Construction Practice of Part 3.8.2 of the BCA.
Facilities – are to be constructed in accordance with Acceptable Practice of Part 3.8.3 of the BCA.
Light – is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.4 of the BCA.
Ventilation – is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.5 of the BCA.
Sound Insulation – (only applies to a separating wall between two or more class 1 buildings) is to be provided in accordance with the Acceptable Construction Practice of Part 3.8.6 of the BCA.
Condensation Management to be provided in accordance with ACP Part 3.8.7 BCA.


SAFE MOVEMENT AND ACCESS
Stair Construction – to be constructed and installed in accordance with the Acceptable Construction Practice of Part 3.9.1 of the BCA.
Barriers and Handrails – to be constructed and installed in accordance with the Acceptable Construction Practice of Part 3.9.2 of the BCA.
Protection of openable windows to Part 3.9.2 of the BCA.

ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS
3.10.1- Swimming Pools
Swimming Pool Access – to be designed and installed in accordance with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and AS 1926 Parts 1 and 2.
Swimming Pool Water recirculation Systems – is to be designed and constructed in accordance with AS1926.3.
High Wind Areas – Applies to a region that is subject to design wind speeds more than N3 or C1 (see table 1.1.1 of the BCA). To be constructed in accordance with one or more of the relevant manuals of Part 3.10.1 of the BCA
3.10.2 - Earthquake Areas subject to "seismic activity" to be constructed in accordance with Part 3.0 BCA.
3.10.3 - Flood Hazard Areas – applies to areas on a site (weather or not mapped) encompassing the land lower than the flood hazard level (as defined by the BCA) which has been determined by the appropriate authority (statutory authority), are to be constructed in accordance with the ABCB Standard for Construction of Buildings in Flood Hazard Areas.
3.10.4 - Construction "Alpine Areas" in accordance with Part 3.10.4.
3.10.5 - Construction in Bushfire Prone Areas in accordance with Part 3.10.5.
3.10.6 - Attachment of Decks & Balconies to external walls of buildings to be in accordance with the acceptable construction practice of Part 3.10.6 of the BCA, or alternatively be engineer designed in accordance with Part 3.0 of the BCA.
3.10.7 - Boilers, Pressure Vessels, Heating Appliances, Fire Places, Chimneys & Flues to be in accordance with Part 3.10.7 of the BCA.

ENERGY EFFICIENCY
Energy Efficiency – to comply with the measures contained in the relevant BASIX certificate, and the requirements of NSW parts 3.12.1, 3.12.3 & 3.12.5 of the BCA.



SEDIMENT CONTROL NOT TO SCALE
FENCING DETAILS



collinswcollins

Building Designers

PTY LTD

PROJECT:DUAL OCCUPANCY - TORRENS

LOT No: 47DP No: 246284

STREET No: 29

STREET NAME: FRANCIS STREET, PORT MACQUARIE

SHEET: 21 OF 22

CLIENT: MARKOV

BUILDING SPECIFICATIONS

SCALE:As indicated

SHEET SIZE:A3

START DATE:18.12.19

DWG No:D4354

DRAWING REVISION + NOTES

Date:	Revision Description:	Issue:	Drawn:
18.12.19	INITIAL ISSUE	A	DC
10.08.20	CC PLANS	C	MS
04.06.21	SURVEY	T	MS
07.06.21	FFL UPDATED TO FLOOD LEVEL	U	MS

T: 02 6583 4411

F: 02 6583 9820

89A lord street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

WWW.COLLINSWCOLLINS.COM.AU


THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to):
OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

1. FALLS, SLIPS, TRIPS
A) WORKING AT HEIGHTS
DURING CONSTRUCTION
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.
DURING OPERATION OR MAINTENANCE
For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.
B) SLIPPERY OR UNEVEN SURFACES
FLOOR FINISHES Specified
If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.
FLOOR FINISHES By Owner
If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.
STEPS, LOOSE OBJECTS AND UNEVEN SURFACES
Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.
2. FALLING OBJECTS
LOOSE MATERIALS OR SMALL OBJECTS
Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.
1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).
BUILDING COMPONENTS
During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.
Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.
3. TRAFFIC MANAGEMENT
For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.
4. SERVICES
GENERAL
Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.
5. MANUAL TASKS
Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.
6. HAZARDOUS SUBSTANCES
ASBESTOS
For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: asbestos 1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.
POWDERED MATERIALS
Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.
TREATED TIMBER
The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.
VOLATILE ORGANIC COMPOUNDS
Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and, for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.
SYNTHETIC MINERAL FIBRE
Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.
TIMBER FLOORS
This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.
7. CONFINED SPACES
EXCAVATION
Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.
ENCLOSED SPACES
For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.
SMALL SPACES
For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.
8. PUBLIC ACCESS
Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.
9. OPERATIONAL USE OF BUILDING
RESIDENTIAL BUILDINGS
This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.
10. OTHER HIGH RISK ACTIVITY
Code All electrical work should be carried out in accordance with of Practice: Managing Electrical Risks at the Workplace, AS/NZ and all licensing requirements. 3012 All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. Code of All work should be carried out in accordance with Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.
EXCAVATIONS
1. Excavations
The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan.

Top soil shall be cut to a depth sufficient to remove all vegetation. Excavations for all footings shall be in accordance with the Engineer's Recommendations or the BCA requirements.
FOUNDATIONS AND FOOTINGS
1. Underfloor Fill
Underfloor fill shall be in accordance with the BCA.
2. Termite Risk Management
Termite treatment shall be carried out in accordance with the BCA.
3. Vapour Barrier
The vapour barrier installed under slab-on-ground construction shall be 0.2mm nominal thickness, high impact resistance polyethylene film installed in accordance with the BCA.
4. Reinforcement
Reinforcement shall conform and be placed in accordance with the Engineer's Recommendation and the BCA. Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.
5. Concrete
Structural shall not be less than Grade N20 except otherwise approved by the engineer and in accordance with the BCA.
6. Curing
All concrete slabs shall be cured in accordance with AS 3600.
7. Footings and Slabs on Ground
Concrete slabs and footings shall not be poured until approval to pour concrete is given by the engineer or the Local Authority.
8. Sub-Floor Ventilation
Where required, adequate cross ventilation will be provided to the space under suspended ground floor. Construction is to meet the requirements of the BCA. No section of the under floor area wall to be constructed in such manner that will hold pockets of still air.
9. Sub-Floor Access
If required, access will be provided under suspended floors in position where indicated on plan.
EFFLUENT DISPOSAL/DRAINAGE
1. Storm Water Drainage
Stormwater drainage shall be carried out in accordance with the BCA. The Builder will allow for the supplying and laying of stormwater drains where shown on the site plan.
TIMBER FRAMING
1. Generally
All timber framework sizes, spans, spacing, notching, checking and fixing to all floor, wall and roof structure shall comply with the BCA or AS 1684. Alternative structural framing shall be to structural engineer's details and certification. The work shall be carried out in a proper and trades person like manner and shall be in accordance with recognised and accepted building practices.
2. Roof Trusses
Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.
3. Bracing
Bracing units shall be determined and installed in accordance with AS 1684 as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building.
4. Flooring
Floor joists will be covered with strip or sheet flooring as shown on plan with particular regard to ground clearance and installation in wet areas as required by the BCA. Thickness of the flooring is to be appropriate for the floor joist spacing. Strip and sheet flooring shall be installed in accordance with AS 1684.
When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.
5. Timber Posts
Posts supporting the carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes, unless otherwise specified. Posts shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the site.
6. Corrosion Protection
All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.
STEEL FRAMING
1. Generally
Steel floor, wall or roof framing shall be installed in accordance with the manufacturer's recommendations and the BCA.
ROOFING
All roof cladding is to comply with the relevant structural performance and weathering requirements of the BCA and be installed as per the manufacturer's recommendations.
1. Tiled Roofing
The Builder will cover the roof of the dwelling with approved tiles as selected. The tiles are to be fixed (as required for appropriate design and wind speed) to battens of sixes appropriate to the spacing of rafters/trusses in accordance with the manufacturer's recommendations. The Builder will cover hips and ridges with capping and all necessary accessories including starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so as to minimise water penetration as far as practicable. As roof tiles are made of natural products slight variation in colour is acceptable.
2. Metal Roofing
The Builder will provide and install a metal roof together with accessories all in accordance with the manufacturer's recommendations. Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing sheets shall be strictly in accordance with the manufacturer's recommendation as required for the appropriate design and wind speed. Incompatible materials shall not be used for flashings, fasteners or downpipes.
3. Gutters and Downpipes
Gutters and downpipes shall be manufactured and installed in accordance with the BCA. Gutters and downpipes are to be compatible with other materials used.
4. Sarking
Sarking under roof coverings must comply with and be fixed in accordance with manufacturer's recommendations.
5. Sealants
Appropriate sealants shall be used where necessary and in accordance with manufacturer's recommendations.
6. Flashing
Flashings shall comply with, and be installed in accordance with the BCA.

MASONRY
1. Damp Proof Courses
All damp proof courses shall comply with the BCA and Clause 1.0.10. The damp proof membrane shall be visible in the external face of the masonry member in which it is placed and shall not be bridged by any applied coatings, render or the like.
2. Cavity Ventilation
Open vertical joints (weepholes) must be created in the course immediately above any DPC or flashing at centres not exceeding 1.2m and must be in accordance with the BCA.
3. Mortar and Joining
Mortar shall comply with the BCA. Joint tolerances shall be in accordance with AS 3700.
4. Lintels
Lintels used to support brickwork opening in walls must be suitable for the purpose as required by the BCA. The Builder will provide one lintel to each wall leaf. The Builder will provide corrosion protection in accordance with the BCA Part 3.4.4 as appropriate for the site environment and location of the lintels in the structure.
5. Cleaning
The Builder will clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.
CLADDING AND LININGS
1. External Cladding
Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details. Where required in open verandas, porches and eave soffits, materials indicated on the plans shall be installed.
2. Internal Wall and Ceilings Linings
The Builder will provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets are to have recessed edges and will be a minimum of 10mm thick. Internal angles in walls from floor to ceiling are to be set. Suitable cornice moulds shall be fixed at the junction of all walls and ceilings or the joint set as required. The lining of wet area and walls shall be constructed in accordance with the BCA. Wet area lining is to be fixed in accordance with the manufacturer's recommendations. The ceiling access hole shall be of similar material to the adjacent ceiling.
3. Waterproofing
All internal wet area and balconies over internal habitable rooms are to be waterproof in accordance with the BCA.
JOINERY
1. General
All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.
2. Door Frames
External door frames shall be a minimum of 32mm thick solid rebated 12mm deep to receive doors. Internal jamb linings shall be a minimum of 18mm thick fit with 12mm thick door stops. Metal doorframes shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.
3. Doors and Doorsets
All internal and external timber door and door sets shall be installed in accordance with accepted building practices. Unless listed otherwise in the Schedule of Works, doors and door sets shall be manufactured in accordance with AS 2688 and AS 2689.
4. Window and Sliding Doors
Sliding and other timber windows and doors shall be manufactured and installed in accordance with AS 2047. Sliding and other aluminium windows and the doors shall be installed in accordance with manufacturer's recommendations and AS 2047. All glazing shall comply with the BCA and any commitments outlined in the relevant BASIX Certificate.
5. Stairs, Balustrades and other Barriers
The Builder will provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per the BCA.
SERVICES
1. Plumbing
All plumbing shall comply with the requirements of the relevant supply authority and AS 3500. The work is to be carried out by a licensed plumber. Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's recommendations. Fittings, hot water system and any rainwater harvesting facilities shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate.
2. Electrical
The Builder will provide all labour and materials necessary for the proper installation of the electricity service by a licensed electrician in accordance with AS/NZS 3000 and the requirements of the relevant supply authority. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.
3. Gas
All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority.
4. Smoke Detectors
The Builder will provide and install smoke alarms manufactured in accordance with AS 3786 AS specified or as indicated on the plans and in accordance with the BCA.
5. Thermal Insulation
Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the BCA or as outlined in the relevant BASIX Certificate.
TILING
1. Materials
Cement mortar and other adhesives shall comply with AS 3958.1 or tile manufacturer's recommendation.
2. Installation
Installation of tiles shall be in accordance with AS 3958.1, manufacturer's recommendations or accepted building practices. Where practicable, spacing between tiles should be even and regular. The Builder will provide expansion joints where necessary. All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions to be filled with flexible mould resistant sealant. All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice. As tiles are made of natural products a slight variation in colour is acceptable.

 PTY LTD Building Designers	PROJECT: DUAL OCCUPANCY - TORRENS			WORK SAFETY NOTES		DRAWING REVISION + NOTES					
	LOT No: 47 DP No: 246284		SHEET: 22 OF 22			Date:	Revision Description:		Issue:	Drawn:	
	STREET No: 29			SCALE:	1 : 100		18.12.19	INITIAL ISSUE		A	DC
	STREET NAME: FRANCIS STREET, PORT MACQUARIE			SHEET SIZE:	A3		15.09.20	D1 UPPER PUSHED BACK		E	MS
	CLIENT: MARKOV			START DATE:	18.12.19		04.06.21	SURVEY		T	MS
				DWG No:	D4354		07.06.21	FFL UPDATED TO FLOOD LEVEL		U	MS
89A lord street (PO Box 5667), Port Macquarie nsw 2444 Shop 17 Centrepont Arcade, Taree NSW 2430					T: 02 6583 4411		F: 02 6583 9820		WWW. COLLINSWCOLLINS.COM.AU		

Developer Charges - Estimate

Applicants Name: Collins W Collins
 Property Address: 29 Francis Street, Port Macquarie
 Lot & Dp: Lot(s):47,DP(s):246284
 Development: DA 2020/1100 - Dual occupancy and Torrens Title subdivision



Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000.
 Other contributions are levied under Section 7.11 of the Environmental Planning and Assessment Act and Council's Contribution Plans.

Levy Area	Units	Cost	Estimate
1 Water Supply	0.8	\$10,419.00 Per ET	\$8,335.20
2 Sewerage Scheme Port Macquarie	1	\$3,953.00 Per ET	\$3,953.00
3 Since 1.7.04 - Major Roads - Port Macquarie - Per ET	1	\$7,810.00 Per ET	\$7,810.00
4 Since 31.7.18 - Open Space - Port Macquarie - Per ET	1	\$5,754.00 Per ET	\$5,754.00
5 Commenced 3 April 2006 - Com, Cul and Em Services CP - Port Macquarie	1	\$4,725.00 Per ET	\$4,725.00
6 Com 1.3.07 - Administration Building - All areas	1	\$930.00 Per ET	\$930.00
7 N/A			
8 N/A			
9 N/A			
10 N/A			
11 N/A			
12 N/A			
13 N/A			
14 N/A			
15 Admin General Levy - Applicable to Consents approved after 11/2/03	2.2% S94 Contribution		\$422.80
16			
17			
18			
Total Amount of Estimate (Not for Payment Purposes)			\$31,930.00

NOTES: These contribution rates apply to new development and should be used as a guide only.
 Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA).
 DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement.
 Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

8-Jun-2021

Estimate Prepared By Ben Roberts

This is an ESTIMATE ONLY - NOT for Payment Purposes

ins W Collins, 29 Francis Street, Port Macquarie, 8-Jun-2021.xls

PORT MACQUARIE-HASTINGS COUNCIL