

Development Assessment Panel

Business Paper

date of meeting: Wednesday 20 July 2022

location: Function Room and via Teams
Port Macquarie-Hastings Council
17 Burrawan Street
Port Macquarie

time: 2:00pm

Development Assessment Panel

CHARTER

1.0 OBJECTIVES

To assist in managing Council's development assessment function by providing independent, transparent and expert determinations of development applications that fall outside of staff delegations.

2.0 KEY FUNCTIONS

- To review development application reports and conditions. The focus of the Panel's review is to be on those issues raised in submissions received following exhibition of development applications;
- To determine development applications where there are 3 or more unique submissions or where an application is outside of staff delegations;
- To refer development applications to Council for determination where necessary;
- To provide a forum for objectors and applicants to make submissions on applications before the Development Assessment Panel (DAP);
- To maintain transparency in the determination of development applications.

Delegated Authority of Panel

Pursuant to Section 377 of the Local Government Act, 1993 delegation to:

- Determine development applications under Part 4 of the Environmental Planning and Assessment Act 1979 having regard to the relevant environmental planning instruments, development control plans and Council policies.
- Vary, modify or release restrictions as to use and/or covenants created by Section 88B instruments under the Conveyancing Act 1919 in relation to development applications for subdivisions being considered by the panel.
- Determine Koala Plans of Management under State Environmental Planning Policy 44 - Koala Habitat Protection associated with development applications being considered by the Panel.

Noting the trigger to escalate decision making to Council as highlighted in section 5.2.

3.0 MEMBERSHIP

3.1 Voting Members

- Three (3) independent external members will be selected for each scheduled DAP meeting from an appointed pool of members. One of the independent external members to be the Chairperson. Independent members will be rostered onto meeting on a rotational basis where possible.
- Group Manager Development Assessment (alternate - Director Development and Environment or Development Assessment Planning Coordinator).

The independent external members shall have expertise in one or more of the following areas:

planning, architecture, heritage, the environment, urban design, economics, traffic and transport, law, engineering, government and public administration.

3.2 Non-Voting Members

Not applicable.

3.3 Obligations of members

- Members must act faithfully and diligently and in accordance with this Charter.
- Members must comply with Council's Code of Conduct.
- Except as required to properly perform their duties, DAP members must not disclose any confidential information (as advised by Council) obtained in connection with the DAP functions.
- Members will have read and be familiar with the documents and information provided by Council prior to attending a DAP meeting.
- Members must act in accordance with Council's Workplace Health and Safety Policies and Procedures.
- External members of the Panel are not authorised to speak to the media on behalf of Council. Council officers that are members of the Committee are bound by the existing operational delegations in relation to speaking to the media.

3.4 Member Tenure

The independent external members will be appointed for the term of Four (4) years or until such time as an expression of interest process to source Panel members is completed for the proceeding four (4) year term.

3.5 Appointment of members

- A pool of independent external members (including the Chair) shall be appointed by the Chief Executive Officer following an external Expression of Interest process. Previous Panel members are eligible to be reappointed on the Panel following this expression of interest process.
- Independent members will be rostered on to Panel meetings on a rotational basis where possible to suit Panel member availability and Panel operational needs.
- Staff members on the Panel shall be appointed by the Chief Executive Officer.

4.0 TIMETABLE OF MEETINGS

- The Development Assessment Panel will generally meet on the 1st and 3rd Thursday each month at 2.00pm at the Port Macquarie offices of Council.
- Special Meetings of the Panel may be convened by the Director Development and Environment with three (3) days' notice.

5.0 MEETING PRACTICES

5.1 Meeting Format

- At all meetings of the Panel the Chairperson shall occupy the Chair and preside. The Chair will be responsible for keeping of order at meetings.
- Meetings shall be open to the public.
- The Panel will hear from an applicant and objectors or their representatives. Speakers are required to register to speak by close of business on the day prior to the Panel meeting.
- The Panel shall have the discretion to ask the applicant and objectors questions relating to the proposal and their submission. There is no 'right of reply' for an objector or applicant.
- Where there are a large number of persons making submissions with common interests, the Panel shall have the discretion to hear a representative of those persons rather than multiple persons with the same interest.
- Council assessment staff will be available at Panel meetings to provide technical assessment advice and assistance to the Panel.
- Where considered necessary, the Panel will conduct site inspections prior to the meeting.

5.2 Decision Making

- Decisions are to be made by consensus. Where consensus is not possible on any item, that item is to be referred to Council for a decision.
- All development applications involving a proposed variation to a development standard greater than 10% under Clause 4.6 of the Local Environmental Plan will be considered by the Panel and recommendation made to the Council for a decision.

5.3 Quorum

Three (3) members must be present at a meeting to form a quorum.

5.4 Chairperson and Deputy Chairperson

Independent Chair (alternate - independent member).

5.5 Secretariat

- The Director Development and Environment is to be responsible for ensuring that the Panel has adequate secretariat support. The secretariat will ensure that the

business paper and supporting papers are circulated at least three (3) days prior to each meeting. Minutes shall be appropriately approved and circulated to each member within three (3) weeks of a meeting being held.

- The format of and the preparation and publishing of the Business Paper and Minutes shall be similar to the format for Ordinary Council Meetings.

5.6 Recording of decisions

Minutes will be limited to the recording of decisions only and how each member votes for each item before the Panel.

6.0 CONVENING OF “OUTCOME SPECIFIC” WORKING GROUPS

Not applicable.

7.0 CONFIDENTIALITY AND CONFLICT OF INTEREST

- Members of the Panel must comply with the applicable provisions of Council’s Code of Conduct. It is the personal responsibility of members to comply with the standards in the Code of Conduct and regularly review their personal circumstances with this in mind.
- Panel members must declare any conflict of interest at the start of each meeting or before discussion of a relevant item or topic. Details of any conflicts of interest are to be appropriately minuted. Where members are deemed to have a real or perceived conflict of interest, it may be appropriate they be excused from deliberations on the issue where the conflict of interest may exist. A Panel meeting may be postponed where there is no quorum.

8.0 LOBBYING

All members and applicants are to adhere to Council’s Lobbying policy. Outside of scheduled Development Assessment Panel meetings, applicants, their representatives, Councillors, Council staff and the general public are not to lobby Panel members via meetings, telephone conversations, correspondence and the like. Adequate opportunity will be provided at Panel inspections or meetings for applicants, their representatives and the general public to make verbal submissions in relation to Business Paper items.

9.0 CONDUCT AT MEETINGS

All parties in attendance at a DAP meeting shall conduct themselves respectfully ie. not disrupt the conduct of the meeting, not interject, act courteously and with compassion and

empathy and sensitivity and will not insult, denigrate or make defamatory or personal reflections on or impute improper motives to the DAP, Council staff or other members of the public.

Development Assessment Panel

ATTENDANCE REGISTER

Member	18/11/21	16/12/21	3/2/22	17/2/22	20/4/22	4/5/22
David Crofts	X	X	X	X	X	X
Michael Mason	X	X	X	X		
Chris Gee	X		X		X	
Tony McNamara		X		X	X	X
Dan Croft (Group Manager Development Services)	X	X	X	X	X	X
Grant Burge (Development Engineering Coordinator)	X	X	X	X	X	
Patrick Galbraith-Robertson (Development Planning Coordinator)	X	X	X	X	X	X

Key: ✓ = Present

A = Absent With Apology

X = Absent Without Apology

Meeting Dates for 2022

20/01/2022	Function Room	2.00pm
3/02/2022	Function Room	2.00pm
17/02/2022	Function Room	2.00pm
2/03/2022	Function Room	2.00pm
16/03/2022	Function Room	2.00pm
6/04/2022	Function Room	2.00pm
20/04/2022	Function Room	2.00pm
4/05/2022	Function Room	2.00pm
18/05/2022	Function Room	2.00pm
1/06/2022	Function Room	2.00pm
15/06/2022	Function Room	2.00pm
6/07/2022	Function Room	2.00pm
20/07/2022	Function Room	2.00pm
3/08/2022	Function Room	2.00pm
17/08/2022	Function Room	2.00pm
7/09/2022	Function Room	2.00pm
21/09/2022	Function Room	2.00pm
5/10/2022	Function Room	2.00pm
19/10/2022	Function Room	2.00pm
2/11/2022	Function Room	2.00pm
16/11/2022	Function Room	2.00pm
7/12/2022	Function Room	2.00pm

Development Assessment Panel Meeting

Wednesday 20 July 2022

Items of Business

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Item: 01**Subject: ACKNOWLEDGEMENT OF COUNTRY**

"I acknowledge that we are gathered on Birpai Land. I pay respect to the Birpai Elders both past and present. I also extend that respect to all other Aboriginal and Torres Strait Islander people present."

Item: 02**Subject: APOLOGIES**

RECOMMENDATION

That the apologies received be accepted.

Item: 03**Subject: CONFIRMATION OF PREVIOUS MINUTES**

RECOMMENDATION

That the Minutes of the Development Assessment Panel Meeting held on 6 July 2022 be confirmed.

PRESENT

Members:

David Crofts (Independent Chair)
Chris Gee (Independent Member)
Michael Mason (Independent Member)
Tony McNamara (Independent Member)
Dan Croft (Group Manager Development Services)

Other Attendees

Pat Galbraith-Robertson (Development Assessment Planning Coordinator)
Grant Burge (Development Engineering Coordinator)
Beau Spry (Development Assessment Planner)
Chris Gardiner (Development Assessment Planner)
Vanessa Penfold (Development Assessment Planner)

The meeting opened at 2:00pm.

01 ACKNOWLEDGEMENT OF COUNTRY

The Acknowledgement of Country was delivered.

02 APOLOGIES

NIL

03 CONFIRMATION OF MINUTES

RECOMMENDATION

That the Minutes of the Development Assessment Panel Meeting held on 1 June 2022 be confirmed.

04 DISCLOSURES OF INTEREST

There were no disclosures of interest presented.

05 BUSINESS ARISING FROM PREVIOUS MINUTES

NIL

05 DA2022 - 304.1 ALTERATIONS AND ADDITIONS TO DWELLING AT LOT 46 DP 807508, NO 19 THE FAIRWAY, PORT MACQUARIE

Speakers:

Dean Schneider (applicant)

Peter Mitchell (applicant)

Kristin Mitchell (applicant)

RESOLUTION:

That DA2022 - 304.1 for alterations and additions to dwelling at Lot 46, DP 807508, No. 19 The Fairway, Port Macquarie, be determined by granting consent subject to the recommended conditions.

- Additional condition in Section B of the consent to read: 'Prior to the issue of a Construction Certificate amended plans shall be submitted for approval deleting the screen on the southern end of the first floor deck.'
- Additional condition in Section D of the consent to read: Stormwater discharge from the site during construction is to be managed so it does not enter and cause a nuisance to neighbouring properties.'

06 DA2022 - 294.1 MULTI DWELLING HOUSING AND STRATA SUBDIVISION RESULTING IN 2 SEMI-DETACHED DWELLINGS AND A DWELLING HOUSE AT LOT 183 DP 1063157, NO 30 ERICSON PLACE, PORT MACQUARIE

Speakers:

Trevor Lobb (opposing the application)

Kevin Owens (opposing the application)

Mark Handley (opposing the application)

Allan Leahy (opposing the application)
Bill Rosendahl (opposing the application)
John McNeil (applicant)

RESOLUTION:

That DA2022 - 294.1 for Multi Dwelling Housing and Strata Subdivision resulting in 2 Semi-detached dwellings and a dwelling house at Lot 183, DP 1063157, No. 30 Ericson Place, Port Macquarie, be determined by granting consent subject to the recommended conditions.

- Additional condition in Section B of the consent to read: 'Prior to release of the Construction Certificate, amended plans are to be submitted for approval providing for a relocation of the rainwater tanks for dwellings 2 and 3 so they are 'back to back' on the internal boundary and the living room windows are to be adjusted to suit.'
- Additional condition in Section B of the consent to read: 'Prior to release of the Construction Certificate, amended plans are to be submitted for approval providing for a more detailed landscaping plan for the development. The plan is to include improved landscaping on the western elevation of the dwelling 1 garage. The panting in this location is to achieve a dense screen with a minimum 2.4m height at maturity so as to screen the blank section of the garage wall.'

06 GENERAL BUSINESS

NIL

The meeting closed at 3.30pm

Item: 04
Subject: DISCLOSURES OF INTEREST

RECOMMENDATION

That Disclosures of Interest be presented

DISCLOSURE OF INTEREST DECLARATION

Name of Meeting:	
Meeting Date:	
Item Number:	
Subject:	
I, the undersigned, hereby declare the following interest:	
<input type="checkbox"/>	Pecuniary: Take no part in the consideration and voting and be out of sight of the meeting.
<input type="checkbox"/>	Non-Pecuniary – Significant Interest: Take no part in the consideration and voting and be out of sight of the meeting.
<input type="checkbox"/>	Non-Pecuniary – Less than Significant Interest: May participate in consideration and voting.
For the reason that:	
Name: Signed:	Date:
Please submit to the Governance Support Officer at the Council Meeting.	

(Refer to next page and the Code of Conduct)

Pecuniary Interest

- 4.1 A pecuniary interest is an interest that you have in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to you or a person referred to in clause 4.3.
- 4.2 You will not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision you might make in relation to the matter, or if the interest is of a kind specified in clause 4.6.
- 4.3 For the purposes of this Part, you will have a pecuniary interest in a matter if the pecuniary interest is:
- your interest, or
 - the interest of your spouse or de facto partner, your relative, or your partner or employer, or
 - a company or other body of which you, or your nominee, partner or employer, is a shareholder or member.
- 4.4 For the purposes of clause 4.3:
- Your "relative" is any of the following:
 - your parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - your spouse's or de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child
 - the spouse or de facto partner of a person referred to in paragraphs (i) and (ii)
 - "de facto partner" has the same meaning as defined in section 21C of the *Interpretation Act 1987*.
- 4.5 You will not have a pecuniary interest in relation to a person referred to in subclauses 4.3(b) or (c)
- if you are unaware of the relevant pecuniary interest of your spouse, de facto partner, relative, partner, employer or company or other body, or
 - just because the person is a member of, or is employed by, a council or a statutory body, or is employed by the Crown, or
 - just because the person is a member of, or a delegate of a council to, a company or other body that has a pecuniary interest in the matter, so long as the person has no beneficial interest in any shares of the company or body.

Non-Pecuniary

- 5.1 Non-pecuniary interests are private or personal interests a council official has that do not amount to a pecuniary interest as defined in clause 4.1 of this code. These commonly arise out of family or personal relationships, or out of involvement in sporting, social, religious or other cultural groups and associations, and may include an interest of a financial nature.
- 5.2 A non-pecuniary conflict of interest exists where a reasonable and informed person would perceive that you could be influenced by a private interest when carrying out your official functions in relation to a matter.
- 5.3 The personal or political views of a council official do not constitute a private interest for the purposes of clause 5.2.
- 5.4 Non-pecuniary conflicts of interest must be identified and appropriately managed to uphold community confidence in the probity of council decision-making. The onus is on you to identify any non-pecuniary conflict of interest you may have in matters that you deal with, to disclose the interest fully and in writing, and to take appropriate action to manage the conflict in accordance with this code.
- 5.5 When considering whether or not you have a non-pecuniary conflict of interest in a matter you are dealing with, it is always important to think about how others would view your situation.

Managing non-pecuniary conflicts of interest

- 5.6 Where you have a non-pecuniary conflict of interest in a matter for the purposes of clause 5.2, you must disclose the relevant private interest you have in relation to the matter fully and in writing as soon as practicable after becoming aware of the non-pecuniary conflict of interest and on each occasion on which the non-pecuniary conflict of interest arises in relation to the matter. In the case of members of council staff other than the Chief Executive Officer, such a disclosure is to be made to the staff member's manager. In the case of the Chief Executive Officer, such a disclosure is to be made to the mayor.
- 5.7 If a disclosure is made at a council or committee meeting, both the disclosure and the nature of the interest must be recorded in the minutes on each occasion on which the non-pecuniary conflict of interest arises. This disclosure constitutes disclosure in writing for the purposes of clause 5.6.
- 5.8 How you manage a non-pecuniary conflict of interest will depend on whether or not it is significant.
- 5.9 As a general rule, a non-pecuniary conflict of interest will be significant where it does not involve a pecuniary interest for the purposes of clause 4.1, but it involves:
- a relationship between a council official and another person who is affected by a decision or a matter under consideration that is particularly close, such as a current or former spouse or de facto partner, a relative for the purposes of clause 4.4 or another person from the council official's extended family that the council official has a close personal relationship with, or another person living in the same household
 - other relationships with persons who are affected by a decision or a matter under consideration that are particularly close, such as friendships and business relationships. Closeness is defined by the nature of the friendship or business relationship, the frequency of contact and the duration of the friendship or relationship.
 - an affiliation between the council official and an organisation (such as a sporting body, club, religious, cultural or charitable organisation, corporation or association) that is affected by a decision or a matter under consideration that is particularly strong. The strength of a council official's affiliation with an organisation is to be determined by the extent to which they actively participate in the management, administration or other activities of the organisation.
 - membership, as the council's representative, of the board or management committee of an organisation that is affected by a decision or a matter under consideration, in circumstances where the interests of the council and the organisation are potentially in conflict in relation to the particular matter
 - a financial interest (other than an interest of a type referred to in clause 4.6) that is not a pecuniary interest for the purposes of clause 4.1
 - the conferral or loss of a personal benefit other than one conferred or lost as a member of the community or a broader class of people affected by a decision.
- 5.10 Significant non-pecuniary conflicts of interest must be managed in one of two ways:
- by not participating in consideration of, or decision making in relation to, the matter in which you have the significant non-pecuniary conflict of interest and the matter being allocated to another person for consideration or determination, or
 - if the significant non-pecuniary conflict of interest arises in relation to a matter under consideration at a council or committee meeting, by managing the conflict of interest as if you had a pecuniary interest in the matter by complying with clauses 4.28 and 4.29.
- 5.11 If you determine that you have a non-pecuniary conflict of interest in a matter that is not significant and does not require further action, when disclosing the interest you must also explain in writing why you consider that the non-pecuniary conflict of interest is not significant and does not require further action in the circumstances.
- 5.12 If you are a member of staff of council other than the Chief Executive Officer, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of your manager. In the case of the Chief Executive Officer, the decision on which option should be taken to manage a non-pecuniary conflict of interest must be made in consultation with and at the direction of the mayor.
- 5.13 Despite clause 5.10(b), a councillor who has a significant non-pecuniary conflict of interest in a matter, may participate in a decision to delegate consideration of the matter in question to another body or person.
- 5.14 Council committee members are not required to declare and manage a non-pecuniary conflict of interest in accordance with the requirements of this Part where it arises from an interest they have as a person chosen to represent the community, or as a member of a non-profit organisation or other community or special interest group, if they have been appointed to represent the organisation or group on the council committee.

SPECIAL DISCLOSURE OF PECUNIARY INTEREST DECLARATION

*This form must be completed using block letters or typed.
If there is insufficient space for all the information you are required to disclose,
you must attach an appendix which is to be properly identified and signed by you.*

By <i>[insert full name of councillor]</i>	
In the matter of <i>[insert name of environmental planning instrument]</i>	
Which is to be considered at a meeting of the <i>[insert name of meeting]</i>	
Held on <i>[insert date of meeting]</i>	
PECUNIARY INTEREST	
Address of the affected principal place of residence of the councillor or an associated person, company or body (the <i>identified land</i>)	
Relationship of identified land to councillor <i>[Tick or cross one box.]</i>	<input type="checkbox"/> The councillor has interest in the land (e.g. is owner or has other interest arising out of a mortgage, lease, trust, option or contract, or otherwise). <input type="checkbox"/> An associated person of the councillor has an interest in the land. <input type="checkbox"/> An associated company or body of the councillor has interest in the land.
MATTER GIVING RISE TO PECUNIARY INTEREST¹	
Nature of land that is subject to a change in zone/planning control by proposed LEP (the <i>subject land</i>²) <i>[Tick or cross one box]</i>	<input type="checkbox"/> The identified land. <input type="checkbox"/> Land that adjoins or is adjacent to or is in proximity to the identified land.
Current zone/planning control <i>[Insert name of current planning instrument and identify relevant zone/planning control applying to the subject land]</i>	
Proposed change of zone/planning control <i>[Insert name of proposed LEP and identify proposed change of zone/planning control applying to the subject land]</i>	
Effect of proposed change of zone/planning control on councillor or associated person <i>[Tick or cross one box]</i>	<input type="checkbox"/> Appreciable financial gain. <input type="checkbox"/> Appreciable financial loss.

[If more than one pecuniary interest is to be declared, reprint the above box and fill in for each additional interest]

Councillor's Signature: **Date:**

This form is to be retained by the council's Chief Executive Officer and included in full in the minutes of the meeting

Last Updated: 3 June 2019



Important Information

This information is being collected for the purpose of making a special disclosure of pecuniary interests under clause 4.36(c) of the Model Code of Conduct for Local Councils in NSW (the Model Code of Conduct).

The special disclosure must relate only to a pecuniary interest that a councillor has in the councillor's principal place of residence, or an interest another person (whose interests are relevant under clause 4.3 of the Model Code of Conduct) has in that person's principal place of residence.

Clause 4.3 of the Model Code of Conduct states that you will have a pecuniary interest in a matter because of the pecuniary interest of your spouse or your de facto partner or your relative or because your business partner or employer has a pecuniary interest. You will also have a pecuniary interest in a matter because you, your nominee, your business partner or your employer is a member of a company or other body that has a pecuniary interest in the matter.

"Relative" is defined by clause 4.4 of the Model Code of Conduct as meaning your, your spouse's or your de facto partner's parent, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child and the spouse or de facto partner of any of those persons.

You must not make a special disclosure that you know or ought reasonably to know is false or misleading in a material particular. Complaints about breaches of these requirements are to be referred to the Office of Local Government and may result in disciplinary action by the Chief Executive of the Office of Local Government or the NSW Civil and Administrative Tribunal.

This form must be completed by you before the commencement of the council or council committee meeting at which the special disclosure is being made. The completed form must be tabled at the meeting. Everyone is entitled to inspect it. The special disclosure must be recorded in the minutes of the meeting.

¹ Clause 4.1 of the Model Code of Conduct provides that a pecuniary interest is an interest that a person has in a matter because of a reasonable likelihood or expectation of appreciable financial gain or loss to the person. A person does not have a pecuniary interest in a matter if the interest is so remote or insignificant that it could not reasonably be regarded as likely to influence any decision the person might make in relation to the matter, or if the interest is of a kind specified in clause 4.6 of the Model Code of Conduct.

² A pecuniary interest may arise by way of a change of permissible use of land adjoining, adjacent to or in proximity to land in which a councillor or a person, company or body referred to in clause 4.3 of the Model Code of Conduct has a proprietary interest

Item: 05

Subject: DA2022 - 82.1 DWELLING AT LOT 220 DP 208479, 38 ANDERSON STREET PORT MACQUARIE

Report Author: Development Assessment Planner, Steven Ford

Applicant:	Newcastle Quality Constructions Pty Ltd
Owner:	G R Tattam
Estimated Cost:	\$800,983.00
Parcel no:	541

Alignment with Delivery Program

4.3.1 Undertake transparent and efficient development assessment in accordance with relevant legislation.

RECOMMENDATION

That DA2022 - 82.1 for a Dwelling at Lot 220, DP 208479, No. 38 Anderson Street, Port Macquarie, be determined by granting consent subject to the recommended conditions.

Executive Summary

This report considers a development application for a single dwelling at the subject site and provides an assessment of the application in accordance with the Environmental Planning and Assessment Act 1979.

Following exhibition of the application, three (3) submissions were received.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact.

This report recommends that the development application be approved subject to the conditions in Attachment 1.

The reason for the application being referred to Council's Development Assessment Panel (DAP) is because three (3) or more objections to the proposal have been received. A copy of the DAP Charter outlining the delegations and functions of the DAP is available on Council's website.

1. BACKGROUND

Existing Sites Features and Surrounding Development

The site has an area of 568.27m.

The site is zoned R1 General Residential in accordance with the Port Macquarie-Hastings Local Environmental Plan 2011, as shown in the following zoning plan:



The existing subdivision pattern and location of existing development within the locality is shown in the following aerial photograph:

2. DESCRIPTION OF DEVELOPMENT

Key aspects of the proposal include the following:

- Construction of a two storey dwelling house.

Refer to Attachment 2 at the end of this report for plans of the proposed development.

Application Chronology

- 9 February 2022 - Development Application lodged.
- 21 February to 3 March 2022 - Public Notification (3 submissions received).
- 4 March 2022 - Essential Energy comments provided.
- 30 May 2022 - Additional information provided.
- 10 June 2022 - Further additional information received, including amended plans and engineering drawings.

3. STATUTORY ASSESSMENT**Section 4.15(1) Matters for Consideration**

In determining the application, Council is required to take into consideration the following matters as are relevant to the development that apply to the land to which the development application relates:

(a) The provisions (where applicable) of:**(i) Any Environmental Planning Instrument****State Environmental Planning Policy (Biodiversity and Conservation) 2021
Chapter 4 Koala Habitat Protection 2021**

Clause 4.4 - This SEPP applies to all non-rural zoned land within the Port Macquarie-Hastings Local Government Area.

Clause 4.10 - Council is not prevented from granting consent in this case for the following reasons:

1. The property is not subject to a KPOM, and
2. The site is not considered to be core koala habitat.

**State Environmental Planning Policy (Resilience and Hazards) 2021
Chapter 2 Coastal Management**

Clause 2.5, this SEPP prevails over the Port Macquarie-Hastings LEP 2011 in the event of any inconsistency.

The site is located within a coastal use area. Having regard to clause 2.11 of the SEPP the proposed development is not considered likely to result in any of the following:

- a) any adverse impact on integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment;

- b) any adverse impacts coastal environmental values and natural coastal processes;
- c) any adverse impact on marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms;
- d) any adverse impact on Aboriginal cultural heritage, practices and places;
- e) any adverse impacts on the cultural and built environment heritage;
- f) any adverse impacts the use of the surf zone;
- g) any adverse impact on the visual amenity and scenic qualities of the coast, including coastal headlands;
- h) overshadowing, wind funnelling and the loss of views from public places to foreshores; and
- i) any adverse impacts on existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability.

The bulk, scale and size of the proposed development is compatible with the surrounding coastal and built environment. The site is predominately cleared and located within an area zoned for residential purposes.

Clause 2.12 - The proposal is not likely to cause increased risk of coastal hazards on that land or other land.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been submitted demonstrating that the proposal will comply with the requirements of the SEPP. It is recommended that a condition be imposed to ensure that the commitments are incorporated into the development and certified at Occupation Certificate stage.

State Environmental Planning Policy (Transport and Infrastructure) 2021

Clause 2.48 - The application has been referred to Essential Energy in accordance with this clause. Essential Energy have no specific concerns regarding the development, but have provided some general advice. The advice received from Essential Energy has been forwarded the Applicant for consideration.

Port Macquarie-Hastings Local Environmental Plan 2011

The proposal is consistent with the LEP having regard to the following:

- Clause 2.2 - The subject site is zoned R1 General Residential.
- Clause 2.3(1) and the R1 zone landuse table - The dwelling house is a permissible landuse with consent.

The objectives of the R1 zone are as follows:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- Clause 2.3(2) - The proposal is consistent with the zone objectives as it contributes to the range of housing options in the locality.

- Clause 4.3 - The maximum overall height of the building above ground level (existing) is 8.5 m which complies with the standard height limit of 8.5 m applying to the site.
- Clause 4.4 - The floor space ratio of the proposal is 0.47:1, which complies with the maximum 1:1 floor space ratio applying to the site.
- Clause 5.10 - Heritage. The site does not contain or adjoin any known heritage items or sites of significance.
- Clause 7.13 - Satisfactory arrangements are in place for provision of essential services including water supply, electricity supply, sewer infrastructure, stormwater drainage and suitable road access to service the development.

(ii) Any draft instruments that apply to the site or are on exhibition

No draft instruments apply to the site.

(iii) Any Development Control Plan in force

Port Macquarie-Hastings Development Control Plan 2013:

DCP 2013: Part B - General Provisions - B2: Environmental Management			
DCP Objective	Development Provisions	Proposed	Complies
3	a) Development must comply with Council's Developments, Public Place & Events - Waste Minimisation and Management Policy.	Satisfactory arrangements can be put in place for storage and collection of waste. Standard condition recommended for construction waste management.	Yes
Cut and Fill Regrading			
4	a) Development shall not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building (This does not apply to buildings where such cut and fill is fully retained within or by the external walls of the building).	Cut and fill <1.00m	Yes
5	a) A certified practicing structural engineer must certify any retaining wall greater than 1.0m.	Condition to be added to the consent for the construction of the retaining wall	Yes

	<p>b) Where a combination of a fence and a wall is proposed to be greater than 1.2m high:</p> <ul style="list-style-type: none"> - be a maximum combined height of 1.8m above existing property boundary level; - be constructed up to the front boundary for a maximum length of 6.0m or 30% of the street frontage, whichever is less; - the fence component has openings which make it not less than 25% transparent; and - provide a 3m x 3m splay for corner sites, and - provide a 900mm x 900mm splay for vehicle driveway entrances. 	<p>No fences proposed as part of this application.</p> <p>Retaining wall max height of 950mm.</p>	<p>Yes</p>
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DCP 2013: Part B - General Provision - B3: Hazards Management

Bushfire Hazard Management

18	<p>a) APZs are to be located outside of environmental protection zones and wholly provided within private land. Note perimeter roads provided as part of a residential subdivision are classified as being part of the subdivision and not a separate permissible land use within environment protection zones.</p>	<p>Not located on a site mapped as being bushfire prone land.</p>	<p>n/a</p>
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Flooding

19	<p>a) Development must comply with Council's Floodplain Management Plan and Flood Policies.</p>	<p>Site is not mapped as being flood prone land</p>	<p>n/a</p>
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DCP 2013: Part B- General Provisions- B4: Transport, Traffic Management, Access and Car Parking

DCP Objective	Development Provisions	Proposed	Complies
Parking Provision			
24	<p>a) Off-street Parking is provided in accordance with Table 3:</p>	<p>Single Dwelling only with double garage proposed.</p>	<p>Yes</p>

	- 1 parking space per each dwelling for dwelling-house.		
Parking Layout			
28	c) Parking spaces shall generally be behind the building line but may be located between the building line and the street when: <ul style="list-style-type: none"> - it is stacked parking in the driveway; or - it can be demonstrated that improvements to the open space provided will result; and - the spaces are screened (densely landscaped or similar) from the street by a landscaping with a minimum width of 3.0m for the entire length of the parking area. 	Garage is located 3m behind the building line of the dwelling	Yes
	d) Parking design and layout is provided in accordance with AS/NZS 2890.1 - Parking facilities - Off-street car parking.	Driveway app lodged. Capable of complying	Yes
34	a) All parking and manoeuvring spaces must be designed to avoid concentrations of water runoff on the surface.	No adverse concern identifiable. To be monitored through construction.	Yes
	b) Council will not permit the discharge of stormwater directly into kerbing and guttering or table drains for any development other than that of a minor nature.	Stormwater to be directed to the legal point of discharge for the site. Discussed further in the section 68 approval.	Yes

DCP 2013: Part B - General Provisions - B5: Social Impact Assessment and Crime Prevention

DCP Objective	Development Provisions	Proposed	Complies
Crime Prevention			
43	a) The development addresses the generic principles of crime prevention: <ul style="list-style-type: none"> - Casual surveillance and sightlines; - Land use mix and activity generators; 	No concealment or entrapment areas proposed. Adequate casual surveillance available.	Yes

	<ul style="list-style-type: none"> - Definition of use and ownership; - Basic exterior building design; - Lighting; - Way-finding; and - Predictable routes and entrapment locations; - as described in the Crime Prevention Through Environmental Design (CPTED) principles. 		
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DCP 2013: Part C - Development Specific Provisions - C1: Low Density Residential Development

DCP Objective	Development Provisions	Proposed	Complies
Front Setbacks			
44	<p>a) Dwellings may incorporate an articulation zone to a street frontage at no less than 3m from property boundary. The following building elements are permitted within the articulation zone:</p> <ul style="list-style-type: none"> - an entry feature or portico; - a balcony, deck, patio, pergola, terrace or verandah; - a window box treatment; - a bay window or similar feature; - an awning or other feature over a window; - a sun shading feature. <p>b) These building elements should not extend above the eave gutter line, other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the dwelling house.</p>	3.615m to the patio and front balcony from the front boundary.	Yes
	<p>c) The primary road front setback shall be: Classified road = any frontage 6.0m Primary frontage = 4.5m Secondary frontage = 3.0m Ancillary Lane = 2.0m</p>	5.615 to the front building line of the dwelling from the front boundary.	Yes

	Large lot residential and rural zones = 10.0m		
45	a) A garage, carport or car parking space should: <ul style="list-style-type: none"> - be at least 1m behind the building line, where the dwelling(s) has a setback from a front boundary of 4.5m or more, or - be at least 5.5m from a front boundary, where the dwelling(s) has a setback of less than 4.5m. 	3m setback from the building line to the garage and 6.780m from front boundary.	Yes
	b) The total width of the garage/carport openings should not be more than 6m and not more than 50 per cent of the width of the building.	5.50m for the garage opening and less than 50% of the 13.165m building frontage	Yes
	c) Driveway crossovers are no greater than 5.0m in width.	<5.00m	Yes
	d) Where a dual occupancy or attached dwelling is proposed on a corner lot a garage and driveway is provided on each road frontage.	No dual occupancies proposed as part of this application	n/a
Side and Rear Setbacks			
46	a) A minimum rear boundary setback of 4m is to be provided to dwellings (including verandahs, patios and decks).	4.46m rear setback proposed.	Yes
	b) A minimum rear boundary setback of 900mm applies to sheds and swimming pools subject to achieving minimum required private open space area.	None proposed.	n/a
	c) Council may consider varying rear setback requirements where it is demonstrated that the private open space could achieve better solar access between the building and the side setback. In that instance, one side setback should be a minimum 4m in width (for an equivalent	Not required - However, it is noted that there is significant side setback varying between 3.998m and 6.998 along the north-east boundary which would satisfy this clause.	Yes

	length of rear boundary, behind building line) and the rear setback may be reduced to 900mm.		
47	a) Ground floors (being <1m above existing ground level) should be setback a minimum of 900mm from side boundaries.	Minimum setback is 1.35m to the south western boundary.	Yes
	b) First floors and above (including single storey with floor level >1m) should be setback a minimum of 3m from the side boundary, or reduced down to 900mm where it can be demonstrated that the adjoining property's primary living rooms and principal private open space areas are not adversely overshadowed for more than 3hrs between 9am - 3pm on 21 June.	<p>Applicant proposes a side setback of 2m to the south western boundary and minimum 3.99m to the north east side boundary. Shadow diagrams have been provided demonstrating proposed overshadowing over the South West boundary. The plans demonstrate that the proposed 2m side setback partially overshadows the northern elevation of the adjoining dwelling. However, if the proposed dwelling achieved a 3m setback the outcome would be considerably the same.</p> <p>It is also note that the adjoining wall most impacted is for a single garage and not a primary living area. No adjoining living windows are overshadowed by the proposed development.</p> <p>It should be noted that the proposed 2m setback to the subject boundary is The variation is discussed further at the conclusion of this report.</p>	Yes, based on merit of the supporting shadow diagram.
	c) First floors and above should have building walls that step in and out at least every 12m by a minimum of 500mm articulation. Where first floors and above are setback >3m, wall articulation is not required.	<p>17.230m of unarticulated wall.</p> <p>However, the wall is provided with articulation via a mix of building materials, colours and horizontal articulation elements. See justification below this table.</p>	No, but considered acceptable based on satisfying the objectives of this clause.

Private Open Space			
48.	a) All dwellings should have a minimum area of private open space of 35m ² , which includes a principal private open space area with: <ul style="list-style-type: none"> - a minimum dimension of 4m x 4m, and - a maximum grade of 5% for minimum 4m x 4m of the total open space requirement, and - direct accessibility from a ground floor living area and orientated to maximise use. 	35m ² of POS available on level ground accessible from the living area at the rear of the building.	Yes
	b) Private open space may include clothes drying areas and garbage storage.	Noted	Yes
Public Domain and Fencing			
49	a) Front fences built forward of the building line for the primary road frontage should be detailed on the development application plans.	No fencing proposed as part of this application	n/a
	b) Solid Front fences up to 1.2m high should be: <ul style="list-style-type: none"> - Setback 1.0m from the front boundary, and - Suitably landscaped to reduce visual impact, and - Provide a 3m x 3m splay for corner sites. 	No fencing proposed as part of this application	n/a
	b) Front fences proposed to be more than 1.2m high should be a maximum of 1.8m in height, above existing front property boundary level, and either: <ul style="list-style-type: none"> - Include landscaped recesses having minimum dimensions of 1.8m long x 900mm deep which occupy no less than 50% of the total length of the fence, or - be erected up to the front boundary for a maximum 	No fencing proposed as part of this application	n/a

	length of 6.0m or 50% of the street frontage,		
	c) have openings which make it not less than 25% transparent (no individual opening more than 30mm wide);	No fencing proposed as part of this application	n/a
	d) provide a 3m x 3m splay for corner sites, and	n/a	n/a
	e) provide a 900mm x 900mm splay for vehicle driveway entrances.	No fencing proposed as part of this application	n/a
50	a) For tennis courts or other similar areas, chain wire fences should be black or dark green plastic coated mesh.	No tennis courts proposed as part of this application	n/a
	b) Solid fences enclosing these facilities should not be permitted over 1.8m.	No tennis courts proposed as part of this application	n/a
Bulk and Scale			
51	a) Direct views between indoor living rooms and principal private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots, including possible dwellings on future lots, should be obscured or screened where: <ul style="list-style-type: none"> - Ground and first floor (and above) indoor living room windows are within a 9m radius. - Direct views between principal private open space areas where within a 12m radius. - Direct views between indoor living rooms of dwellings into the principal area of private open space of other dwellings within a 12m radius. 	The POS of the site will be located within an area of cut adjacent to the dwelling and separated from adjoining dwellings by existing boundary fencing. The living area is orientated towards the rear of the site with the windows in the south western side elevation being for the stairwell and the master ensuite and the narrow windows within the north eastern side elevation being for the kitchen and butler's pantry. The north eastern elevation of the dwelling will maintain a setback of approximately 07.00m.	Yes
	b) A balcony, deck, patio, pergola, terrace or verandah should have a privacy screen where there are direct views of: <ul style="list-style-type: none"> - Indoor living room windows of adjacent 	Plans have been amended during the assessment to provide privacy screens along the south elevation of the upper floor balcony to provide protection to the	Yes

	<p>dwelling, including proposed dwellings approved on adjoining lots within 9m radius; or</p> <ul style="list-style-type: none"> - Principal areas of private open space of adjacent dwellings, including proposed dwellings approved on adjoining lots within a 12m radius. 	adjoining private open space.	
	<p>c) Privacy protection is not required for:</p> <ul style="list-style-type: none"> - Any Indoor living room windows with a sill height of greater than 1.5m above the finished floor level of that room or where fixed non-openable translucent glass is installed to the same height. 	Noted	n/a
	<p>d) Direct views described above may be reduced or obscured by one of the following measures (details to be submitted with the development application):</p> <ul style="list-style-type: none"> - 1.8m high fence or wall between ground-floor level windows or between a dwelling and principal private open space - Screening of minimum 1.7m height, that has 25% openings (max), with no individual opening more than 30mm wide, is permanently fixed and is made of durable materials. - A window, the whole of which has translucent glass and is not able to be opened. 	Noted	n/a
Roof Terraces			
52	<p>a) Direct views between roof terraces and indoor living room windows or principal areas of private open space of adjacent dwellings should be screened where:</p>	No roof terraces proposed as part of this application	n/a

	<ul style="list-style-type: none"> - Ground and first floor (and above) indoor living room windows are within a 9m radius of the trafficable area of the roof terrace; <p>Direct views between roof terraces principal areas of private open space within a 12m radius of the trafficable area of the roof terrace.</p>		
	<p>b) Screening should only be considered where:</p> <ul style="list-style-type: none"> - the height of the screen does not exceed the maximum building height; and - the screening contributes to the building form, and - the screening is integrated into the design of the roof; and - is constructed and designed with materials complementary to the building. 	No roof terraces proposed as part of this application	n/a
	<p>c) Lighting installations on roof terraces should be:</p> <ul style="list-style-type: none"> - contained within the roof terrace area and located at a low level, and - appropriately shaded and fixed in a non-adjustable manner so that light is projected downwards onto the floor surface of the terrace. - designed in compliance with Australian Standards AS4282 - <i>Control of obtrusive effects of outdoor lighting.</i> 	No roof terraces proposed as part of this application	n/a
Ancillary Development			
56	<p>a) For ancillary development in R1 General Residential, R2 Low Density Residential, R3 Medium Density Residential, R4 High Density Residential, R5 Large Lot Residential and RU5 Village zones:</p>	No ancillary structures proposed as part of this application	n/a

	<ul style="list-style-type: none"> - The height of an outbuilding or the alterations and additions to an existing outbuilding on a lot should not be more than 4.8m above ground level (existing). - The building should be single storey construction with a maximum roof pitch of 24 degrees. - The maximum area of the building should be 60m² for lots less than 900m² and maximum of 100m² for larger lots. - Ancillary development that is a garage, or an outbuilding, or a rainwater tank should not be located in front of the main building line with the exception of swimming pools. 		
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The proposal seeks to vary Development Provision relating to clause 47 - upper floor wall articulation.

The relevant objectives are:

- To reduce overbearing and perceptions of building bulk on adjoining properties.
- To provide for visual and acoustic privacy between dwellings.

Having regard for the development provisions and relevant objectives, the variation is considered acceptable for the following reasons:

- Instead of vertical articulations dimensions provided in the development provision of this control, the design provides horizontal articulation elements.
- The design utilises a mix of building materials, colours and windows to provide articulation.
- At either end of the wall the design has large balconies and alfresco areas.
- The unarticulated wall is not directly impacting the streetscape.
- The wall does not have visual impacts as it does not adjoin primary living areas of the adjoining dwelling.
- It is noted that the proposed position of the dwelling does not overshadow adjoining primary living areas.

Based on the above assessment, the variations proposed to the provisions of the DCP are considered acceptable and the relevant objectives have been satisfied. Cumulatively, the variations do not amount to an adverse impact of a significance that would justify refusal of the application.

- (iiiia) **Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4**

No planning agreement has been offered or entered into relating to the site.

- (iv) **Any matters prescribed by the Regulations**

N/A

- (b) **The likely impacts of that development, including environmental impacts on both the natural and built environments, social and economic impacts in the locality**

Context and Setting

The proposal will not have any significant adverse impacts on existing adjoining properties and satisfactorily addresses the public domain.

The proposal is considered to be compatible with other residential development in the locality and adequately addresses planning controls for the area.

The proposal does not have a significant adverse impact on existing view sharing.

The proposal does not have significant adverse lighting impacts.

There are no significant adverse privacy impacts.

There are no significant adverse overshadowing impacts. The proposal does not prevent adjoining properties from receiving 3 hours of sunlight to private open space and primary living areas on 21 June.

Access, Traffic and Transport

The proposal will not have any significant adverse impacts in terms access, transport and traffic. The existing road network will satisfactorily cater for any increase in traffic generation as a result of the development.

Water Supply Connection

Service available – details required with Section 68 application.
An appropriate standard condition is recommended in this regard.

Sewer Connection

Council records indicate that the development site is connected to Sewer via junction to the existing sewer main, which runs inside of boundary of the development site. The proposed development may discharge all sewage to the existing point of connection to Council's sewer system.

The proposal requires construction works over the top of Councils 150mm AC Sewer Main. As such replacement from at least boundary to boundary is required and the building will need to be engineered to ensure no load is placed on the replacement main. Engineering plans to be submitted demonstrating that this is achievable.

Appropriate conditions are recommended in this regard.

Stormwater

Service available - details required with Section 68 application.
An appropriate standard condition is recommended in this regard.

Other Utilities

Telecommunication and electricity services are available to the site.

Heritage

This site does not contain or adjoin any known heritage item or site of significance. The site is considered to be disturbed land.

Other land resources

The site is within an established urban context and will not sterilise any significant mineral or agricultural resource.

Water cycle

The proposed development will not have any significant adverse impacts on water resources and the water cycle.

Soils

The proposed development will not have any adverse impacts on soils in terms of quality, erosion, stability and/or productivity subject to a standard condition requiring erosion and sediment controls to be in place prior to and during construction.

Air and microclimate

The construction and/or operations of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Flora and fauna

Construction of the proposed development will not require any removal/clearing of any native vegetation and therefore does not trigger the biodiversity offsets scheme. Part 7 of the Biodiversity Conservation Act 2016 is considered to be satisfied.

Waste

Satisfactory arrangements are in place for proposed storage and collection of waste and recyclables. No adverse impacts anticipated. Standard precautionary site management condition recommended.

Energy

The proposal includes measures to address energy efficiency and will be required to comply with the requirements of BASIX.

Noise and vibration

The construction of the proposed development will not result in any significant adverse impacts on the existing air quality or result in any pollution. Standard precautionary site management condition recommended.

Bushfire

The site is not identified as being bushfire prone.

Safety, security and crime prevention

The proposed development will be unlikely to create any concealment/entrapment areas or crime spots that would result in any identifiable loss of safety or reduction of security in the immediate area. Adequate casual surveillance is available.

Social impacts in the locality

Given the nature of the proposed development and its location the proposal is not considered to have any significant adverse social impacts.

Economic impact in the locality

The proposal is not considered to have any significant adverse economic impacts on the locality. A likely positive impact is that the development will maintain employment in the construction industry, which will lead to flow impacts such as expenditure in the area.

Site design and internal design

The proposed development design satisfactorily responds to the site attributes and will fit into the locality.

Construction

Construction impacts are considered capable of being managed, standard construction and site management conditions have been recommended.

Cumulative impacts

The proposed development is not considered to have any significant adverse cumulative impacts on the natural or built environment or the social and economic attributes of the locality.

(c) The suitability of the site for the development

The proposal will fit into the locality and the site attributes are conducive to the proposed development.

(d) Any submissions made in accordance with this Act or the Regulations

Three (3) written submissions were received following public exhibition of the application. Copies of the written submissions have been provided separately to members of the DAP.

Key issues raised in the submissions received and comments are provided as follows:

Submission Issue/Summary	Planning Comment/Response
Overshadowing	<p>The application has included shadow diagrams. Due to the orientation of the site, the development mostly overshadows the south-west boundary. Adjoining the development is a single level dwelling. The shadow diagrams demonstrate that the northern elevation of the dwelling that is most impacted is a single garage and laundry. There are no principle living or private open space areas overshadowed by the proposed development for more than 3 hours on the winter solstice.</p> <p>From 12 noon the private open space of the rear adjoining property will be partially overshadowed. However, the principle private open space will not be</p>

Submission Issue/Summary	Planning Comment/Response
	<p>adversely overshadowed for more than 3 hours, as shown on the diagram.</p> <p>It is noted that the proposed development generally complies with the planning controls of the Port Macquarie Hastings Local Environmental Plan 2011 and Development Control Plan 2013.</p> <p>The overshadowing impact demonstrated does not create an adverse impact that would support refusal of this proposed development.</p>
<p>Privacy impacts</p>	<p>It is considered that the ground level living and alfresco area is adequately screened by the boundary fencing.</p> <p>During the assessment, the proposed plans have been amended to provide privacy screening to the upper level rear balcony. A draft condition is also proposed to ensure that the construction certificate plans include 1.8m privacy screening to the south-west and south-east elevations.</p> <p>This is considered to satisfy the objectives of clause 51 of the DCP 2013, by providing privacy screening to protect privacy on-site and nearby neighbours.</p>
<p>Excessive Cut:</p> <ul style="list-style-type: none"> • interfere with the existing sewer line connection. • significantly changes the existing topography of the land. • cause new drainage issues. • It does not follow the General Housing Code principle (Clause 3.59) that the excavation should not extend more than 2m from the actual dwelling footprint. • It will affect the stability of my rear boundary fence, which is likely to collapse. • Impact of retaining walls, on drainage and integrity of existing brick dwelling. 	<p>The Plans indicate that the proposed maximum height of retaining walls along the side and rear boundaries is 990mm, cut into the site.</p> <p>The retaining wall is noted to be entirely within the site and a minimum 300mm from the boundary.</p> <p>The proposed development does not exceed a maximum cut of 1.0m and fill of 1.0m measured vertically above the ground level (existing) at a distance of 1.0m outside the perimeter of the external walls of the building.</p> <p>Engineering detail has been provided demonstrating and satisfying structural integrity and drainage. There are no adverse impacts identifiable.</p>

Submission Issue/Summary	Planning Comment/Response
	A precautionary standard condition is recommended for retaining walls exceeding 1m.
According to DCP 2013 Clause 51, a minimum distance of 12m is required between the balconies (lower and upper level balconies) and the PPOS of the adjoining approved Development Application on the adjoining lot.	<p>As discussed earlier, ground floor is considered to be adequately screened by boundary fences.</p> <p>The upper level rear balcony is 4.46m from the rear boundary and is within 12m radius of adjoining private open space. As discussed earlier, the proposed rear setback complies with the clause 46 Side and Rear Setbacks in the DCP 2013. However, due to the elevation and proximity to existing and approved development the plans have been amended to provide additional privacy screening on the south-west and South-east elevations. The additional privacy screens are considered to satisfy the objectives of the Clause 51 of the DCP 2013.</p>
Direct views from upper level living rooms.	<p>The upper level is provided with minimal side facing windows. The picture window above the staircase landing is not directly adjoining primary living area or bedrooms to the south-west. To the North-east, is a window splashback to the kitchen and pantry for natural light and setback 7m from the adjoining boundary.</p> <p>The proposed rear building line is 7.4m from the rear boundary. Clause 51 of the DCP 2013 requires consideration of direct views between indoor living rooms windows within 9m. It is noted that the 9m radius encroaches part of the adjoining development's rear yard but not the principle private open space. It is noted that the plans have been amended to provide a privacy screen for the entire length of the rear balcony. The privacy screening is considered to satisfy clause 51 of the DCP 2013.</p>
Private open space does not comply	The private open space shown on the site plan is indicative. Private open space is noted to be at least 35m ² , with an area with minimum dimensions of 4m x 4m, no greater than 5% slope and directly accessible from ground floor living areas and can include clothes

Submission Issue/Summary	Planning Comment/Response
	lines and garbage storage. It is noted that the rear yard exceeds 100m ² of usable private open space and exceeds the DCP requirements.
The proposed dwelling is over the existing sewer line and will cause damage and maintenance issues.	Council's Water and Sewer engineers have reviewed the proposed development and have provided recommended conditions to protect the sewer infrastructure. It will be necessary for the building to be engineered to ensure that no load is placed on the sewer main.
Demolition has occurred prior to approval with no public notification.	A Complying Development Certificate was issued by a private certifier for the demolition of the existing dwelling. Demolition does not form part of this development application.

(e) The Public Interest

The proposed development satisfies relevant planning controls and will not adversely impact on the wider public interest.

Ecologically Sustainable Development and Precautionary Principle

Ecologically sustainable development requires the effective integration of economic and environmental considerations in decision-making processes.

The four principles of ecologically sustainable development are:

- the precautionary principle,
- intergenerational equity,
- conservation of biological diversity and ecological integrity,
- improved valuation, pricing and incentive mechanisms.

The principles of ESD require that a balance needs to be struck between the man-made development and the need to retain the natural vegetation. Based on the assessment provided in the report and with recommended conditions of consent, it is considered an appropriate balance has been struck.

Climate change

The proposal is not considered to be vulnerable to any risks associated with climate change.

4. DEVELOPMENT CONTRIBUTIONS APPLICABLE

- Development contributions will not be required under S64/S7.11 for the following reasons:
 - The subject land is considered a council approved lot and had an approved dwelling.
 - The application does not propose any additional dwellings.

5. CONCLUSION AND STATEMENT OF REASON

The application has been assessed in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Issues raised during assessment and public exhibition of the application have been considered in the assessment of the application. Where relevant, conditions have been recommended to manage the impacts attributed to these issues.

The site is considered suitable for the proposed development and the proposal adequately addresses relevant planning controls. The development is not considered to be contrary to the public's interest and will not result a significant adverse social, environmental or economic impact. It is recommended that the application be approved, subject to the recommended conditions of consent provided in the attachment section of this report.

Attachments

- 1   DA2022 - 82.1 Recommended Conditions
- 2   DA2022 - 82.1 Plans

**FOR USE BY PLANNERS/SURVEYORS TO PREPARE LIST OF
PROPOSED CONDITIONS - 2011****NOTE: THESE ARE DRAFT ONLY****DA NO: 2022/82****DATE: 11/07/2022****PRESCRIBED CONDITIONS**

The development is to be undertaken in accordance with the prescribed conditions of Part 4 - Division 2 of the *Environmental Planning & Assessment Regulations* 2021.

A – GENERAL MATTERS

- (1) (A001) The development is to be carried out in accordance with the plans and supporting documents set out in the following table, as stamped and returned with this consent, except where modified by any conditions of this consent.

Plan / Supporting Document	Reference	Prepared by	Date
Plans	270340	Macdonald Jones	15 June 2022
BASIX Certificate	1256762S	Energy Advance	25 January 2022

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

- (2) (A002) No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
- a) the appointment of a Principal Certifying Authority and
 - b) the date on which work will commence.
- Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.
- (3) (A009) The development site is to be managed for the entirety of work in the following manner:
1. Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 2. Appropriate dust control measures;
 3. Building equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained. Where work adjoins the public domain, fencing is to be in place so as to prevent public access to the site;
 4. Building waste is to be managed via appropriate receptacles into separate waste streams;
 5. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

6. Building work being limited to the following hours, unless otherwise permitted by Council;

- Monday to Saturday from 7.00am to 6.00pm
- No work to be carried out on Sunday or public holidays

The builder to be responsible to instruct and control his sub-contractors regarding the hours of work.

- (4) (A008) Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
- (5) (A011) The design and construction of all public infrastructure works shall be in accordance with Council's adopted AUSPEC Specifications.
- (6) (A053) The required relocation and/or replacement of the sewer pipe that traverses the land is the responsibility of the proponent. Any costs associated with these works shall be the responsibility of the proponent.
- (7) (A057) The applicant is to ensure the proposed development will drain to the existing point of connection to Council's sewerage system.

B - PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

- (1) (B001) Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Port Macquarie-Hastings Council. The following is to be clearly illustrated on the site plan to accompany the application for Section 68 approval:
 - Position and depth of the sewer (including junction)
 - Stormwater drainage termination point
 - Easements
 - Water main
 - Proposed water meter location
- (2) (B006) An application pursuant to Section 138 of the Roads Act, 1993 to carry out works required by the Development Consent on or within public road is to be submitted to and obtained from Port Macquarie-Hastings Council prior to release of the Construction Certificate.

Such works include, but not be limited to:

 - i. Functional vehicular access
- (3) (B037) The finished floor level of the building shall be at least 1050mm above the soffit of Council's sewer main. Details indicating compliance with this are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.
- (4) (B038) Footings and/or concrete slabs of buildings adjacent to sewer lines or stormwater easements are to be designed so that no loads are imposed on the infrastructure. Detailed drawings and specifications prepared by a practising chartered professional civil and/or structural engineer are to be submitted to the Principal Certifying Authority with the application for the Construction Certificate.
- (5) (B039) Detailed drawings and specifications prepared by a professional engineer for all retaining walls supporting:
 - i. earthworks that are more than 600mm above or below ground level (existing); and located within 1m of the property boundaries; or

- ii. earthworks that are more than 1m above or below ground level (existing) in any other location;

are to be submitted to the Principal Certifying Authority with the application for Construction Certificate.

- (6) Prior to release of the Construction Certificate, plans are to be amended to demonstrated fixed privacy screening (minimum 1.8m high and maximum 25% transparency) along the South-West and South-East Elevations to the upper floor rear balcony.
- (7) Prior to the issue of a Construction Certificate, evidence shall be provided to the Principal Certifying Authority that plans have been approved by the water and sewer authority for the relocation or replacement of the sewer main traversing the site.

C – PRIOR TO ANY WORK COMMENCING ON SITE

- (1) (C017) A CCTV inspection to assess the condition of Council's sewer mains shall be undertaken prior to construction work commencing and at the completion of all construction work in accordance with the Conduit Inspection Reporting Code of Australia WSA 05, at no cost to Council. Any damage to Council's sewer mains as a result of the construction work shall be rectified using a method approved by Council, at no cost to Council.

D – DURING CONSTRUCTION

- (1) (D003) The Port Macquarie-Hastings area is known to contain rock that may contain naturally occurring asbestos (NOA). Should potential NOA be located on site notification shall be provided to Council and Workcover prior to works proceeding. No work shall recommence until a NOA management plan has been approved by Council or Workcover.
- (2) (D007) A survey certificate from a registered land surveyor is to be submitted to the Principal Certifying Authority at footings and/or formwork stage. Such certificate shall set out the boundaries of the site, the actual situation of the buildings and include certification that siting levels comply with the approved plans.

E – PRIOR TO OCCUPATION OR THE ISSUE OF OCCUPATION CERTIFICATE

- (1) (E001) The premises shall not be occupied or used in whole or in part until an Occupation Certificate has been issued by the Principal Certifying Authority.
- (2) (E058) Written confirmation being provided to the Principal Certifying Authority (PCA) from any properly qualified person (eg the builder), stating that all commitments made as part of the BASIX Certificate have been completed in accordance with the certificate.
- (3) (E034) Prior to occupation or the issuing of the Occupation Certificate provision to the Principal Certifying Authority of documentation from Port Macquarie-Hastings Council being the local roads authority certifying that all matters required by the approval issued pursuant to Section 138 of the Roads Act have been satisfactorily completed.
- (4) (E051) Prior to occupation or the issuing of any Occupation Certificate a section 68 Certificate of Completion shall be obtained from Port Macquarie-Hastings Council.
- (5) (E056) Certification that the construction of footings and piers adjacent to the sewer lines has been carried out in accordance with the approved drawings and specifications, shall be provided by a practising chartered professional civil and/or structural engineer to Council with the application for the Section 307 - Certificate of Compliance/Occupation Certificate.

- (6) (E057) A Certificate of Compliance under the provisions of Section 307 of the Water Management Act must be obtained prior to the issue of an Occupation Certificate.
- (7) Prior to the issue of any Occupation Certificate, the fixed privacy screens to the South-West and South-East elevations of the upper level rear balcony shall be completed.
- (8) (E053) All works relating to public infrastructure shall be certified by a practicing Civil Engineer or Registered Surveyor as compliant with the requirements of AUSPEC prior to issue of an Occupation Certificate or release of the security bond, whichever is to occur first.
- (9) (E054) No building is to be connected to the replacement/relocated sewer main until Council has accepted such main.
- (10) (E060) Prior to Council accepting new sewer infrastructure, a CCTV inspection of all new and modified sewer assets must be undertaken in accordance with the Conduit Inspection Reporting Code of Australia WSA 05.

A copy of the CCTV inspection footage and inspection report prepared and certified by a suitably qualified person shall be provided to Council prior to the acceptance of works into the nominated 'into maintenance period'.

F – OCCUPATION OF THE SITE

- (1) (F035) The consent only permits the use of the building as a single dwelling and does not permit the adaption or use of the building so as to create a second occupancy.

DA

PORT MACQUARIE-HASTINGS
COUNCIL

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SUSTAINABILITY COMMITMENTS

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

WATER COMMITMENTS

- 3 STAR (> 7.5 BUT <= 9L/MIN) SHOWER HEADS
- 4 STAR TOILET SUITES
- 4 STAR KITCHEN TAPS
- 5 STAR BATHROOM TAPS

245.11 m² TOTAL ROOF AREA

4990 L WATER TANK(S) MINIMUM CAPACITY
166.11 m² MINIMUM ROOF AREA TO TANK(S)

- RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
 - ALL TOILETS
 - WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

300 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.5 - 4.0

COOLING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM: DUCTED TO OUTSIDE AIR, INTERLOCKED TO LIGHT
- KITCHEN RANGEHOOD: DUCTED TO OUTSIDE AIR, MANUAL ON/TIMER OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- N/A

NATURAL LIGHTING TO

- KITCHEN
- 3 BATHROOM/TOILET

ALTERNATIVE ENERGY

- PHOTOVOLTAIC SYSTEM - MINIMUM 10.50KW PEAK

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER
- CEILING FANS TO ALL BEDROOMS, LIVING, DINING & CHILDREN'S ACTIVITIES

GENERAL INFORMATION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL

THESE PLANS FEATURE WORKS REQUIRED BY THE OWNER THAT MAY BE EXCLUDED FROM THE SCOPE OF THE CONTRACT WITH THE BUILDER, BUT HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT. SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS AND SITE DRAINAGE. PLEASE REFER TO YOUR CONTRACT TENDER AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS.

BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S): 2745mm, 3259mm
FIRST FLOOR PITCHING HEIGHT(S): 2745mm
FRAMES AND TRUSSES: TREATED TIMBER
ROOF PITCH (U.N.O.): 10°/8°/3°
ELECTRICITY SUPPLY: SINGLE PHASE
GAS SUPPLY: BOTTLED LPG

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: LIGHT
ROOF INSULATION: R6.0 BATTS / R4.1 BATTS TO GARAGE CEILING MIN. 60mm FOIL FACED BLANKET

WALL MATERIAL: BRICK VENEER, CLADDING
WALL COLOUR: N/A
WALL INSULATION: R2.0 BATTS
WALL WRAP TO ENTIRE HOUSE

FLOOR INSULATION: R4.0 INSULATION BETWEEN FLOORS

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: N2

SITE CLASSIFICATION: P-H1
SLAB CLASSIFICATION: H1

SLAB TO BE IN ACCORDANCE WITH AS 2870. REFER TO ENGINEER'S DRAWINGS FOR ALL SLAB DETAILS.

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

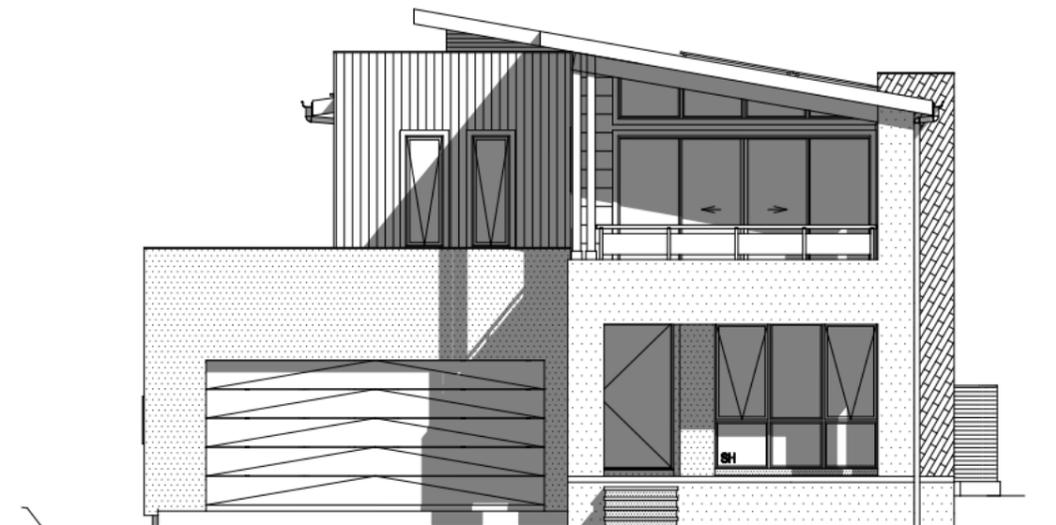
ALL TREATED TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

EXPOSURE GRADE REQUIREMENTS
PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN A 'MARINE EXPOSURE ENVIRONMENT'. THIS SHALL INCLUDE THE FOLLOWING:

- TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA PROVIDE 32Mpa CONCRETE TO THE CONCRETE SLAB IN LIEU OF STANDARD DUE TO PROXIMITY TO SALTWATER.
- PROVIDE EXPOSURE GRADE MORTAR IN LIEU OF STANDARD DUE TO PROXIMITY TO SALTWATER.
- PROVIDE EXPOSURE GRADE COMMON BRICKS TO THE FIRST FLOOR ONLY FOR RENDERED FINISH DUE TO PROXIMITY TO SALTWATER.
- PROVIDE NON CORROSIVE BRICK TIES IN LIEU OF STANDARD DUE TO PROXIMITY TO SALTWATER.
- PROVIDE WALL WRAP TO EXTERNAL WALL FRAMES AND SPARK ARRESTORS TO EXTERNAL BRICKWORK DUE TO PROXIMITY TO SALT WATER
- PROVIDE R4 RATING TO THE STEEL SUPPORT BEAMS DUE TO PROXIMITY TO SALTWATER
- PROVIDE ULTRA COLORBOND ROOF IN LIEU OF STANDARD WITH A 20 YEAR MANUFACTURERS WARRANTY DUE TO PROXIMITY TO SALTWATER.
- PROVIDE ULTRA COLORBOND FASCIA AND GUTTER IN LIEU OF STANDARD WITH A 12 YEAR MANUFACTURERS WARRANTY DUE TO PROXIMITY TO SALTWATER.
- PROVIDE MESH TO DUCTED EXHAUST FAN VENTS AND DUCTED RANGEHOOD VENTS WHERE APPLICABLE DUE TO PROXIMITY TO SALTWATER.



LOT 220
#38 ANDERSON STREET
LOCATION MAP



BASIX CERTIFICATE
-1256762S (25TH JAN 2022)

5.7
NATIONWIDE HOUSE ENERGY RATING SCHEME
72.6
www.nathers.gov.au

SIEEJCIFY 25 Jan 2022

Assessor: Claude-Francois Sookloll
Accreditation No. DMN/14/1662
Address: Lot 220 (#38) Anderson Street, PORT MACQUARIE, Port Macquarie-Hastings Council, NSW 2444

PRELIMINARY CONSTRUCTION DRAWING

DATE:
08/03/2022

DRAFTING OFFICE:
HUNTER

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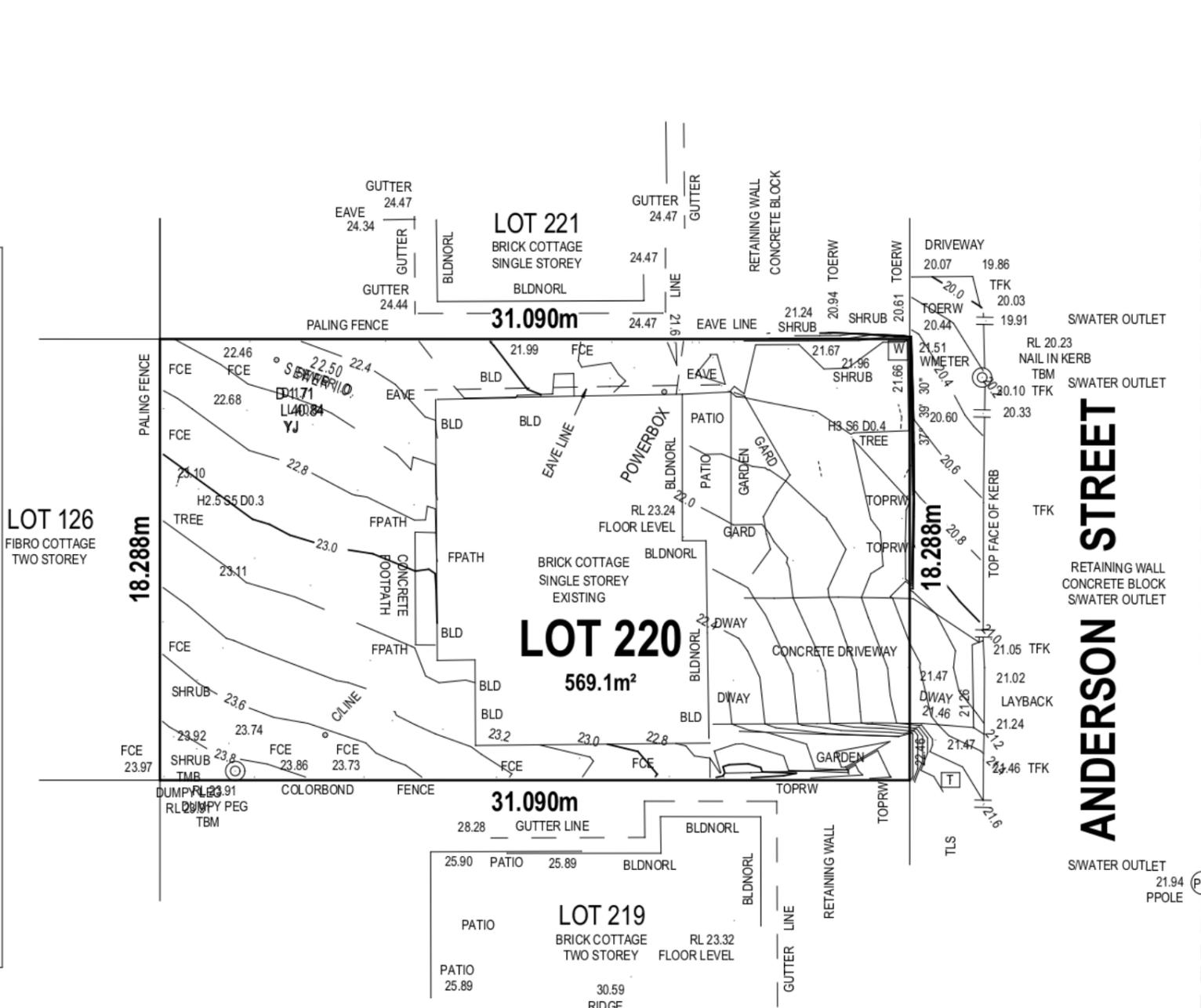
<p>YOUR HOME, YOUR DREAM</p>	SPECIFICATION: TWO STOREY	REVISION 16 AMEND. SOLAR PANELS (NON-STRUCT.) TLU 2022.05.11 17 AMEND. TREES REMOVED (NON-STRUCT.) TLU 2022.05.11 18 AMENDMENT FOR DA RFI HPA 2022.05.17 19 AMEND. SOLAR LOCATION LMD 2022.06.06 20 OVERALL HEIGHT 8.5M HPA 2022.06.15	CLIENT: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM ADDRESS: 38 ANDERSON STREET, PORT MACQUARIE NSW 2444 LOT / SECTION / DP: 220 / - / 208479 COUNCIL: PORT MACQUARIE-HASTINGS COUNCIL	HOUSE DESIGN: MASSENA 30 TWO FACADE DESIGN: AIRLIE SHEET TITLE: COVER SHEET	HOUSE CODE: H-MASCLAD16420A FACADE CODE: F-MASAIRL02 SHEET No.: 1 / 22 SCALES:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 270340
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	YES
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	OLD
LATITUDE	152° 55' 24" S
LONGITUDE	31° 28' 50" E

OWNERS ARE FULLY RESPONSIBLE FOR ENSURING THEY HAVE REMOVED ALL EXISTING STRUCTURES AND UTILITY SERVICES FROM THE PROPOSED CONSTRUCTION SITE I.E.
- EXISTING HOUSE, CARPORT, SHED, PAVING, PATHS, FRONT FENCE, GARDEN BEDS, SWIMMING POOL OR UNDERGROUND TANKS AND ALL BELOW GROUND FOOTING STRUCTURES.
- REMOVAL OF ANY TREES, STUMPS, BARK OR EXCESSIVE GROWTH WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS.
- ALL BUILDING MATERIALS OR WASTE ON SITE IS TO BE FULLY REMOVED.
- ANY DEPRESSIONS TO NATURAL GROUND LEVEL WILL REQUIRE TO BE ADEQUATELY FILLED.
- ANY EXCESS FILL IS REMOVED WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS.
UTILITIES / SERVICES: I.E.
- GAS METER AND ASSOCIATED PIPE WORK ARE REMOVED BACK TO SITE BOUNDARY. OWNER TO CONTACT JEMENA DIRECTLY FOR REMOVAL OF GAS METER 1300137078
- ELECTRICAL METER AND ASSOCIATED SERVICES ARE REMOVED TO AGREED SAFE DISTANCE (BOUNDARY/POLE).
- WATER METER REMAINS CONNECTED AND ASSOCIATED PIPE WORK ARE REMOVED BACK TO THE WATER METER.
- TELEPHONE & DATA CABLES ARE REMOVED BACK TO SITE BOUNDARY.
- EXISTING SITE SEWER & STORM WATER CONNECTIONS ARE TO BE REMOVED AND CAPPED OFF TO PREVENT INCIDENCE OF BUILDING MATERIALS ENTERING THOSE SYSTEMS AND LEAVING YOUR SITE. ASBESTOS:
- A SITE CLEARANCE CERTIFICATE IS REQUIRED TO BE SUPPLIED TO US BY THE OWNER PRIOR TO US COMMENCING WORK ON YOUR SITE. YOUR DEMOLITION COMPANY SHOULD BE ABLE ARRANGE THIS FOR YOU.
DRIVEWAY:
- ANY EXISTING DRIVEWAY WITHIN THE SITE BOUNDARY IS TO BE REMOVED BY THE OWNER AS PART OF THE DEMOLITION WORKS
- IF MJH ARE PROVIDING A NEW DRIVEWAY, MJH HAS MADE NO ALLOWANCE FOR THE REMOVAL OF ANY EXISTING CROSSOVER AND/OR LAYBACK. THESE WORKS, IF REQUIRED, WILL BE CHARGED TO THE OWNER BY WAY OF A VARIATION TO THE CONTRACT.
PLEASE NOTE:-
THE OWNER IS TO PROVIDE THE BUILDER WITH CERTIFICATES OF ABOLISHMENT FROM THE UTILITIES REGULATOR AS CONFIRMATION PRIOR TO COMMENCEMENT OF CONSTRUCTION ARBORIST REPORT MAY BE REQUIRED BY OWNER FOR ANY TREES TO BE REMOVED OR TREES INTENDED TO REMAIN ON THE PROPERTY.



ANDERSON STREET

5.7
NATIONWIDE HOUSE ENERGY RATING SCHEME
72.6
www.nathers.gov.au

SIEEJCIFY 25 Jan 2022

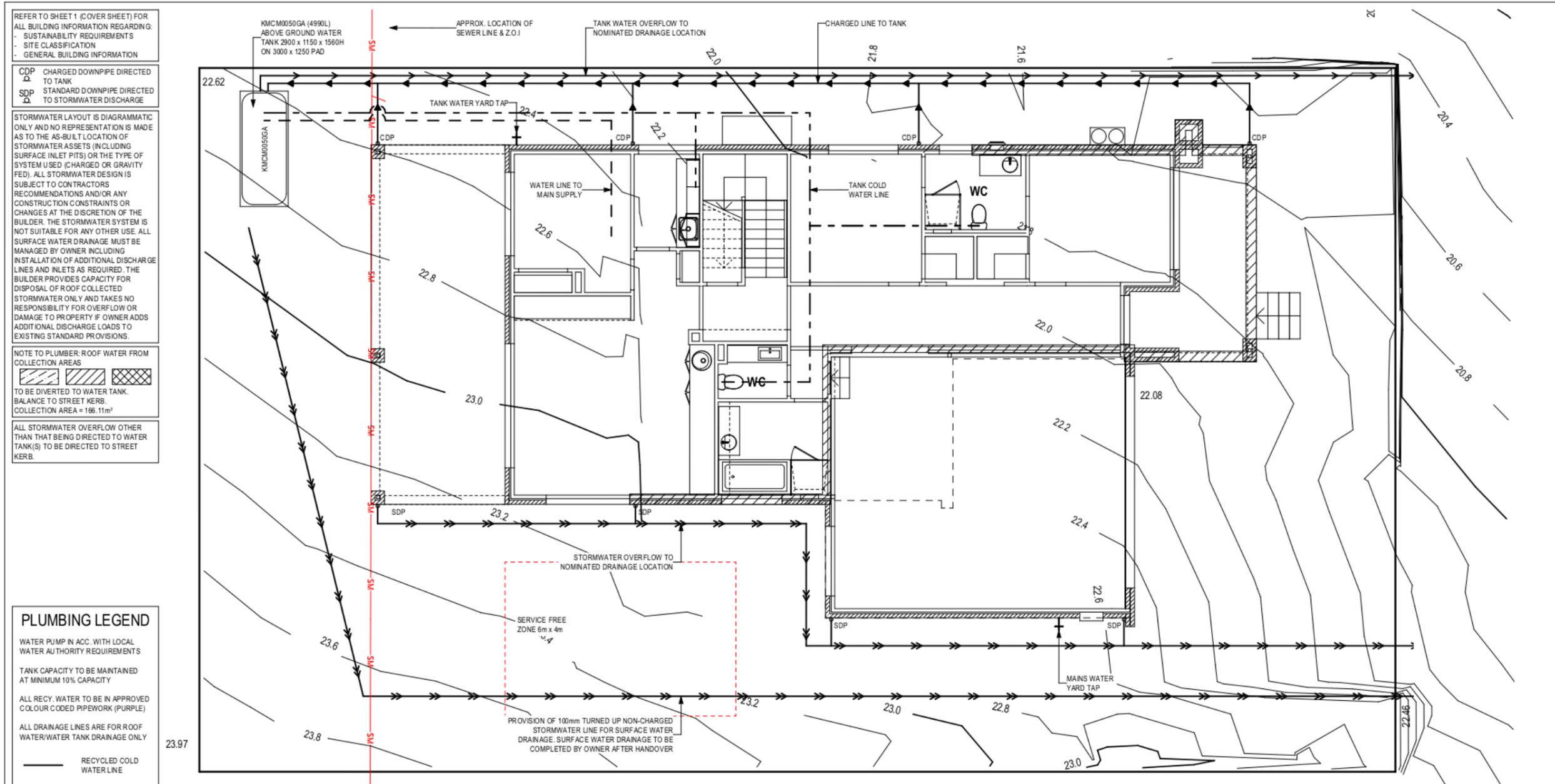
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Accreditation No.: DMN/14/1662
Address: Lot 220 (938) Anderson Street PORT MACQUARIE Port Macquarie-Hastings Council NSW 2444

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<p>YOUR HOME, YOUR DREAM</p>	SPECIFICATION: TWO STOREY COPYRIGHT: © 2022	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>16 AMEND. SOLAR PANELS (NON-STRUCT.)</td> <td>TLU 2022.05.11</td> </tr> <tr> <td>17 AMEND. TREES REMOVED (NON-STRUCT.)</td> <td>TLU 2022.05.11</td> </tr> <tr> <td>18 AMENDMENT FOR DA RFI</td> <td>HPA 2022.05.17</td> </tr> <tr> <td>19 AMEND. SOLAR LOCATION</td> <td>LMD 2022.06.06</td> </tr> <tr> <td>20 OVERALL HEIGHT 8.5M</td> <td>HPA 2022.06.15</td> </tr> </tbody> </table>	REVISION	DRAWN	16 AMEND. SOLAR PANELS (NON-STRUCT.)	TLU 2022.05.11	17 AMEND. TREES REMOVED (NON-STRUCT.)	TLU 2022.05.11	18 AMENDMENT FOR DA RFI	HPA 2022.05.17	19 AMEND. SOLAR LOCATION	LMD 2022.06.06	20 OVERALL HEIGHT 8.5M	HPA 2022.06.15	CLIENT: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM ADDRESS: 38 ANDERSON STREET, PORT MACQUARIE NSW 2444 LOT / SECTION / DP: 220 / - / 208479	HOUSE DESIGN: MASSENA 30 TWO FACADE DESIGN: AIRLIE SHEET TITLE: EXISTING CONDITIONS	HOUSE CODE: H-MASCLAD16420A FACADE CODE: F-MASAIRL02 SHEET No.: 2 / 22	SCALES: 1:200	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 270340
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
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- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS TO BE DIVERTED TO WATER TANK. BALANCE TO STREET KERB. COLLECTION AREA = 166.11m²

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED TO STREET KERB.

PLUMBING LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS

TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY

ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)

ALL DRAINAGE LINES ARE FOR ROOF WATER/WATER TANK DRAINAGE ONLY

- RECYCLED COLD WATER LINE
- - - TANK COLD WATER LINE
- - - WATER LINE TO MAIN SUPPLY
- CHARGED LINE TO WATER TANK
- WATER TANK OVERFLOW
- STORMWATER OVERFLOW
- WM WASHING MACHINE
- WC WATER CLOSET
- † YARD TAP

WATER MANAGEMENT (GROUND FLOOR)
Scale: 1:100

SIEEJCOFY 25 Jan 2022

5.7
NATIONWIDE HOUSE
ENERGY RATING 5.0-5.5

Assessor: Claude-Francois Sookloll
Accreditation No. DMN/14/1662
Address: Lot 220 (#38) Anderson Street PORT MACQUARIE Port Macquarie-Hastings Council NSW 2444

72.6
www.nath.gov.au

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CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

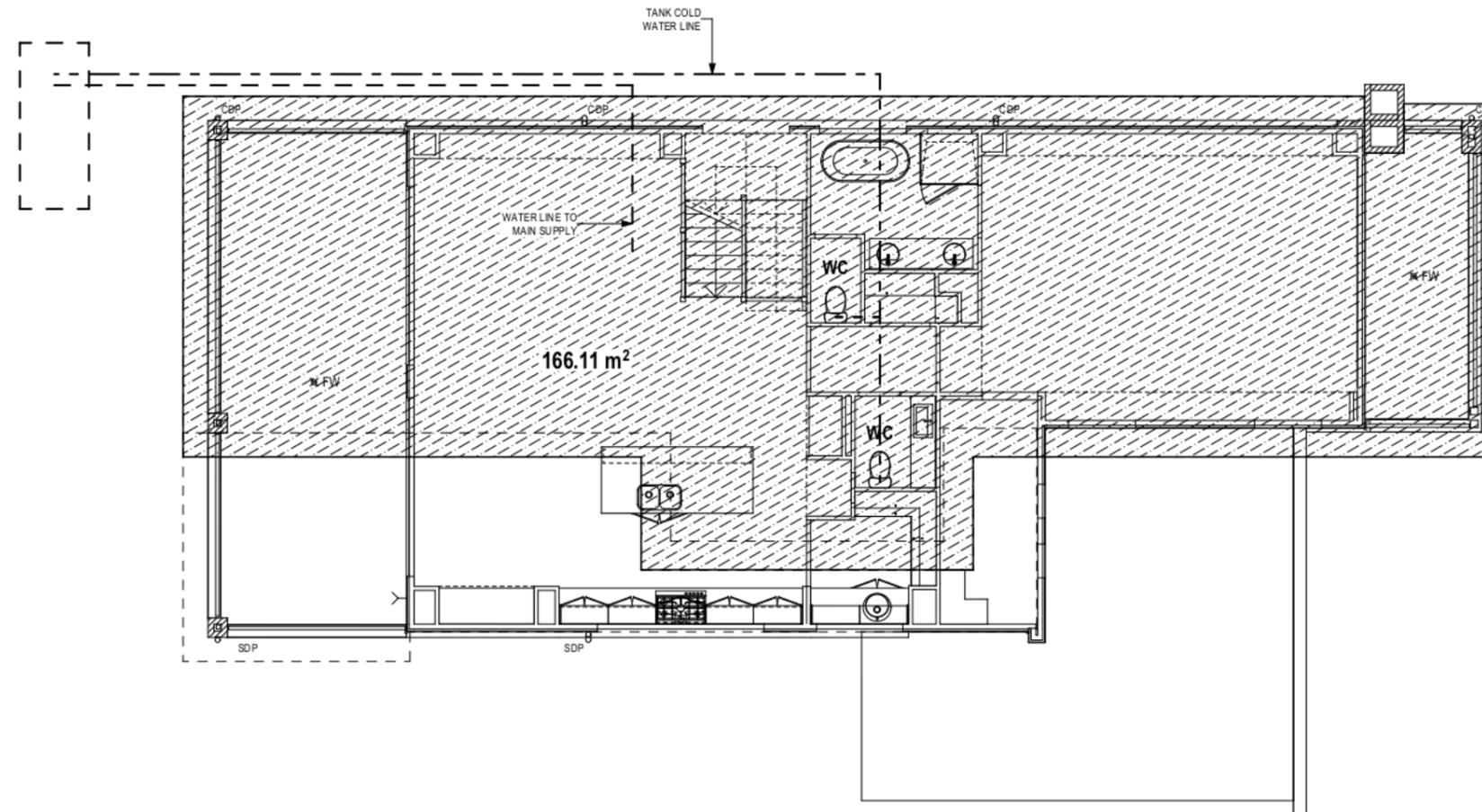
NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS TO BE DIVERTED TO WATER TANK. BALANCE TO STREET KERB. COLLECTION AREA = 166.11m²

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED TO STREET KERB.

PLUMBING LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS
TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY
ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)
ALL DRAINAGE LINES ARE FOR ROOF WATER/WATER TANK DRAINAGE ONLY

- RECYCLED COLD WATER LINE
- TANK COLD WATER LINE
- WATER LINE TO MAIN SUPPLY
- CHARGED LINE TO WATER TANK
- WATER TANK OVERFLOW
- STORMWATER OVERFLOW
- WASHING MACHINE
- WATER CLOSET
- YARD TAP



WATER MANAGEMENT (FIRST FLOOR)
Scale: 1:100

5.7
NATIONWIDE HOUSE ENERGY RATING SCHEME
72.6
www.nathers.gov.au

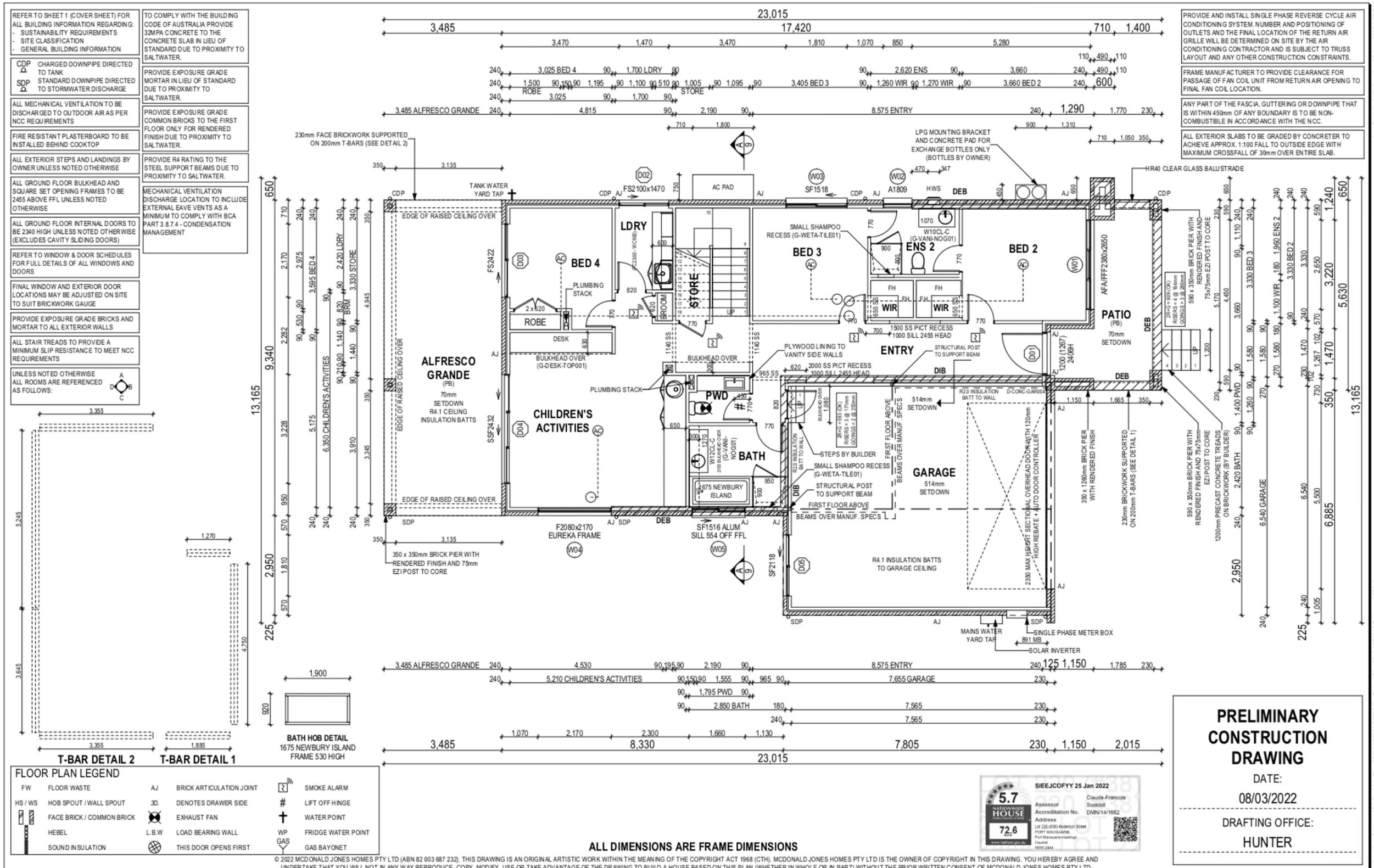
SIEEJCIFY 25 Jan 2022
Assessor: Claude-Francois Sookloll
Accreditation No. DMN/14/1662
Address: Lot 220 (938) Anderson Street PORT MACQUARIE Port Macquarie-Hastings Council NSW 2444

PRELIMINARY CONSTRUCTION DRAWING
DATE: 08/03/2022
DRAFTING OFFICE: HUNTER

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COPYRIGHT: © 2022	ADDRESS: 38 ANDERSON STREET, PORT MACQUARIE NSW 2444	FACADE DESIGN: AIRLIE	SHEET TITLE: WATER MANAGEMENT PLAN (FF)	SHEET No.: 5 / 22	SCALES: 1:100													

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK

SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL EXTERIOR STEPS AND LANDINGS BY OWNER UNLESS NOTED OTHERWISE

ALL FIRST FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL FIRST FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE (EXCLUDES CAVITY SLIDING DOORS)

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC REQUIREMENTS

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY THE NCC

PROVIDE FLOOR WASTE AND OVERFLOW SPITTERS TO UPPER FLOOR TANKED BALCONIES WHERE APPLICABLE AS PER:

- G-FACA-BALC02 (PFC/BRICKWORK)
- G-FRAM-BALC01 (LIGHTWEIGHT CLADDING)

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

MECHANICAL VENTILATION DISCHARGE LOCATION TO INCLUDE EXTERNAL EAVE VENTS AS A MINIMUM TO COMPLY WITH BCA PART 3.8.7.4 - CONDENSATION MANAGEMENT

STAIR VOID DETAIL

350 x 350mm BRICK PIER WITH RENDERED FINISH AND 75mm EZI POST TO CORE

HR40 CLEAR GLASS BALUSTRADE

3° ROOF PITCH

COLORBOND CAPPING

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE NCC.

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

FLOOR PLAN LEGEND

FW FLOOR WASTE	AJ BRICK ARTICULATION JOINT	☼ SMOKE ALARM
HS / WS HOB SPOUT / WALL SPOUT	3D DENOTES DRAWER SIDE	☼ LIFT OFF HINGE
FACE BRICK / COMMON BRICK	☼ EXHAUST FAN	☼ WATER POINT
HEBEL	L.B.W LOAD BEARING WALL	WP FRIDGE WATER POINT
SOUND IN SULATION	☼ THIS DOOR OPENS FIRST	☼ GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

5.7
NATION HOUSE
MARKET RATING SCALE

72.6
MARK

www.nathouse.gov.au

SIEEJCIFY 25 Jan 2022

Assessor: Claude-Francois Sookloll
Accreditation No. DMN/14/1662

Address: Lot 220 (#38) Anderson Street, PORT MACQUARIE, Port Macquarie-Hastings Council, NSW 2444

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WINDOW SCHEDULE

^{0,1} ASSUME LOOKING FROM OUTSIDE

ID	CODE ⁰	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m ²)	GLAZING TYPE	ADDITIONAL INFORMATION ¹
W01	AFA/FFF2380x2650	BED 2	2,380	2,650	10,060	6.31	ALUMINIUM	N/A	SNAP HEADER	NW	5.19	CLEAR, DOUBLE GLAZED	BP 780, MP 883-883/883-883
W02	A1809	ENS 2	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	SW	1.21	CLEAR, DOUBLE GLAZED, TOUGHENED	52MM DOUBLE GLAZING
W03	SF1518	BED 3	1,460	1,810	6,540	2.64	ALUMINIUM	N/A	ANGLED	SW	2.35	CLEAR, DOUBLE GLAZED	
W04	F2080x2170	CHILDREN'S ACTIVITIES	2,080	2,170	8,500	4.51	ALUMINIUM	N/A	SNAP HEADER	NE	4.21	CLEAR, DOUBLE GLAZED, TOUGHENED	
W05	SF1516	BATH	1,460	1,570	6,060	2.29	ALUMINIUM	N/A	ANGLED	NE	2.02	CLEAR, DOUBLE GLAZED, TOUGHENED	
W06	A1806	WIR	1,800	610	4,820	1.10	ALUMINIUM	N/A	NONE	NW	0.81	CLEAR, DOUBLE GLAZED	52MM DOUBLE GLAZING
W07	A1806	WIR	1,800	610	4,820	1.10	ALUMINIUM	N/A	NONE	NW	0.81	CLEAR, DOUBLE GLAZED	52MM DOUBLE GLAZING
W08	FS0912	MASTER SUITE	860	1,210	4,140	1.04	ALUMINIUM	N/A	NONE	NE	0.86	CLEAR, DOUBLE GLAZED	
W09	SF0912	MASTER SUITE	860	1,210	4,140	1.04	ALUMINIUM	N/A	NONE	NE	0.86	CLEAR, DOUBLE GLAZED	
W10	FFFF950x4100	MASTER SUITE	950	4,100	9,440	2.41	ALUMINIUM	N/A	NONE	NW	1.86	CLEAR, DOUBLE GLAZED, TOUGHENED	RAKED TOP, LOW END HEIGHT 227mm, HIGH END HEIGHT 950mm, MP 1025-1025-1025
W11	SF1216	ENS	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	SW	1.64	CLEAR, DOUBLE GLAZED, TOUGHENED	
W12	F/F/F/F/F2380x1570	STAIRWELL	2,380	1,570	7,900	3.74	ALUMINIUM	N/A	NONE	SW	3.03	CLEAR, DOUBLE GLAZED, TOUGHENED	BP 476/952/1428/1904
W13	F662x3010	KITCHEN	662	3,010	7,344	1.99	ALUMINIUM	N/A	NONE	NE	1.73	CLEAR, TOUGHENED	
W14	F662x1560	BUTLER'S PANTRY	662	1,560	4,444	1.03	ALUMINIUM	N/A	NONE	NE	0.88	CLEAR, DOUBLE GLAZED, TOUGHENED	
						32.61							27.46

EXTERIOR DOOR SCHEDULE

^{0,1} ASSUME LOOKING FROM OUTSIDE

ID	CODE ⁰	ROOM	HEIGHT	WIDTH	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION ¹
D01	1200	ENTRY	2,406	1,267	3.05	TIMBER	N/A	SNAP HEADER	NW	DOOR(S): OBSCURE, DOUBLE GLAZED - SIDELIGHT(S): N/A	SWINGING	NEWINGTON XN16
D02	FS2100x1470	LDRY	2,100	1,470	3.09	ALUMINIUM	N/A	SNAP HEADER	SW	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D03	FS2422	BED 4	2,400	2,170	5.21	ALUMINIUM	N/A	SNAP HEADER	SE	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D04	SSF2432	CHILDREN'S ACTIVITIES	2,400	3,228	7.75	ALUMINIUM	N/A	SNAP HEADER	SE	CLEAR, DOUBLE GLAZED, TOUGHENED	STACKER	
D05	SF2118	GARAGE	2,100	1,810	3.80	ALUMINIUM	N/A	SNAP HEADER	SE	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D06	FSSF2400x4100	MASTER SUITE	2,400	4,100	9.84	ALUMINIUM	N/A	NONE	NW	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D07	FSS2432	FAMILY / LIVING	2,400	3,228	7.75	ALUMINIUM	N/A	NONE	SE	CLEAR, DOUBLE GLAZED, TOUGHENED	STACKER	
D08	SSF2432	FAMILY / LIVING	2,400	3,228	7.75	ALUMINIUM	N/A	NONE	SE	CLEAR, DOUBLE GLAZED, TOUGHENED	STACKER	
						48.24 m²						

INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1000 SS	SQUARE SET OPENING	2,455	1,000	N/A	
2	1140 SS	SQUARE SET OPENING	2,455	1,140	N/A	
1	1185 SS	SQUARE SET OPENING	2,455	1,185	N/A	
1	1200 SS	SQUARE SET OPENING	2,455	1,200	N/A	
1	2 x 520	SWINGING	2,340	1,040	N/A	
1	2 x 620	SWINGING	2,340	1,240	N/A	
1	620	SWINGING	2,340	620	N/A	
2	650 SS	SQUARE SET OPENING	2,455	650	N/A	
2	720	SWINGING	2,340	720	N/A	LIFT-OFF HINGES
7	770	SWINGING	2,340	770	N/A	
1	770	SWINGING	2,340	770	N/A	LIFT-OFF HINGES
3	820	SWINGING	2,340	820	N/A	
1	950 SS	SQUARE SET OPENING	2,455	950	N/A	
1	965 SS	SQUARE SET OPENING	2,455	965	N/A	

PICTURE/TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m ²)
1	PICT RECESS	1,455	2.00	2.91
1	PICT RECESS	1,455	1.50	2.18

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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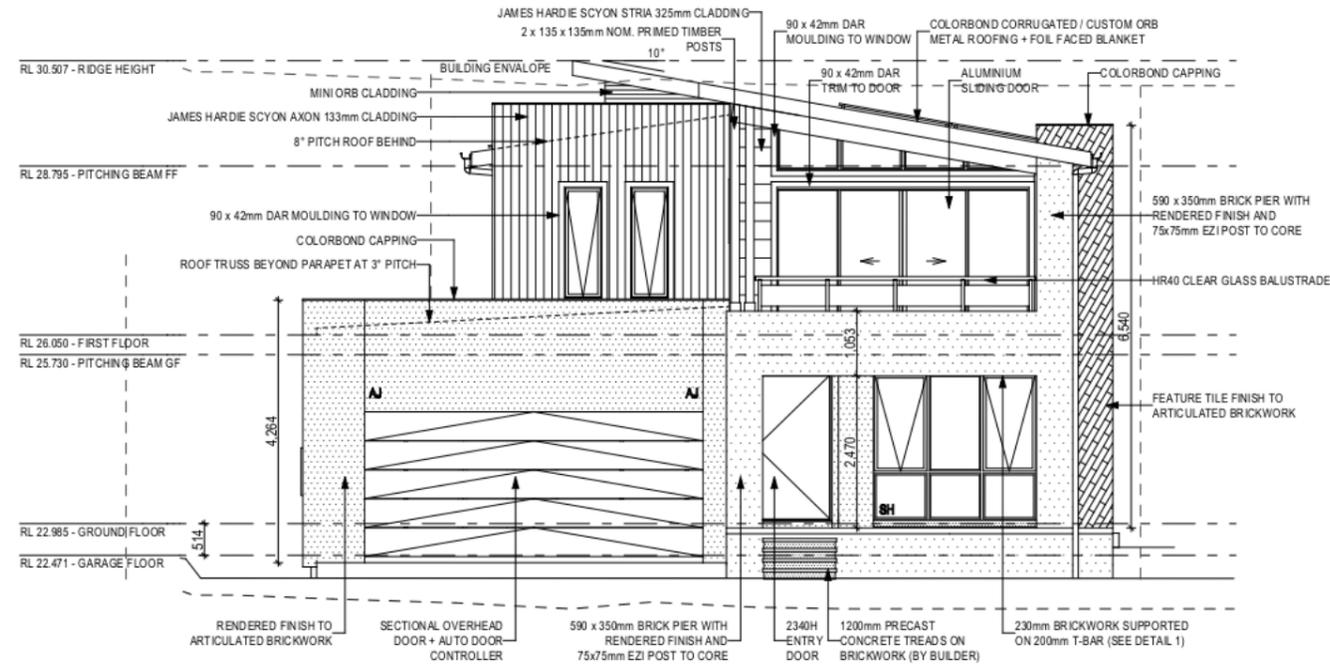
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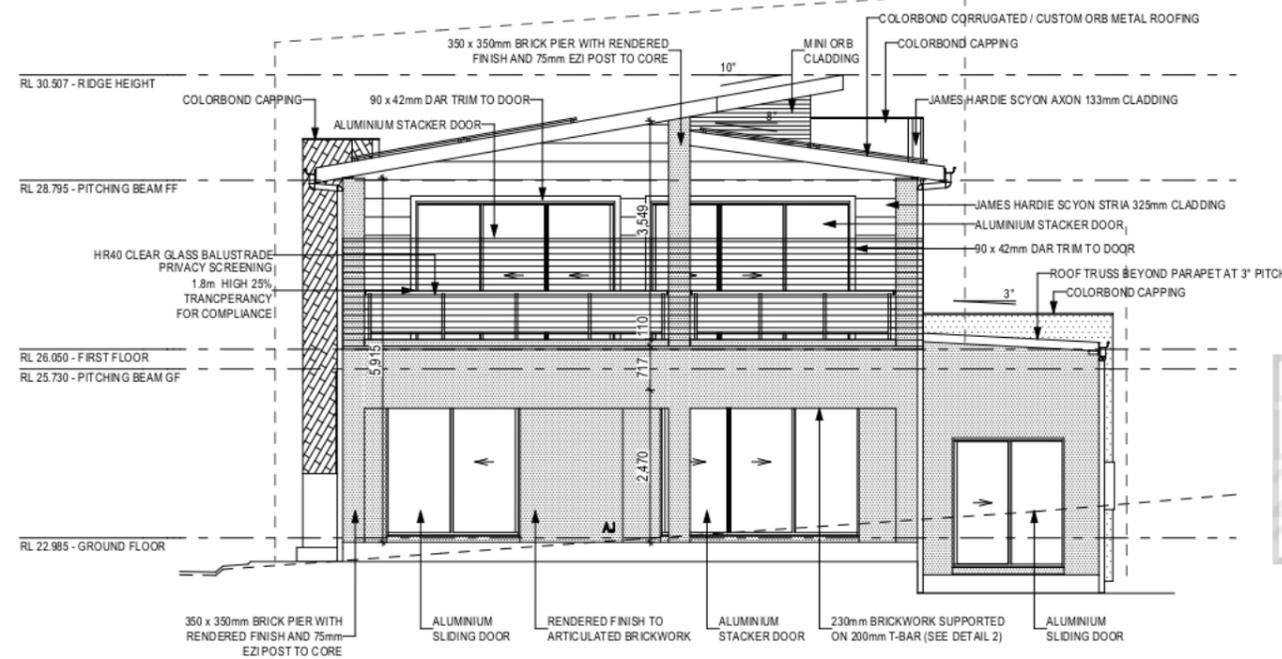
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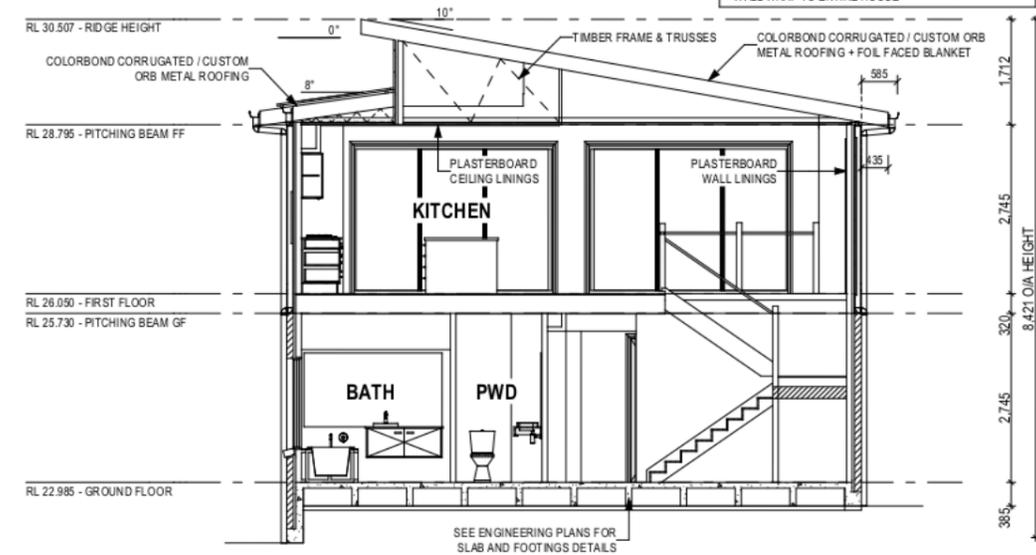
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FRONT ELEVATION (NORTH-WEST)
Scale: 1:100



REAR ELEVATION (SOUTH-EAST)
Scale: 1:100



SECTION A-A
Scale: 1:100

SIEEJCOFYY 25 Jan 2022

5.7
NATIONWIDE HOUSE ENERGY RATING SCHEME
72.6
www.nathers.gov.au

Assessor: Claude-Francois Sookloll
Accreditation No.: DMN/14/1662
Address: Lot 220 (#38) Anderson Street, PORT MACQUARIE, Port Macquarie-Hastings Council, NSW 2444

GLASS TYPE LEGEND

CLEAR (represented by a white square)
OBSCURE (represented by a hatched square)

WINDOW TYPE LEGEND

AWNING (represented by a triangle pointing down)
DOUBLE HUNG (represented by a rectangle with two panes and arrows)
FIXED (represented by a simple rectangle)
LOUVRE (represented by a rectangle with horizontal lines)
SLIDING (represented by a rectangle with a vertical line and arrow)

PRELIMINARY CONSTRUCTION DRAWING

DATE: 08/03/2022

DRAFTING OFFICE: HUNTER

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SPECIFICATION:	TWO STOREY
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REVISION	DRAWN
16 AMEND. SOLAR PANELS (NON-STRUCT.)	TLU 2022.05.11
17 AMEND. TREES REMOVED (NON-STRUCT.)	TLU 2022.05.11
18 AMENDMENT FOR DA RFI	HPA 2022.05.17
19 AMEND. SOLAR LOCATION	LMD 2022.06.06
20 OVERALL HEIGHT 8.5M	HPA 2022.06.15

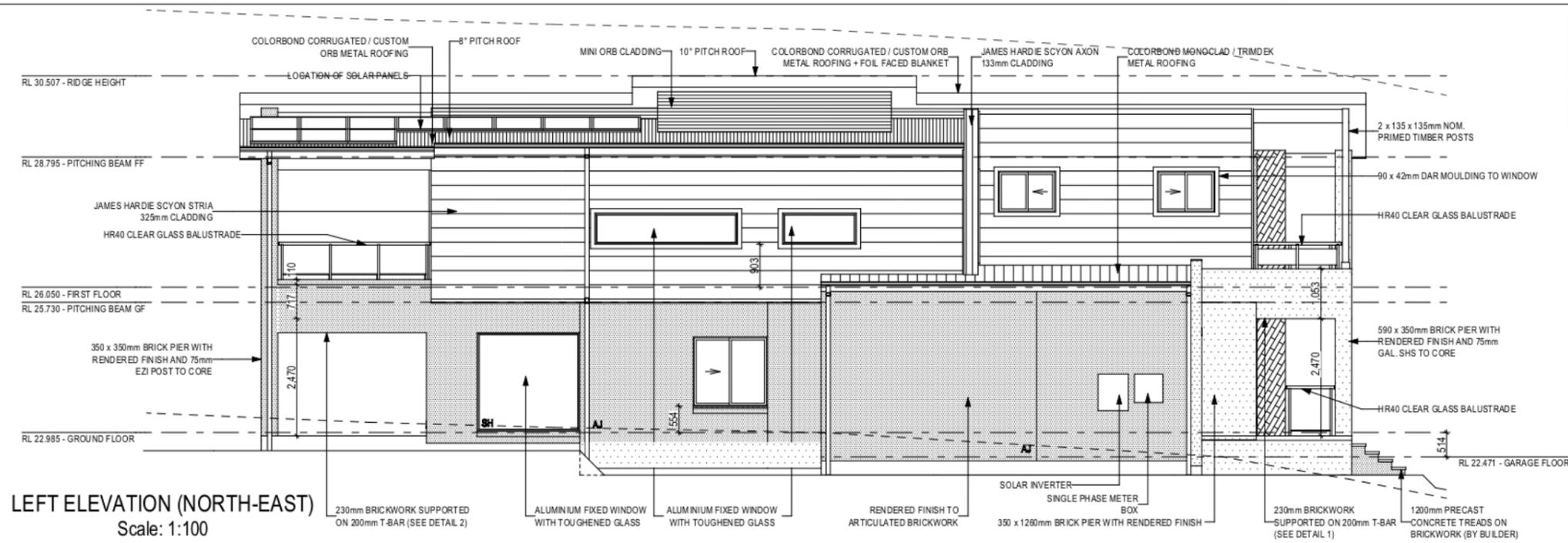
CLIENT:	MRS. MARIANNE TATTAM & MR. GEORGE TATTAM
ADDRESS:	38 ANDERSON STREET, PORT MACQUARIE NSW 2444
LOT / SECTION / DP:	220 / - / 208479
COUNCIL:	PORT MACQUARIE-HASTINGS COUNCIL

HOUSE DESIGN:	MASSENA 30 TWO
FACADE DESIGN:	AIRLIE
SHEET TITLE:	ELEVATIONS / SECTION
SHEET No.:	9 / 22

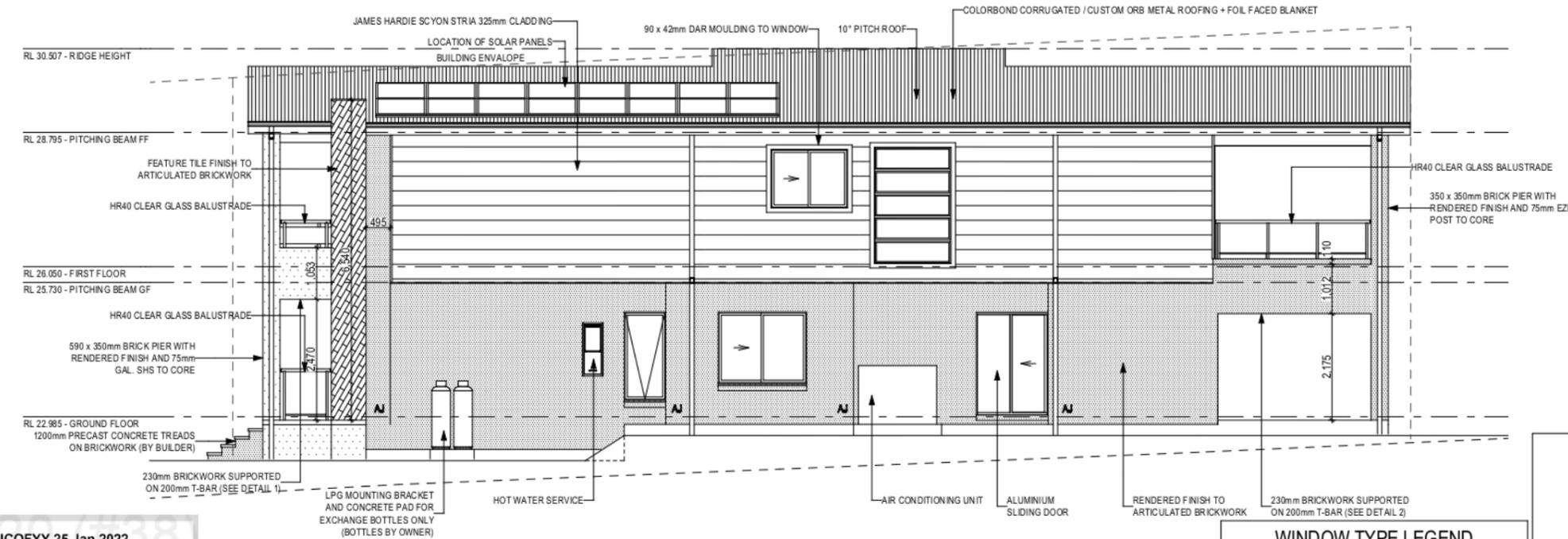
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FACADE CODE:	F-MASAIRL02
SCALES:	1:100

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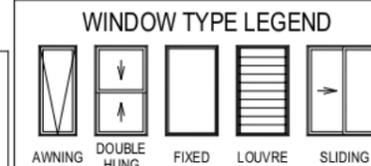
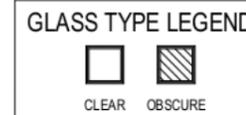
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Template Version: 21.024



LEFT ELEVATION (NORTH-EAST)
Scale: 1:100



RIGHT ELEVATION (SOUTH-WEST)
Scale: 1:100



**PRELIMINARY
CONSTRUCTION
DRAWING**

DATE:
08/03/2022

DRAFTING OFFICE:
HUNTER

5.7
NATIONWIDE
HOUSE
ENERGY RATING CLASS

72.6
MARK

www.nathers.gov.au

SIEEJCIFY 25 Jan 2022

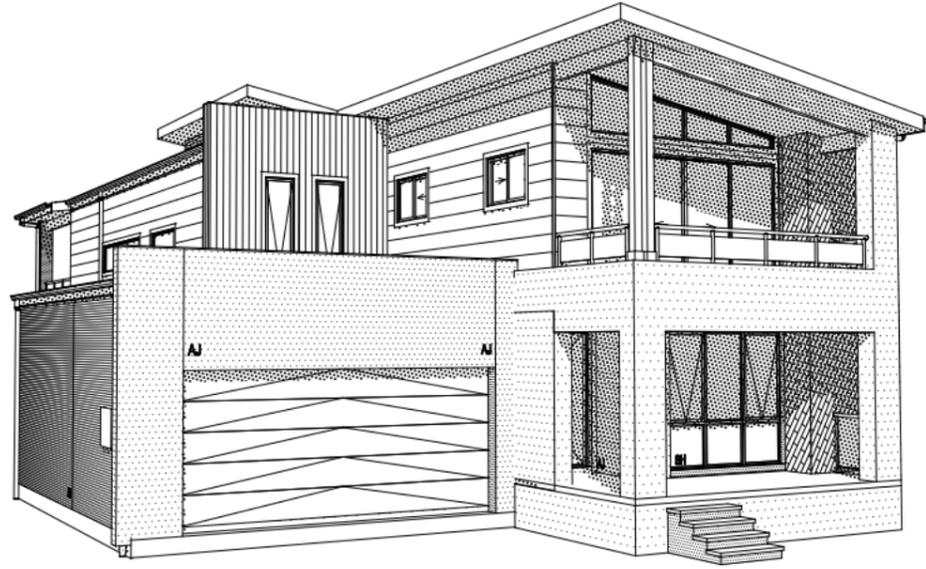
Assessor: Claude-Francois Sookloll
Accreditation No. DMN/14/1662

Address: Lot 220 (R36) Anderson Street, PORT MACQUARIE, Port Macquarie-Hastings Council, NSW 2444

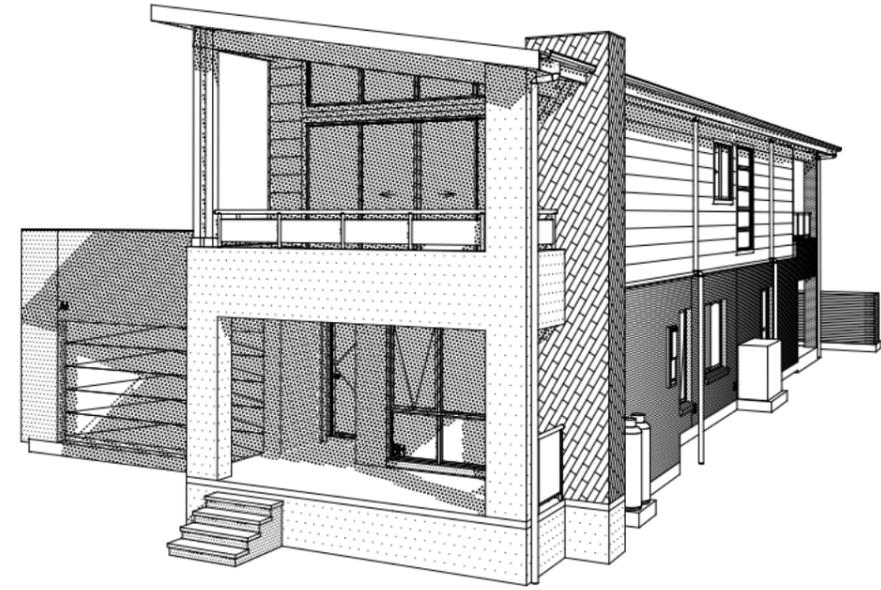
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<p>McDonald Jones YOUR HOME, YOUR DREAM</p>	SPECIFICATION: TWO STOREY	REVISION 16 AMEND. SOLAR PANELS (NON-STRUCT.) TLU 2022.05.11 17 AMEND. TREES REMOVED (NON-STRUCT.) TLU 2022.05.11 18 AMENDMENT FOR DA RFI HPA 2022.05.17 19 AMEND. SOLAR LOCATION LMD 2022.06.06 20 OVERALL HEIGHT 8.5M HPA 2022.06.15	DRAWN TLU 2022.05.11 TLU 2022.05.11 HPA 2022.05.17 LMD 2022.06.06 HPA 2022.06.15	CLIENT: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM	HOUSE DESIGN: MASSENA 30 TWO	HOUSE CODE: H-MASCLAD16420A	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 270340
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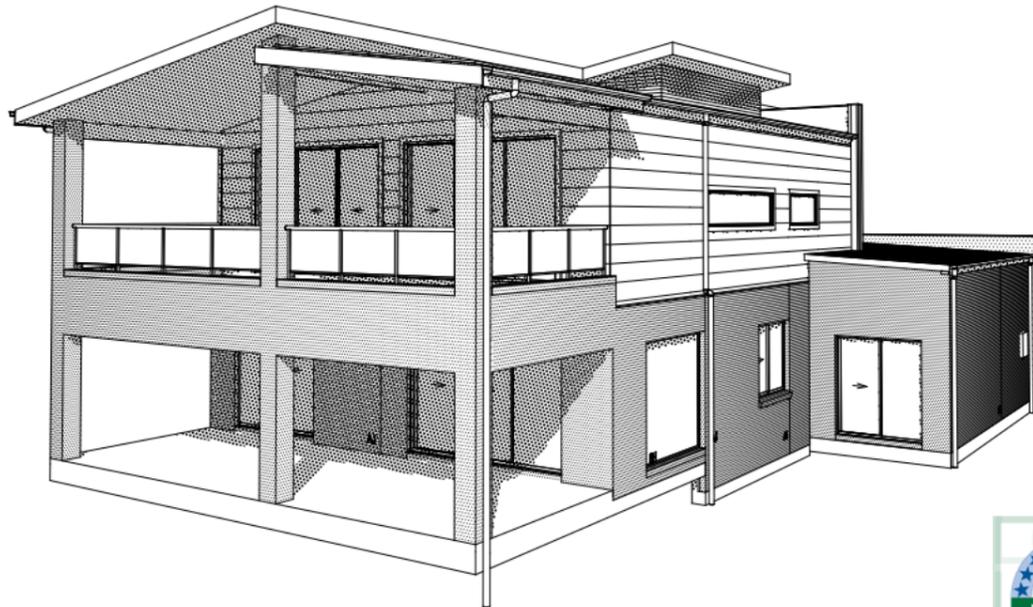
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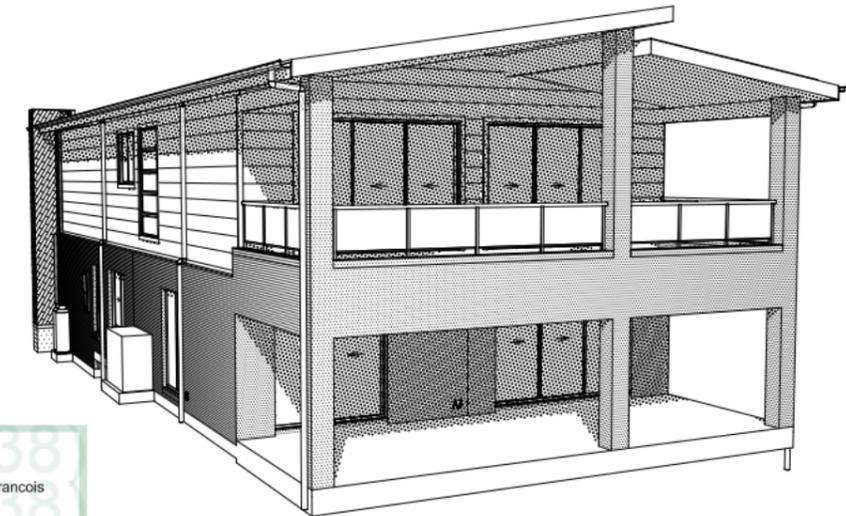
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

5.7
NATIONWIDE
HOUSE
ENERGY RATING SCHEME

72.6
MARK

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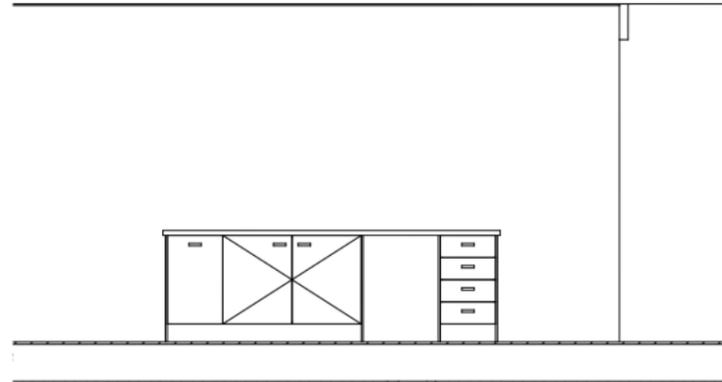
SIEEJCOFY 25 Jan 2022

Assessor: Claude-Francois Sookloll
Accreditation No.: DMN/14/1662

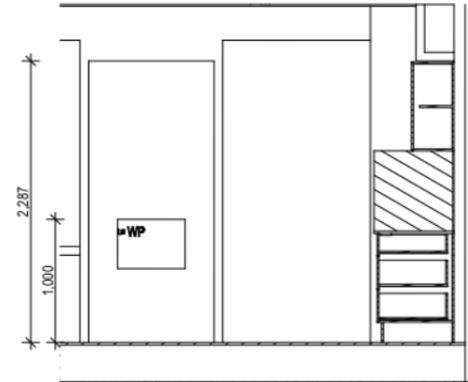
Address: Lot 220 (R38) Anderson Street
PORT MACQUARIE
Port Macquarie-Hastings Council
NSW 2444

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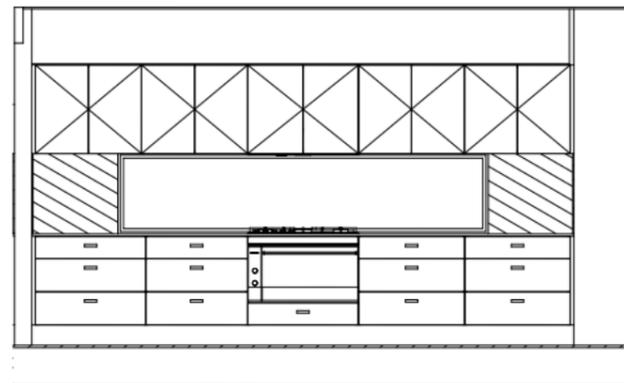
<p>McDonald Jones YOUR HOME, YOUR DREAM</p>	SPECIFICATION: TWO STOREY COPYRIGHT: © 2022	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>16 AMEND. SOLAR PANELS (NON-STRUCT.)</td> <td>TLU 2022.05.11</td> </tr> <tr> <td>17 AMEND. TREES REMOVED (NON-STRUCT.)</td> <td>TLU 2022.05.11</td> </tr> <tr> <td>18 AMENDMENT FOR DA RFI</td> <td>HPA 2022.05.17</td> </tr> <tr> <td>19 AMEND. SOLAR LOCATION</td> <td>LMD 2022.06.06</td> </tr> <tr> <td>20 OVERALL HEIGHT 8.5M</td> <td>HPA 2022.06.15</td> </tr> </tbody> </table>	REVISION	DRAWN	16 AMEND. SOLAR PANELS (NON-STRUCT.)	TLU 2022.05.11	17 AMEND. TREES REMOVED (NON-STRUCT.)	TLU 2022.05.11	18 AMENDMENT FOR DA RFI	HPA 2022.05.17	19 AMEND. SOLAR LOCATION	LMD 2022.06.06	20 OVERALL HEIGHT 8.5M	HPA 2022.06.15	CLIENT: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM ADDRESS: 38 ANDERSON STREET, PORT MACQUARIE NSW 2444 LOT / SECTION / DP: 220 / - / 208479	HOUSE DESIGN: MASSENA 30 TWO FACADE DESIGN: AIRLIE SHEET TITLE: HOUSE EXTERIOR 3D VIEWS	HOUSE CODE: H-MASCLAD16420A FACADE CODE: F-MASAIRL02 SCALES: SHEET No.: 11 / 22	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 270340
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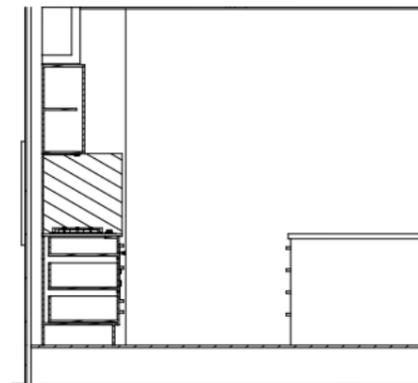
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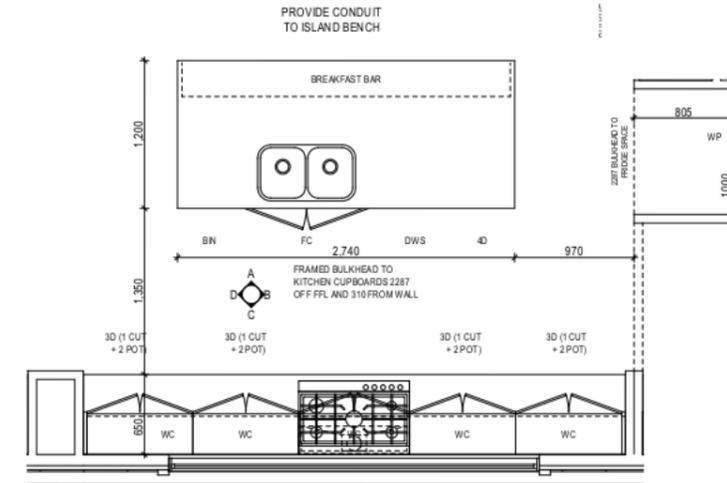
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

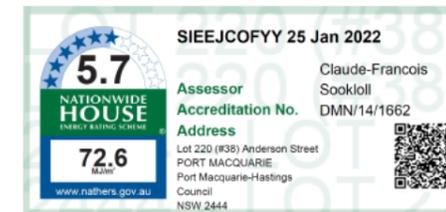
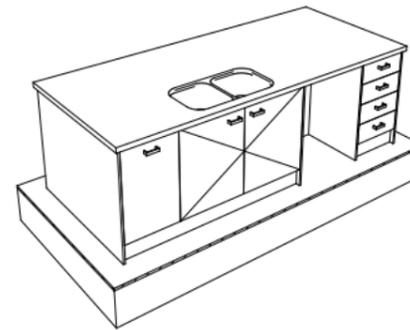
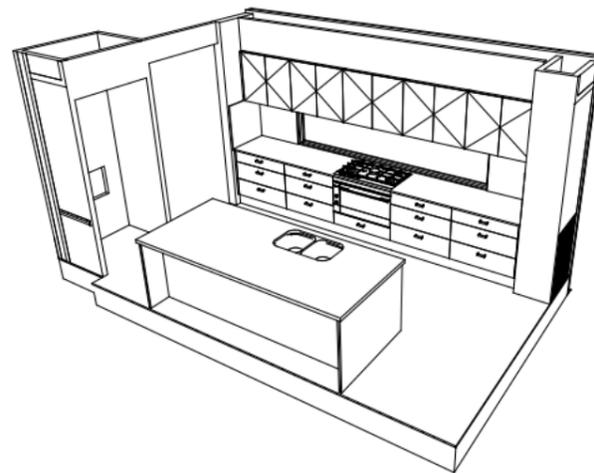


KITCHEN PLAN
Scale: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETS AS REQUIRED.

GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP



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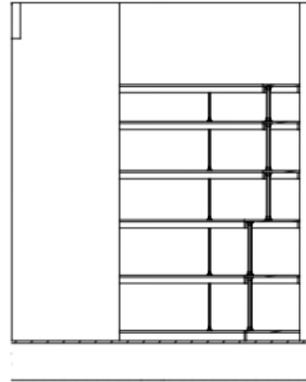
<p>mcdonald jones YOUR HOME, YOUR DREAM</p>	SPECIFICATION: TWO STOREY	REVISION 16 AMEND. SOLAR PANELS (NON-STRUCT.) TLU 2022.05.11 17 AMEND. TREES REMOVED (NON-STRUCT.) TLU 2022.05.11 18 AMENDMENT FOR DA RFI HPA 2022.05.17 19 AMEND. SOLAR LOCATION LMD 2022.06.06 20 OVERALL HEIGHT 8.5M HPA 2022.06.15	DRAWN TLU 2022.05.11 TLU 2022.05.11 HPA 2022.05.17 LMD 2022.06.06 HPA 2022.06.15	CLIENT: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM	HOUSE DESIGN: MASSENA 30 TWO	HOUSE CODE: H-MASCLAD16420A	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 270340
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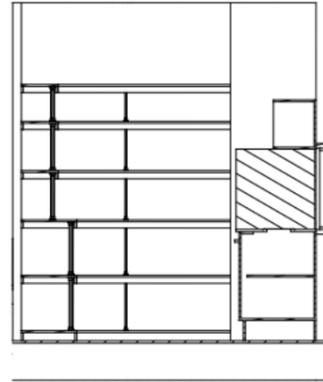
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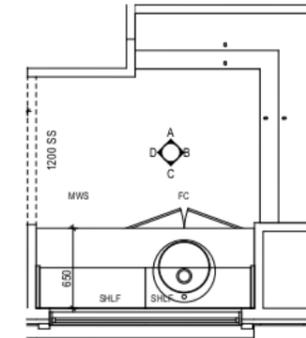
GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP



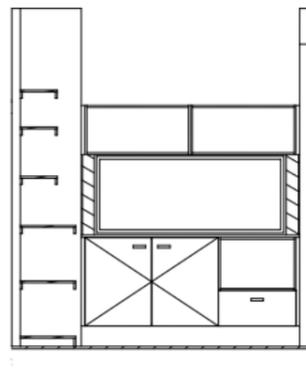
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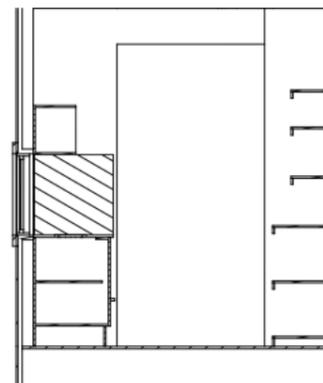
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KITCHEN PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

5.7
NATIONWIDE HOUSE ENERGY RATING SCHEME
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Assessor: Claude-Francois Sookloll
Accreditation No. DMN/14/1662
Address: Lot 220 (#38) Anderson Street, PORT MACQUARIE, Port Macquarie-Hastings Council, NSW 2444

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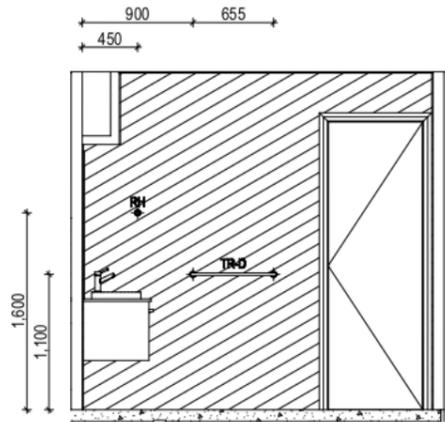
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	LOT / SECTION / DP: 220 / - / 208479	COUNCIL: PORT MACQUARIE-HASTINGS COUNCIL	SHEET TITLE: BUTLER'S PANTRY DETAILS	SHEET No.: 13 / 22	SCALES: 1:50													

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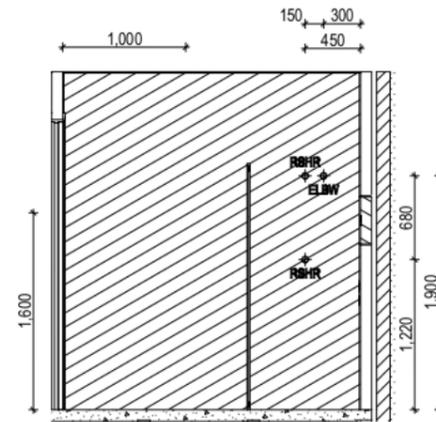
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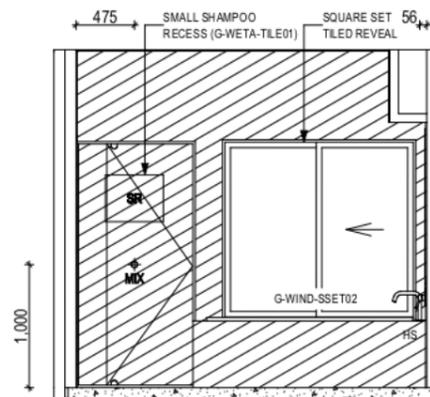
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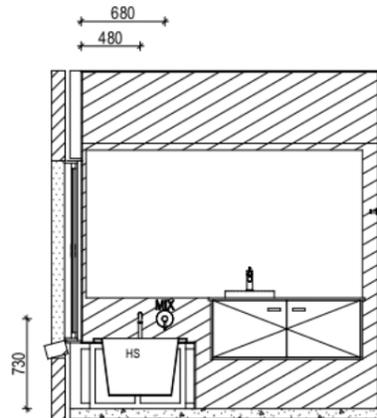
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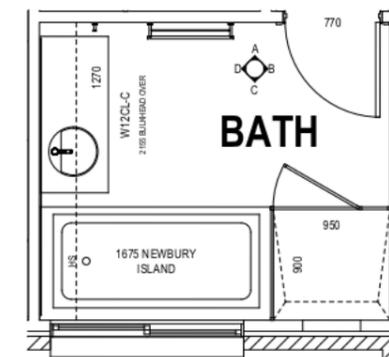
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



BATHROOM PLAN
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

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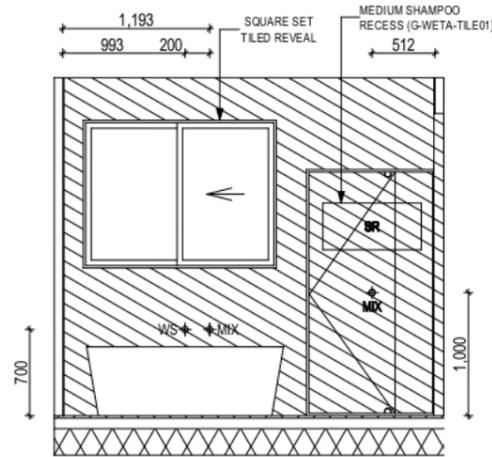
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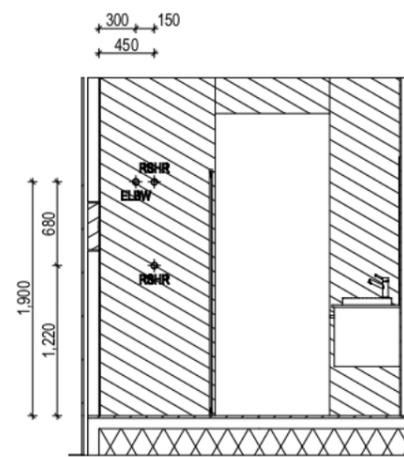
 YOUR HOME, YOUR DREAM	SPECIFICATION: TWO STOREY COPYRIGHT: © 2022	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>16 AMEND. SOLAR PANELS (NON-STRUCT.)</td> <td>TLU 2022.05.11</td> </tr> <tr> <td>17 AMEND. TREES REMOVED (NON-STRUCT.)</td> <td>TLU 2022.05.11</td> </tr> <tr> <td>18 AMENDMENT FOR DA RFI</td> <td>HPA 2022.05.17</td> </tr> <tr> <td>19 AMEND. SOLAR LOCATION</td> <td>LMD 2022.06.06</td> </tr> <tr> <td>20 OVERALL HEIGHT 8.5M</td> <td>HPA 2022.06.15</td> </tr> </tbody> </table>	REVISION	DRAWN	16 AMEND. SOLAR PANELS (NON-STRUCT.)	TLU 2022.05.11	17 AMEND. TREES REMOVED (NON-STRUCT.)	TLU 2022.05.11	18 AMENDMENT FOR DA RFI	HPA 2022.05.17	19 AMEND. SOLAR LOCATION	LMD 2022.06.06	20 OVERALL HEIGHT 8.5M	HPA 2022.06.15	CLIENT: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM ADDRESS: 38 ANDERSON STREET, PORT MACQUARIE NSW 2444 LOT / SECTION / DP: 220 / - / 208479 COUNCIL: PORT MACQUARIE-HASTINGS COUNCIL	HOUSE DESIGN: MASSENA 30 TWO FACADE DESIGN: AIRLIE SHEET TITLE: BATHROOM DETAILS SHEET No.: 14 / 22	HOUSE CODE: H-MASCLAD16420A FACADE CODE: F-MASAIRL02 SCALES: 1:50	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 270340
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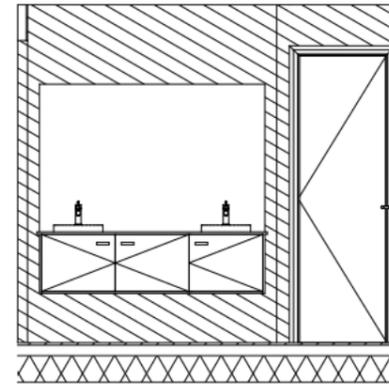
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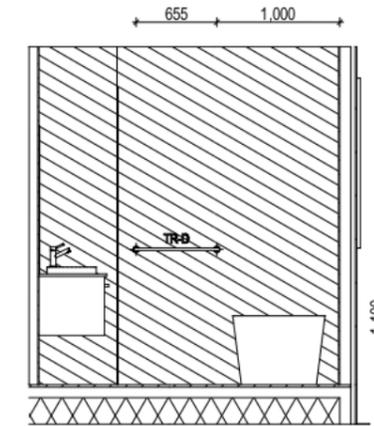
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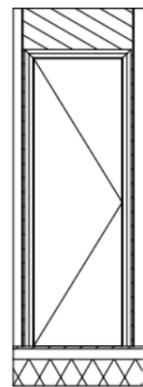
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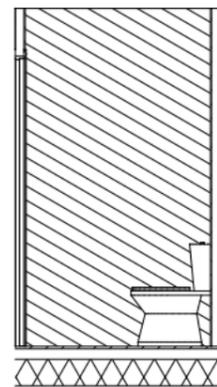
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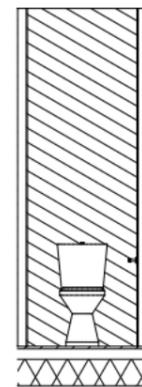
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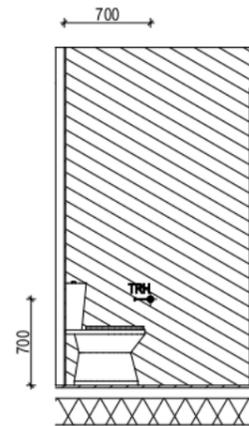
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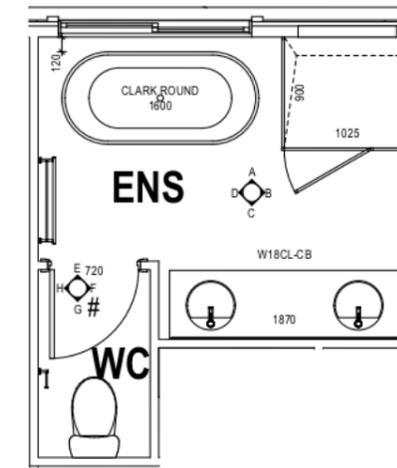
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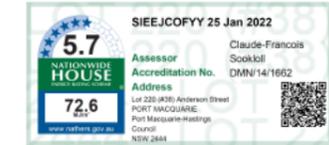
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ELEVATION H
Scale: 1:50



ENSUITE / WC PLAN
Scale: 1:50



- LEGEND**
- RSHR RAIL SHOWER
 - ROSE SHOWER ROSE
 - ELBW SHOWER ELBOW CONNECTION
 - MIX MIXER TAP
 - HT HOT TAP
 - CT COLD TAP
 - HS HOB SPOUT
 - WS WALL SPOUT
 - SC STOP COCK
 - TRH TOILET ROLL HOLDER
 - TR-S TOWEL RAIL - SINGLE
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 - TH TOWEL HOLDER
 - TR TOWEL RACK
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 - RH ROBE HOOK
 - SHLF SHELF
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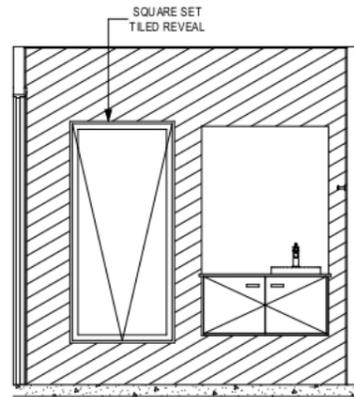
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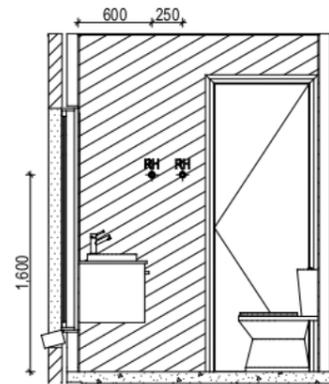
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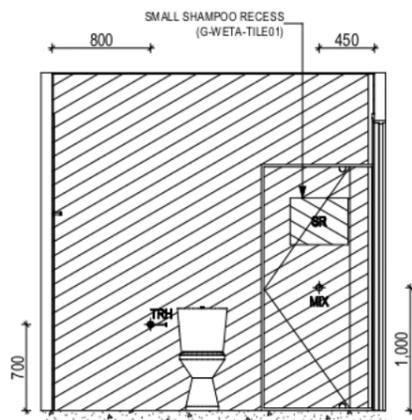
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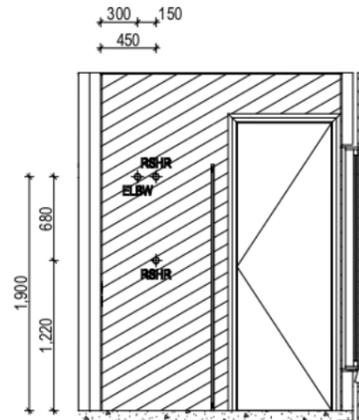
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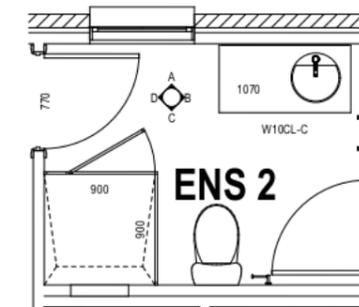
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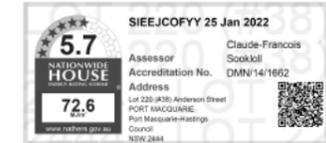
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ELEVATION D
Scale: 1:50



ENSUITE 2 PLAN
Scale: 1:50



LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
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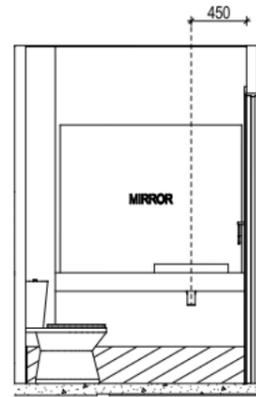
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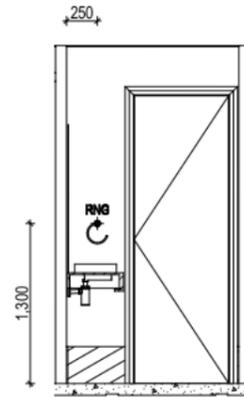
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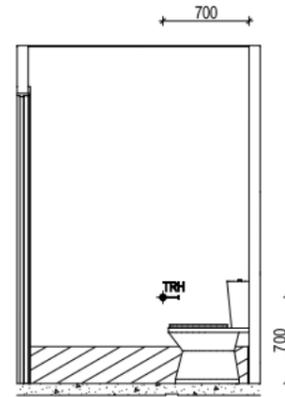
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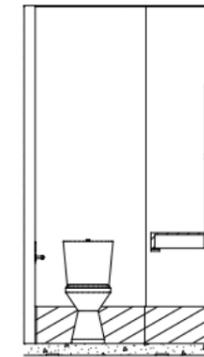
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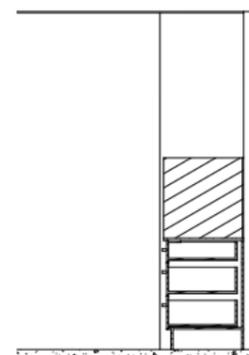
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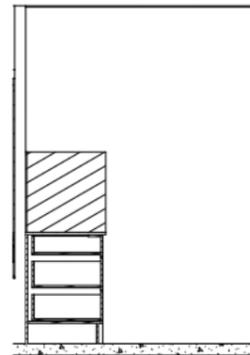
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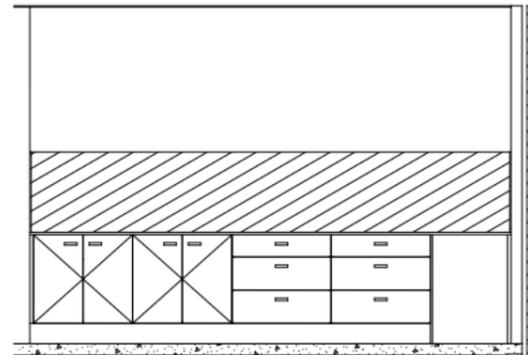
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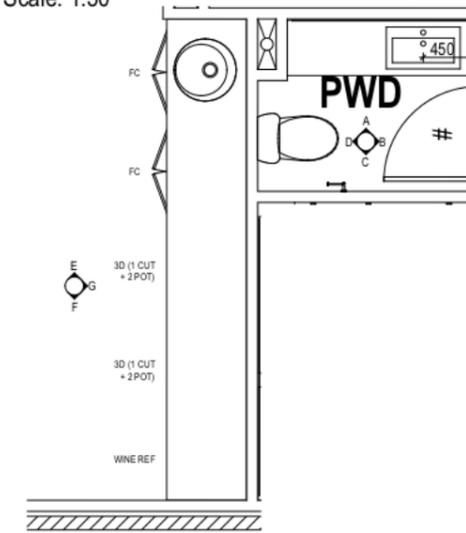
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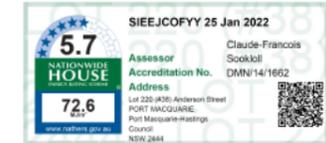
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ELEVATION G
Scale: 1:50



POWDER ROOM & WET BAR PLAN
Scale: 1:50



LEGEND

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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
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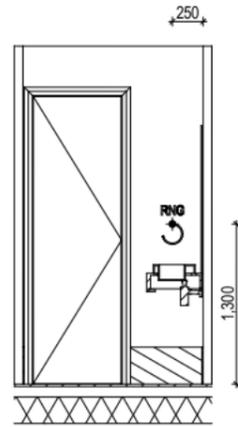
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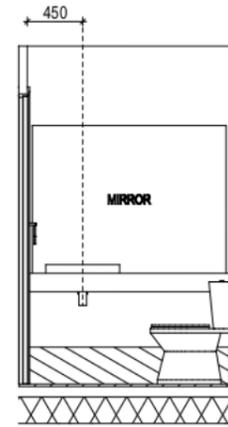
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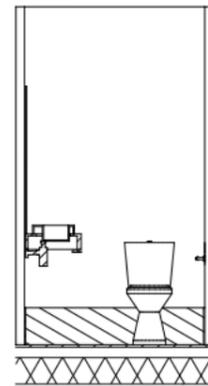
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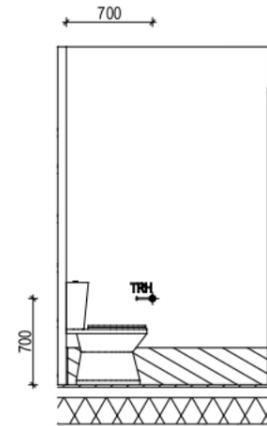
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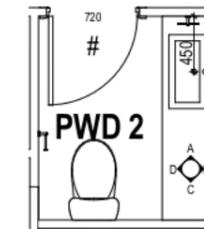
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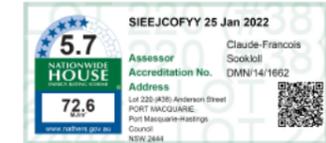
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ELEVATION D
Scale: 1:50



POWDER ROOM 2 PLAN
Scale: 1:50



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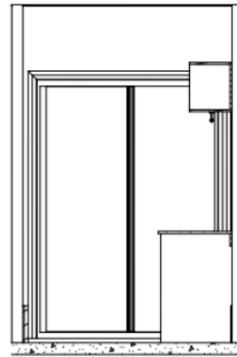
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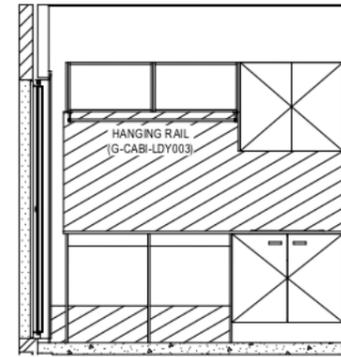
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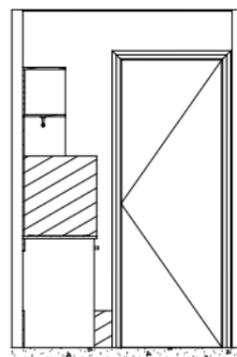
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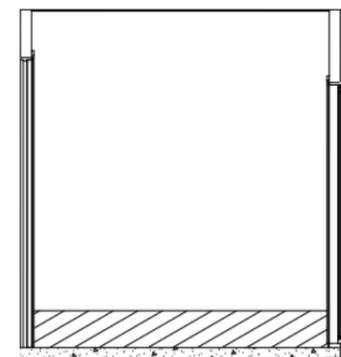
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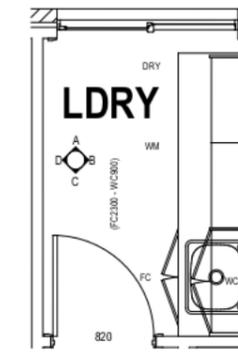
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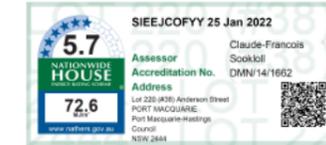
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Scale: 1:50



ELEVATION D
Scale: 1:50



LAUNDRY PLAN
Scale: 1:50



LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

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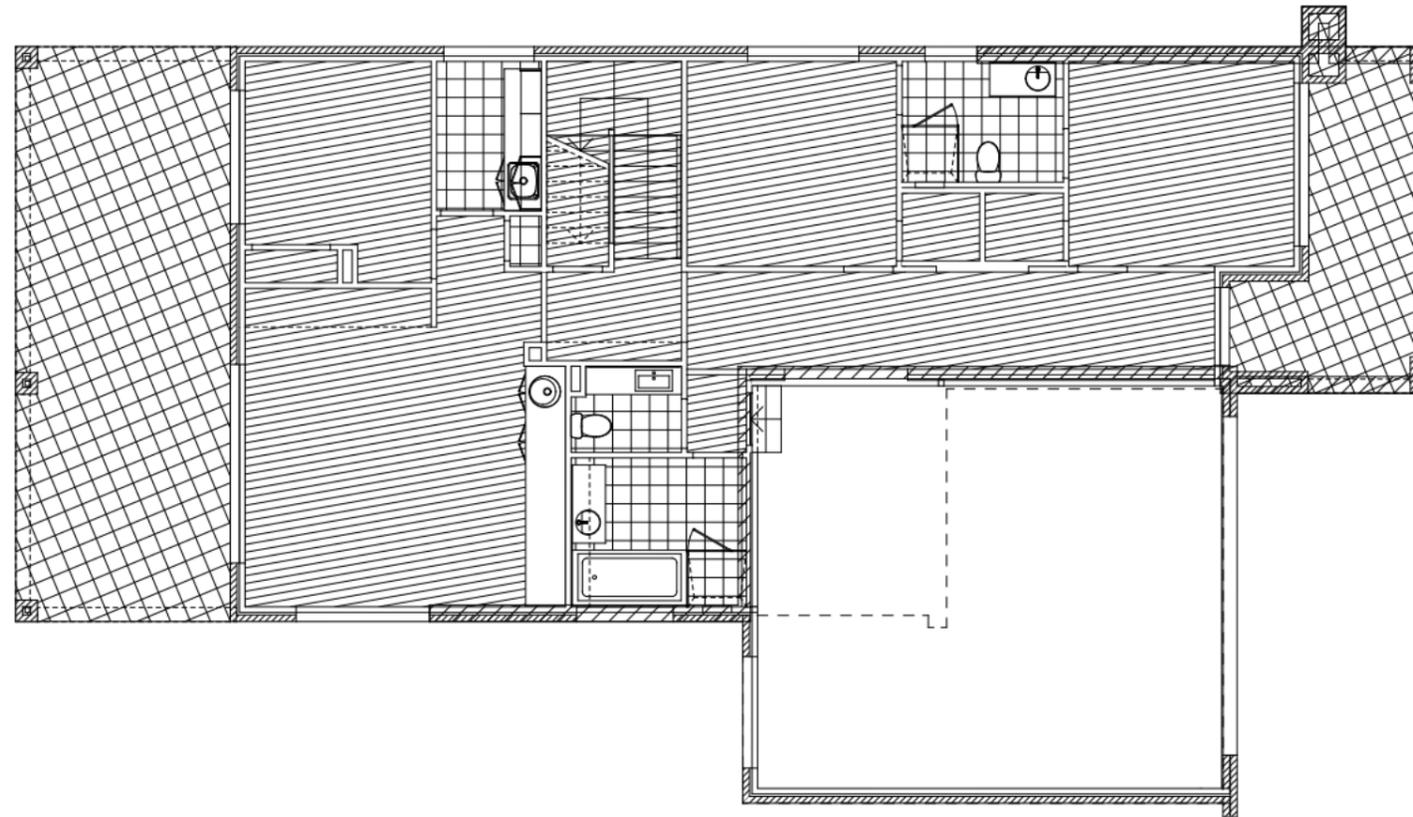
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

-  NO COVERING
-  COVER GRADE CONCRETE
-  CARPET
-  TIMBER LAMINATE (BY BUILDER)
-  TILE (STANDARD WET AREAS)
-  TILE (UPGRADED AREAS)
-  VINYL



FLOOR COVERINGS (GROUND FLOOR)
Scale: 1:100



**PRELIMINARY
CONSTRUCTION
DRAWING**

DATE:
08/03/2022

DRAFTING OFFICE:
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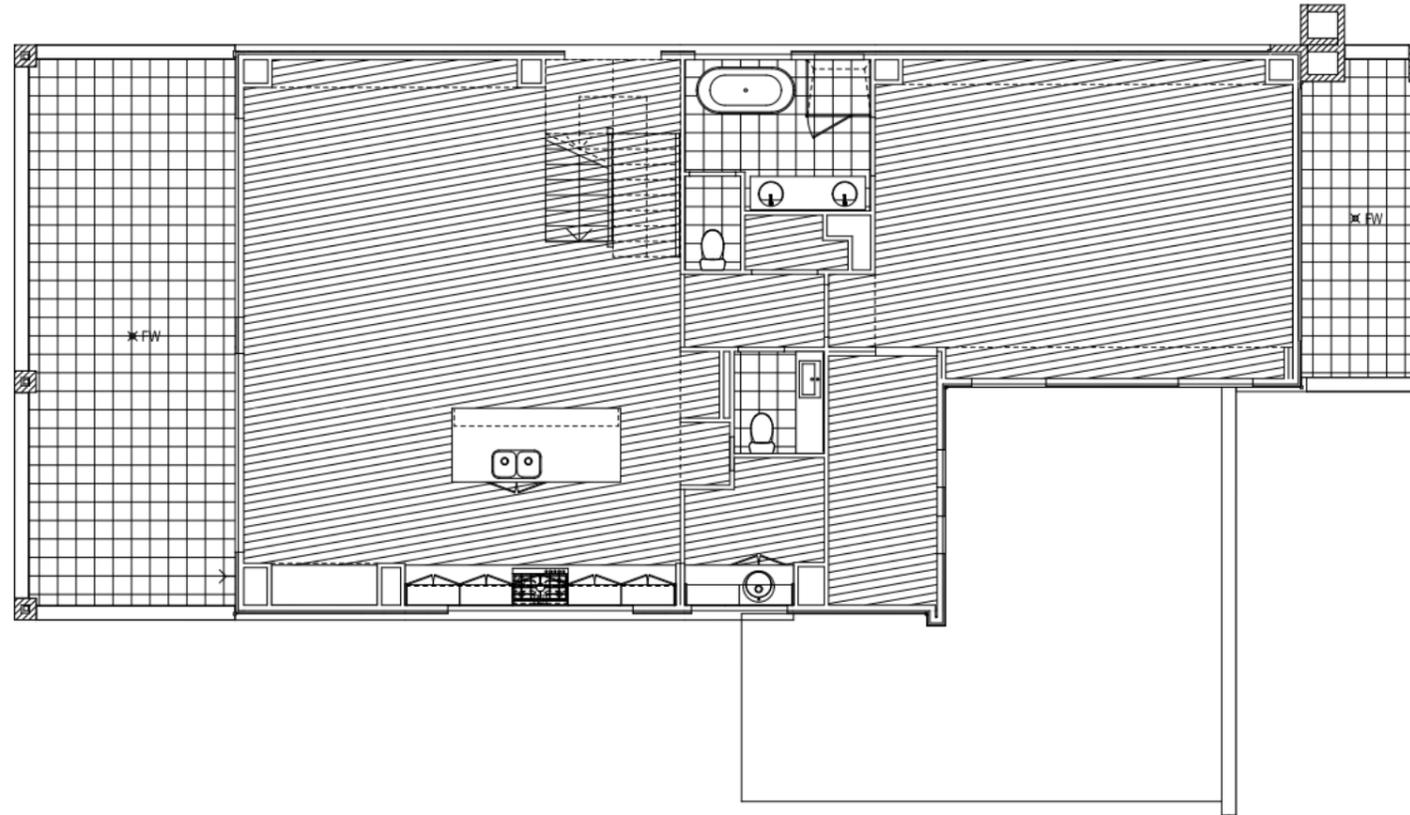
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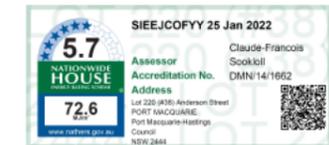
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COVERINGS LEGEND

-  NO COVERING
-  COVER GRADE CONCRETE
-  CARPET
-  TIMBER LAMINATE (BY BUILDER)
-  TILE (STANDARD WET AREAS)
-  TILE (UPGRADED AREAS)
-  VINYL



FLOOR COVERINGS (FIRST FLOOR)
Scale: 1:100



**PRELIMINARY
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DRAWING**

DATE:
08/03/2022

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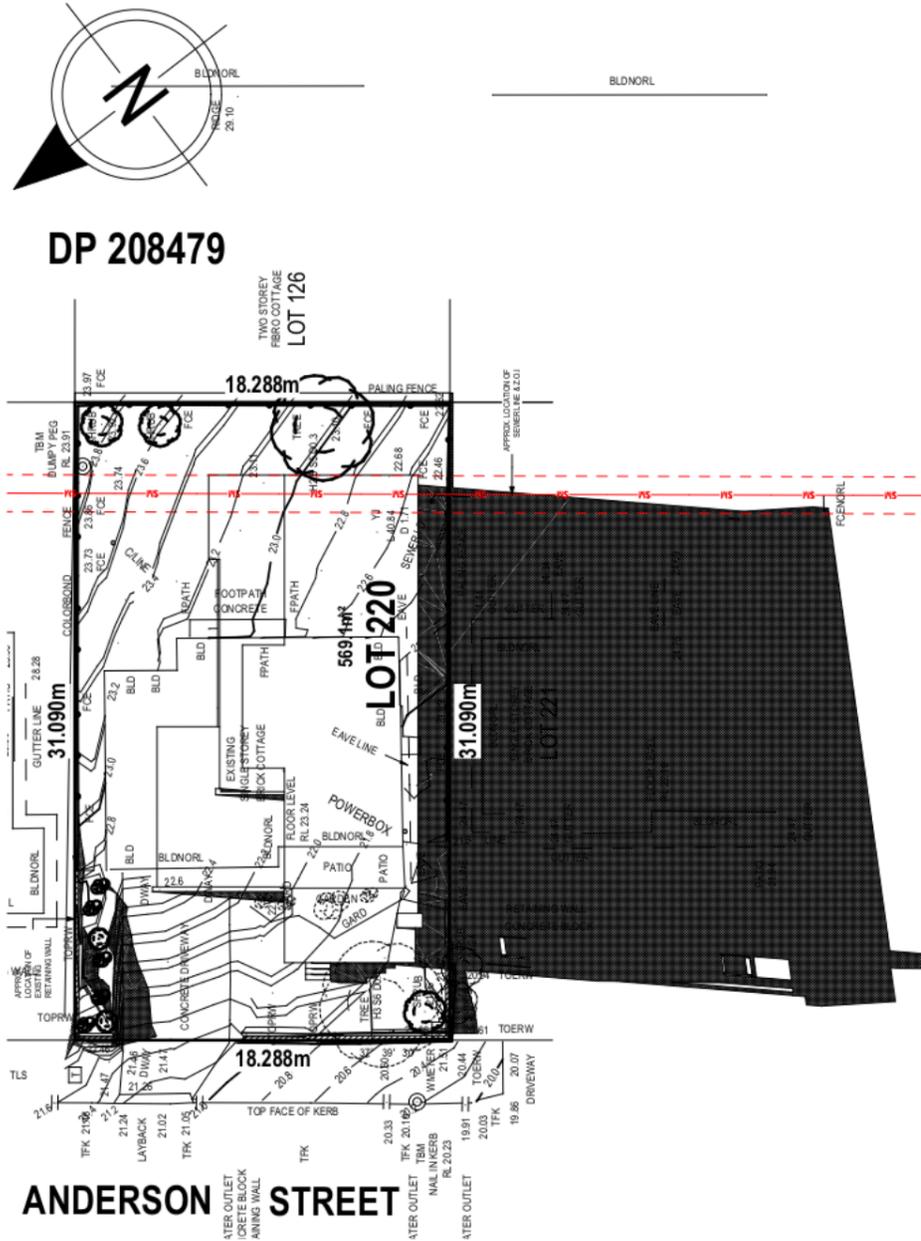
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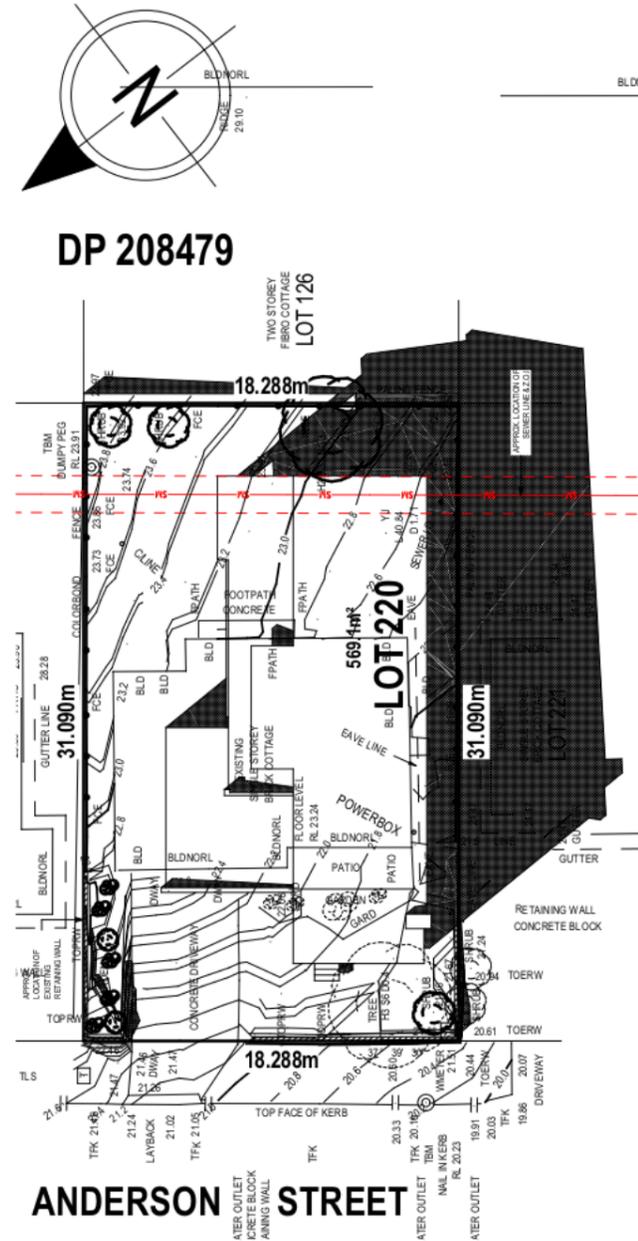
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DP 208479

ANDERSON STREET

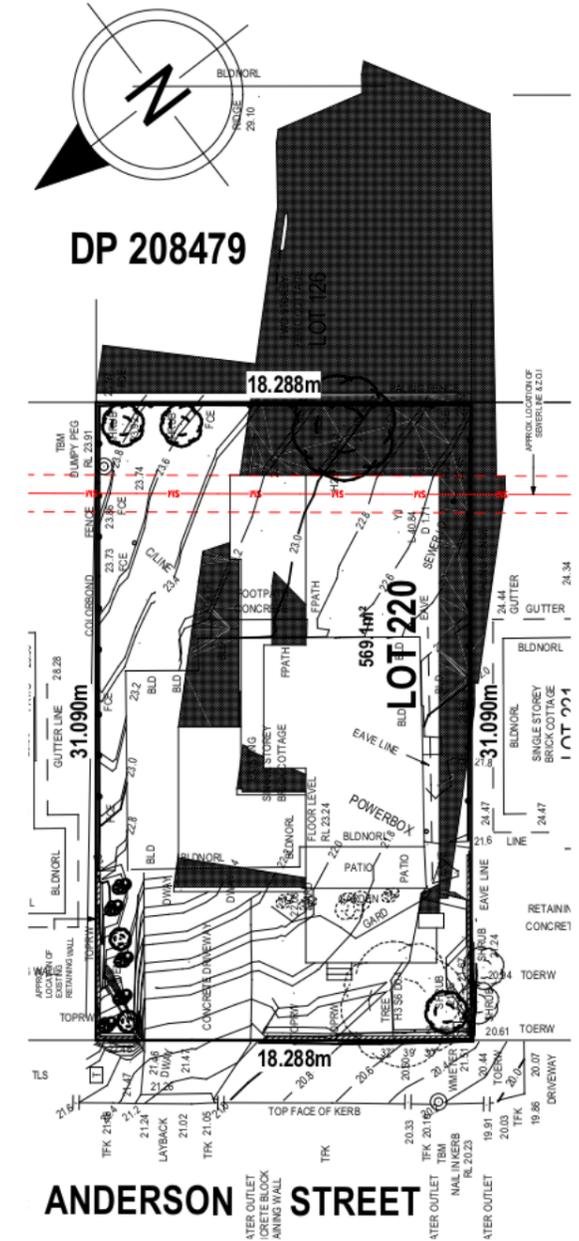
JUNE 21 - 0900



DP 208479

ANDERSON STREET

JUNE 21 - 1200



DP 208479

ANDERSON STREET

JUNE 21 - 1500

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PROPOSED RET WALL
38 ANDERSON ST
PORT MACQUARIE

FOR : TATTAM

DRAWING SCHEDULE	
SHEET No	TITLE
1	COVER SHEET
2	CONSTRUCTION NOTES
3	SITE PLAN 1:200 RETWALL DETAILS

ENGINEERING DETAILS

DRAWING No 13239



B.R. Development Consulting

Surveying ▪ Civil & Structural Engineering ▪ Planning

A 64 Lord St, Port Macquarie

P (02) 6583 2733

E office@brconsulting.net.au

SH 1 OF 3

CONCRETE

- All workmanship and materials shall be in accordance with AS 3600, current edition with amendments.
- Concrete quality: All cement shall be Type A Normal Portland Cement.

Element	Slump mm	Max. Size Agg. mm	f _c MPa	Special Requirements
FOOTINGS	80	20	20	
SLAB ON GROUND	80	20	25	
SUSPENDED SLAB	80	20	32	275 kg/m ³ min cement content

Strength shall be verified by plant control testing.

- Clear concrete cover to reinforcement including ties and stirrups shall as follows unless shown otherwise:

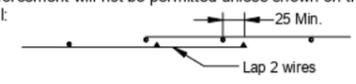
Element	Exposure Classification		
	A1 Sheltered locations	B1 External locations over 1km from saltwater shoreline	B2 External locations within 1km of saltwater shoreline
Strip footings	-	50	50
Columns and piers	20	40	50
Beams	20	40	45
Slabs and walls	20	40	45

Note that slabs placed over a membrane on ground are included as A1.

- Reinforcement symbols:

- N denotes Grade 500 deformed normal ductility bar to AS 4671.
- R denotes Grade 250 plain round normal ductility bar to AS 4671.
- SL denotes Grade 500 low ductility square welded mesh to AS 4671.
- RL denotes Grade 500 low ductility rectangular welded mesh to AS 4671.
-  denotes direction of main bars of rectangular mesh (main bars down for bottom reinforcement, main bars up for top reinforcement).
-  denotes square mesh.
-  denotes extent of reinforcement.

- All unsupported bars shall be tied in the transverse direction to N12-250 unless otherwise noted.
- Reinforcement is shown diagrammatically and is not necessarily shown in the true projection.
- Splices in the reinforcement shall be made only in the positions shown. The written approval of the Supervising Officer shall be obtained for any other splices. Where the lap length is not shown it shall be at least 30 bar diameters and of sufficient length to develop the full strength of the reinforcement.
- Welding of reinforcement will not be permitted unless shown on the structural drawings.
- Fabric lap detail:



25 Min.

Lap 2 wires
- Slab reinforcement shall extend at least 65 onto masonry support walls unless shown otherwise.
- Concrete sizes shown are minimum and no reductions by ducts, pipes, etc. shall be made without the approval of the Supervising Officer. Sizes do not include thickness of applied finishes.
- All fillets are to be 50mm unless shown otherwise.
- Pipes or conduits shall not be placed within the concrete cover to reinforcement without the approval of the Supervising Officer.
- No holes or chases other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Supervising Officer.
- Construction joints where not shown shall be located to the approval of the Supervising Officer.
- The contractor shall notify the Engineer 24 hours before pouring concrete.
- To ensure that the slab is effective as a termite barrier and is structurally adequate the concrete is to be compacted using high frequency vibrators at 1.0m centres or by a vibrating screed.
- Columns, piers, and pedestals shall be placed 24 hours (min.) before concrete in slabs or beams over.
- Formwork for suspended floors is to remain in place for 14 days. Backpropping is to remain in place for a further 14 days. If loaded with building materials such as bricks, sand piles, gyprock etc props are to remain in place until these materials are no longer present. Bondek (or equivalent) slabs are to be constructed and propped to manufacturer's specifications.
- Curing of all concrete surfaces shall commence immediately after surfaces are finished as specified. Curing shall be by moisture retention (eg. Polythene sheet, damp hessian or curing compound) and is to continue for 7 days minimum after pouring concrete.

GENERAL

- These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. Dimensions shown on these Engineering drawings shall generally override other relevant dimensions. All discrepancies shall be referred to the Supervising Officer for decision before proceeding with the work.
- Dimensions shall not be obtained by scaling the structural drawings.
- All dimensions shall be verified on site by the Contractor who shall be responsible for their correctness.
- The contractor shall be responsible for maintaining the structure and neighbouring structures in a safe and stable condition during construction. No part shall be over-stressed.
- All workmanship and materials shall be in accordance with the requirements of the current edition of the Building Code of Australia (BCA), current SAA Codes and the By-Laws and Ordinances of the relevant Government Authority.
- Provide site drainage in accordance with the current version of the BCA. On sloping sites provide a subsoil drain along outer side of footing on high side of building.

DESIGN LOADS

- The structure shown on these drawings has been designed for dead loads generally in accordance with AS1170 and wind loads to AS1170 and AS4055.
- Live loads have been applied in accordance with AS1170 as follows:
 - Internal Areas 1.5 kPa
 - Balconies 2.0 kPa
 - Garages/Carparking 3.0 kPa
 - Roofs 0.25 kPa
- The site wind classification to AS4055 has been calculated to be N2.

FOUNDATIONS & EXCAVATION

- Strip underslab area of all topsoil, debris and organic matter. Cut and/or fill as required or as shown on drawings.
- Unless otherwise noted, footings and edgebeams are to bear on FIRM NATURAL GROUND at approximately 400mm below original surface. MINIMUM BEARING CAPACITY 100 kPa. Where PIERS or PILES are required, these are to be founded 500mm minimum below either finished excavation level in cut areas or stripped natural ground level in fill areas or as shown on the drawings. Ensure at least 500mm embedment into firm foundation or as shown on drawings. Driven piles or screw piles are to be referred to the Supervising Engineer prior to selection.
- If BEDROCK is encountered all footings, edgebeams and load-bearing slab beams are to be founded on rock. Provide piers as necessary to Engineers instructions.
- Site fill is to be free from organic material and topsoil and in accordance with AS2870 "Controlled Fill." Fill is to be compacted in 150 thick layers to at least 98% maximum dry density. Filled areas shall comply with AS2870 section 6.4.2.
- Extend foundation excavation through any layer of black clay, disturbed natural ground, soft or loose material, uncontrolled or poorly compacted fill and stump holes. Backfill material to be coarse sand, quarry grit or equivalent approved material and shall be compacted in layers to AS2870, section 6.4.2 and as noted above. Total thickness of backfilled areas shall be 300mm minimum.
- Provide a binding layer of granular material such as coarse sand or quarry grit or other approved non-plastic material immediately under slab, 75 thick minimum. Compact to 98% maximum dry density.
- All service pipes laid under slab or footings are to be bedded in accordance with AS3500 and backfilled with controlled fill to AS2870 or as noted on the drawings or alternative approved method.
- Foundation material shall be approved immediately before placing concrete.
- Design and Site Classification to AS 2870 is Class "P - H1" Site. REFER TO REFERENCE MJH 270340 DATED 08-03-2022
- Treat against Termite infestation to AS2870, AS3360.1 and Council Termite Code as nominated in the DA Consent.
- If earthworks reveal ground anomalies including soft soil, stump holes, bedrock or questionable material contact supervising engineer for inspection and assessment.

BRICK AND CONCRETE BLOCK MASONRY

- All workmanship and materials shall be in accordance with AS 3700, current edition with amendments.
- Two layers of approved metal based slip joint material shall be laid under all slabs where they bear on brickwork.
- Walls shown on structural drawings are load bearing walls. Non load bearing walls under slabs shall be separated from the concrete by a minimum of 10mm thick compressible material.
- No brickwork which is supported by the slab shall be erected until formwork has been removed.
- Brick mortar to be 1:1:5 proportions by volume of cement, lime and sand unless otherwise noted.
- Brick strength of load bearing brickwork to be a minimum of f_{uc} = 12 Mpa unless otherwise noted.
- Provide control joints in masonry walls as shown on the drawings or at 6m maximum spacing. Where a masonry wall is positioned over a control joint in a slab the joint is to continue up the wall.

REINFORCED CONCRETE BLOCK MASONRY

- All materials shall be in accordance with AS 3700, current edition with amendments.
- Workmanship involved in placing concrete units shall comply with AS 3700 and all units shall be fully bedded face shells and cross walls.
- The design strength of concrete masonry shall be:

Element	Strength Grade of Units	Mortar Mix
		Cement, Lime, Sand
BASEMENT WALLS & RETAINING WALLS	15 MPa (BLOCKS)	1 : 0.1 : 3

- Clean out holes shall be provided at the base of all reinforced cores.
- Unless noted otherwise the cores of all concrete masonry units shall be filled with concrete having a characteristic strength at 28 days (f_c) of 20 MPa and a slump of 180mm to 230mm when being placed. The concrete filling shall be thoroughly compacted.
- Max size of course aggregate in concrete used to fill cores shall be 10mm unless shown otherwise.

RK

- All workmanship and materials shall be in accordance with AS4100 and AS1554, current edition with amendments except where varied by the contract documents. All steelwork is designed using BHP design aids for grade 300 PLUS or C450LO. If other steel is proposed it is to be referred to the Supervising Officer for confirmation. This particularly applies to imported steel which may be of lower strength.
- Three (3) copies of all shop details shall be submitted to the engineer for approval of structural sufficiency before fabrication.
- All welds shall be 6mm continuous fillet, all bolts Ø20mm, all gussets plates 10mm thick, unless noted otherwise on the drawing.
- Concrete encased steelwork shall be wrapped with 3mm wire at 100mm centres and shall have a minimum 50 cover of concrete.
- Steel beams and trusses with span greater than 6m shall be fabricated with an upwards precamber of 1/500 span in each span unless noted otherwise on the drawings.
- Structural steelwork is to be wire brushed to remove rust and loose mill scale and coated with one coat of approved primed unless noted otherwise on the drawings.
- All steelwork cast into brickwork is to be hot dipped galvanised.

TIMBER

- All workmanship and materials shall be in accordance with AS1720 and AS1684, current edition with amendments except where varied by the contract documents.
- Timber stress grade shall be F7 unless noted otherwise.

IF IN DOUBT...ASK!!!!!!!
DO NOT SCALE PLAN



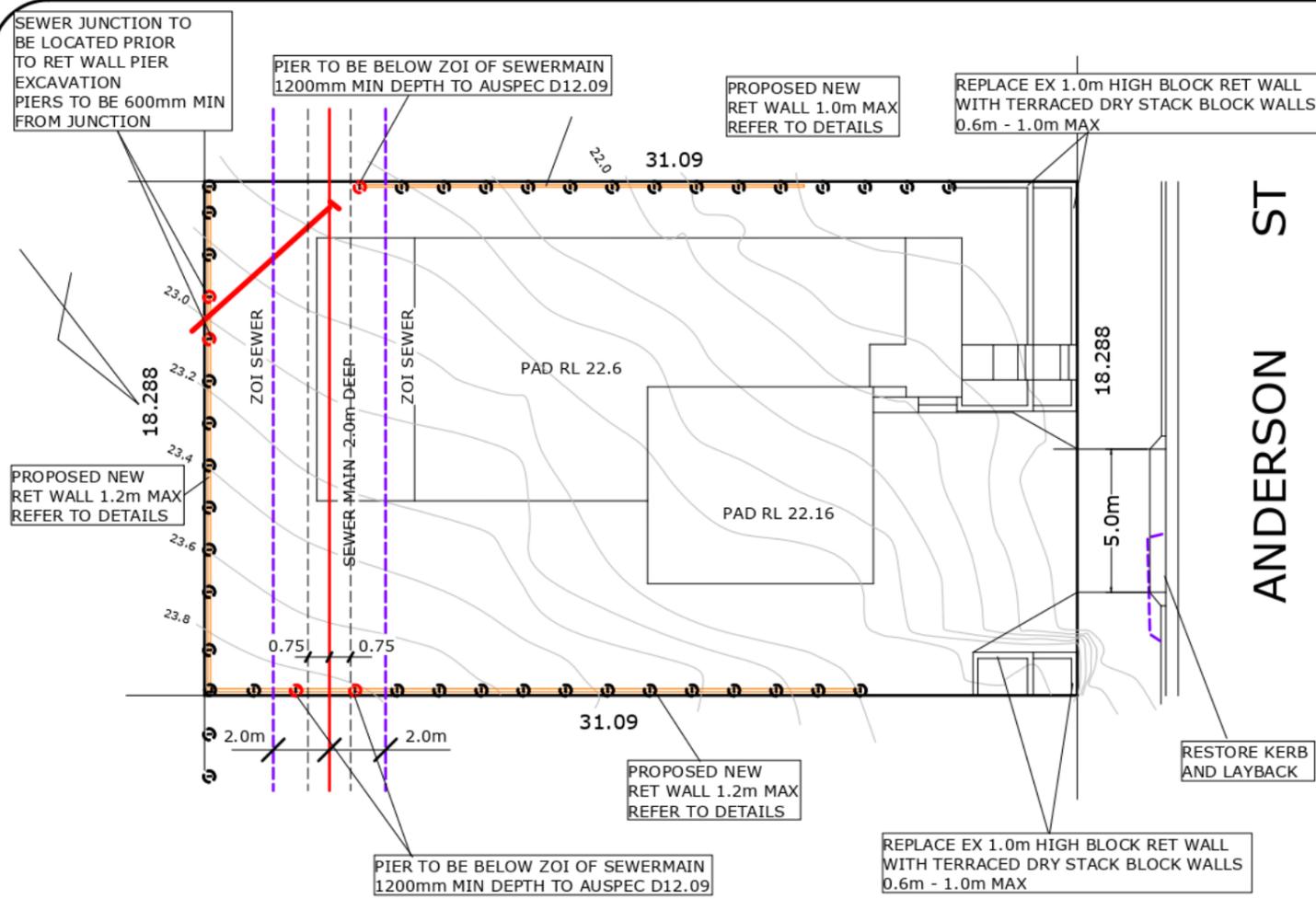
B.R. Development Consulting
Surveying • Civil & Structural Engineering • Planning

A 64 Lord St, Port Macquarie
P (02) 6583 2733
E office@brconsulting.net.au

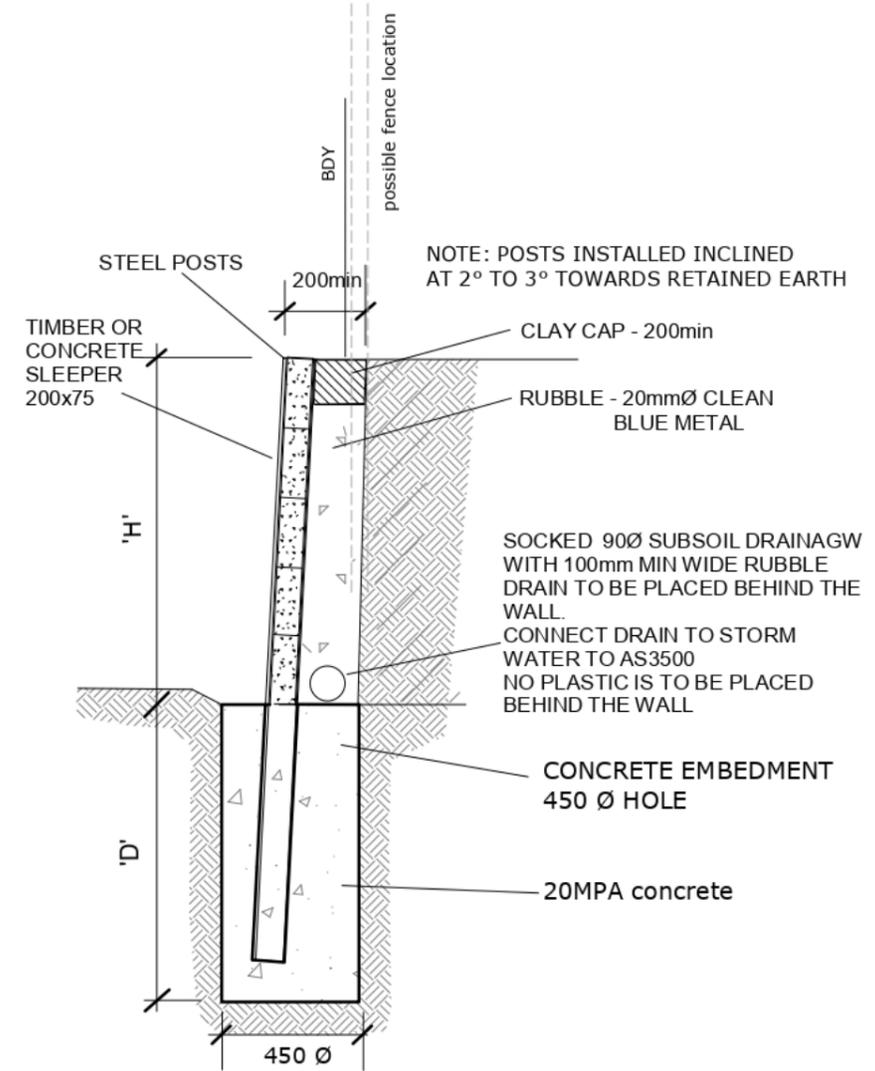
STRUCTURAL DETAILS

Client:
TATTAM
Job Address:
38 ANDERSON ST
PORT MACQUARIE

Dwg No:	13239
Date:	15/4/2022
Scale:	1:100 (@A3)
Checked:	
Sh	2 of 3



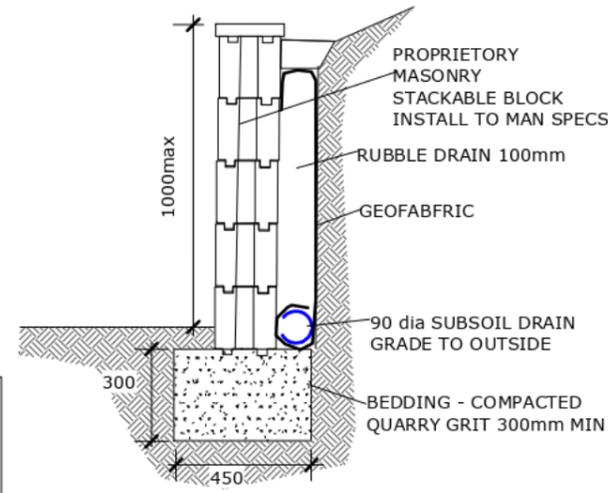
ANDERSON ST



RET WALL - WITH STEEL POSTS

POST CENTRE	WALL HEIGHT 'H'	EMBED. DEPTH 'D'	PIER DIA	POST SIZE	SLEEPER SIZE	ORIENTATION
1500	1000 max	1200 min	450Ø	100x85x4 (HD Galv)	TIMBER 200x75	
1500	1200 max	1600 min	450-600Ø	100x85x4 (HD Galv)	CONCRETE 200x75	

REFER TO BUILDING DESIGN PLANS FOR ALL FINISH LEVELS

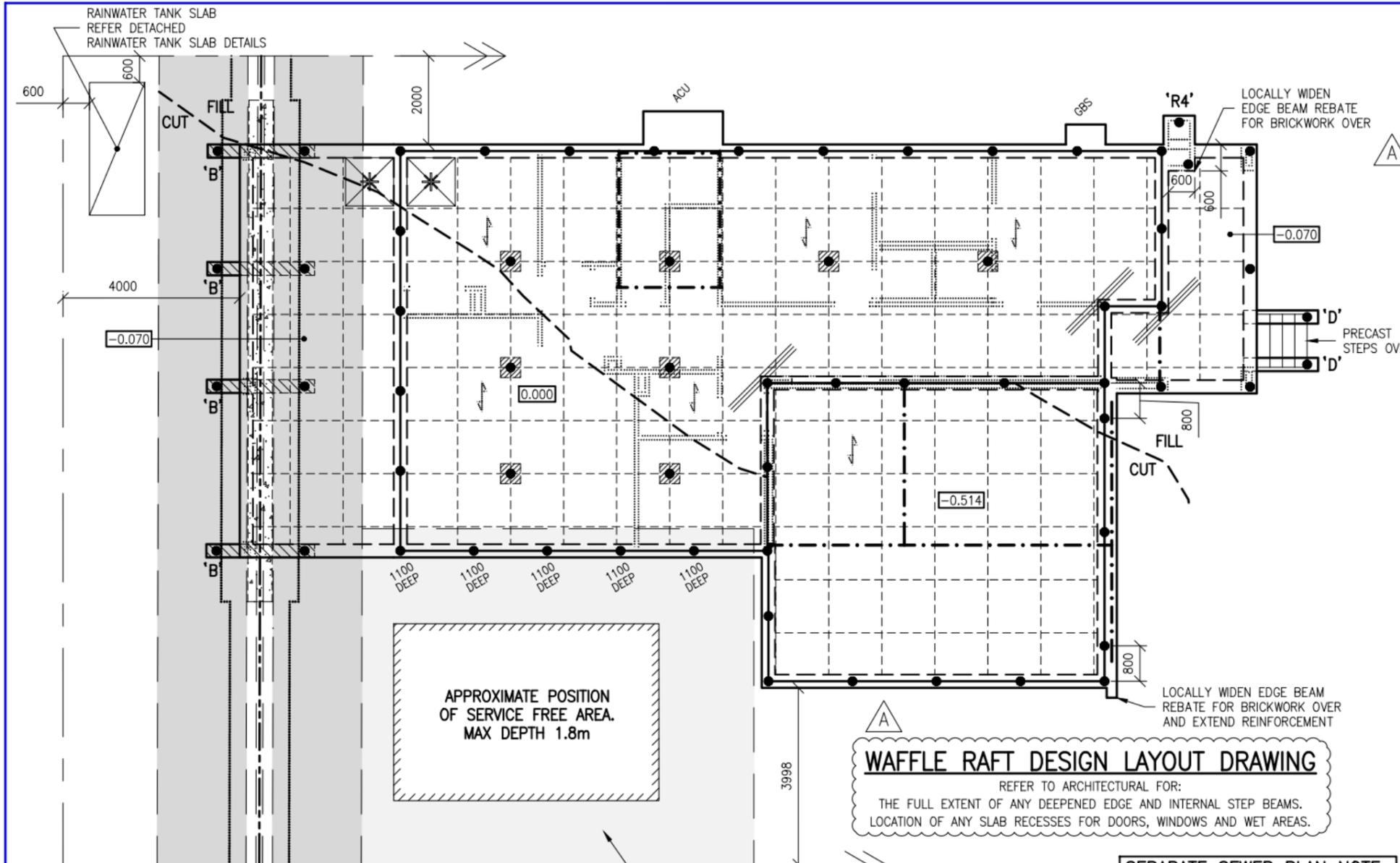


DRY STACKED BLOCK RETAINING WALL DETAIL

IF IN DOUBT...ASK!!!!!!!
DO NOT SCALE PLAN

ALL LEVELS ON THIS PLAN ARE EXTRACT FROM APPROVED BUILDING PLANS BY McDONALD JONES REF 270340 DATED 08/03/2022. PROVIDED BY OWNERS M & G TATTAM ALL LEVELS ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORKS REFER TO DETAILED EXCAVATION LEVELS PROVIDED ON PLANS BY MACDONALD JONES HOMES

 B.R. Development Consulting Surveying • Civil & Structural Engineering • Planning A 64 Lord St, Port Macquarie P (02) 6583 2733 E office@brconsulting.net.au	RET WALL PLAN Client: TATTAM Job Address: 38 ANDERSON ST PORT MACQUARIE	Dwg No: 13239 Date: 15/4/2022 Scale: 1:200 Checked: Sh 3 of 3
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THESE DETAILS HAVE BEEN PREPARED IN ACCORDANCE WITH ARCHITECTURAL

DESIGN NAME:	MASSENA 30 TWO
PREPARED BY:	MCDONALD JONES
DRAWING/JOB No:	270340
REVISION/ISSUE:	18
DATED:	2022.05.17

SITE CLASSIFICATION	P
SLAB CLASSIFICATION	H1
WIND CLASSIFICATION	N2
DURABILITY CLASSIFICATION	R4

DURABILITY CLASSIFICATION TO BE READ IN CONJUNCTION WITH AS4773, AS3700 AND NCC V2 2019.

- R1/R2:** 10KM OR MORE FROM BREAKING SURF OR 1KM OR MORE FROM SALT WATER NOT SUBJECT TO BREAKING SURF.
- R3:** 1KM OR MORE BUT LESS THAN 10KM FROM BREAKING SURF OR 100M OR MORE BUT LESS THAN 1KM FROM SALT WATER NOT SUBJECT TO BREAKING SURF
- R4:** LESS THAN 1KM FROM BREAKING SURF OR LESS THAN 100M FROM SALT WATER NOT SUBJECT TO BREAKING SURF OR WITHIN HEAVY INDUSTRIAL AREAS.

WAFFLE RAFT SPECIFICATION

MAIN RESIDENCE		GARAGE/PATIO/ALFRESCO	
SLAB THICKNESS:	85	SLAB THICKNESS:	90
SLAB FABRIC:	SL92	SLAB FABRIC:	SL92
CONCRETE STRENGTH:	N32	CONCRETE STRENGTH:	N32

100mm MAX SLUMP, 20mm MAXIMUM SIZE AGGREGATE

PIER SPECIFICATION

SCREW PIERS SHALL BE FOUNDED A MINIMUM OF 450 BELOW BASE OF SERVICE TRENCH SHOULD SCREW PIER CAPACITY BE ACHIEVED AT A HIGHER LEVEL. REFER TEMPORARY EXCAVATION DETAIL

300 SQ POD CUT OUT OVER SCREW PIERS WHERE APPLICABLE. REFER TO TYPICAL RIB BEAM DETAIL

MINIMUM kN CAPACITY	70 SWL
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SALINE SOIL SITE NOTE:

SN1. CONCRETE IN SLAB TO BE STRENGTH GRADE N32 AND VIBRATED.

SN2. A 0.2 HIGH IMPACT RESISTANT WATERPROOF MEMBRANE SHALL BE USED AND INSTALLED IN ACCORDANCE WITH AS2870

SN3. A LAYER OF BEDDING SAND AT LEAST 50 THICK SHALL BE PROVIDED

WAFFLE RAFT DESIGN LAYOUT DRAWING

REFER TO ARCHITECTURAL FOR:
THE FULL EXTENT OF ANY DEEPEDED EDGE AND INTERNAL STEP BEAMS.
LOCATION OF ANY SLAB RECESSES FOR DOORS, WINDOWS AND WET AREAS.

SEPARATE SEWER PLAN NOTE:
SCREW PIERS FOUNDED IN SHADED SEWER ZONE OF INFLUENCE SHALL BE FOUNDED AT LEAST 450 BELOW SEWER ZONE OF INFLUENCE. REFER SEWER DETAIL.

SERVICE FREE AREA NOTE:
SCREW PIERS FOUNDED IN ZONE OF INFLUENCE OF SERVICE FREE AREA SHALL BE FOUNDED AT LEAST 450 BELOW BASE OF SERVICE FREE AREA. REFER TO SERVICE FREE AREA ZONE OF INFLUENCE DETAIL.

LEGEND (NTS)

- SCREW PIERS. REFER PIER SPECIFICATION
- * START POD LOCATION
- ⊠ 1090 SQ STANDARD POD
- - - CENTRE LINE OF RIB
- ≡≡≡ 3-N12 TRIMMERS 2000 LONG
- 0.000 DENOTES TOP OF MAIN SLAB
- X.XXX DENOTES STEPDOWN FROM TOP OF MAIN SLAB
- - - STEEL/TIMBER BEAMS OVER
- ▬ WALLS OVER
- ↕ FLOOR JOIST DIRECTION OVER BY BUILDER
- ▭ SERVICE FREE AREA ZONE OF INFLUENCE
- ▭ SEWER ZONE OF INFLUENCE
- - - SEWER LINE
- - - BOUNDARY
- ⋯ PIERING EXCLUSION AND SEWER ENCASEMENT ZONE REFER DETAIL
- ▨ NEW CONCRETE ENCASEMENT

<p>RESIDENTIAL ENGINEERING Structural Engineers • Surveying & Geotechnical</p> <p>NSW • QLD +61 2 9874 3494 Level 2, 73-75 Durrum Street, WENTWORTHVILLE, NSW 2145 adm@reseng.com.au +61 7 3307 8388 50/41 Lovelock Avenue, EAGLE FARM, QLD 4009 www.residentialeengineering.com.au RESIDENTIAL ENGINEERING PTY LTD. ACN 612 898 629 ABN 28 612 898 629 TRADING AS RESIDENTIAL ENGINEERING</p>	COPYRIGHT: THIS DRAWING REMAINS THE PROPERTY OF RESIDENTIAL ENGINEERING AND MAY NOT BE ALTERED IN ANY WAY WITHOUT RESIDENTIAL ENGINEERING WRITTEN CONSENT	APPROVED BY: GERVASE PURICH FIEAust, C.P.Eng., NER, BPB, RPEQ	CLIENT REF: 270340 DATE: 27.10.2021 DRAWN: BQN SCALE: 1:100	CLIENT: MCDONALD JONES YOUR HOME YOUR DREAM	FOR: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM SITE ADDRESS: LOT 220 (38) ANDERSON STREET PORT MACQUARIE	DRAWN: LG DATE: 20/05/22 AMENDMENT: SEWER AMENDED REV: A	JOB No: MJ4601 SHEET No: 01 of 12	ISSUE: A
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GENERAL NOTES

- ENGINEERS STRUCTURAL DRAWINGS ARE SIGNED & ISSUED ON THE UNDERSTANDING THAT THE BUILDER MAINTAINS IN FORCE, PROPER & ADEQUATE CONTRACT WORKS INSURANCE & PUBLIC LIABILITY INSURANCE DURING THE COURSE OF THE CONSTRUCTION, &/OR ANY MAINTENANCE PERIOD. CLAIMS OF DAMAGE TO ANY ADJACENT PROPERTY OR BUILDING IS NOT THE RESPONSIBILITY OF THE ENGINEER.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE BUILDER/ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- ANY SUBSTITUTION IN THESE DOCUMENTS SHALL BE REFERRED TO RESIDENTIAL ENGINEERING FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. REFER TO THE ARCHITECTURAL DRAWINGS FOR DIMENSIONS. ANY SET OUT DIMENSIONS SHOWN ON THESE DOCUMENTS SHALL BE VERIFIED BY THE BUILDER.
- THE SECTIONS & DETAILS ON THESE DRAWINGS ARE INTENDED TO GIVE THE STRUCTURAL SPECIFICATIONS ONLY. ARCHITECTURAL SECTIONS & DETAILS ON THESE DRAWINGS ARE ILLUSTRATIVE ONLY.
- THESE DOCUMENTS ARE SIGNED SUBJECT TO CERTIFICATE OF INSPECTION BEING ISSUED BY THIS FIRM. ALL PIERS, SLAB & FOOTING REINFORCEMENT SHALL BE INSPECTED BY THE ENGINEER PRIOR TO THE POURING OF CONCRETE. GIVE 24 HRS NOTICE TO THE ENGINEER.

SITE CLASSIFICATION

- THE SITE HAS BEEN THE SUBJECT OF A GEOTECHNICAL INVESTIGATION REQUIRING ADHERENCE TO PARTICULAR CONSTRUCTION PROCEDURES &/OR TECHNIQUES. THEREFORE THESE DOCUMENTS HAVE BEEN PREPARED USING THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

SITE CLASSIFICATION: H1
CLASSIFIED BY: HUNTER CIVILAB
REPORT No: P20067-WR-4376
DATED: 16/07/2021

FOUNDATION & FILLING

- STRIP TOPSOIL & OTHER ORGANIC MATTER TO A DEPTH OF 100mm & STOCKPILE.
- FILL USED TO SUPPORT THE SLAB SHALL BE ROLLED FILL OR CONTROLLED FILL AS FOLLOWS:
 - ROLLED FILL CONSISTS OF MATERIAL COMPACTED IN LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR OR SIMILAR EQUIPMENT. THE DEPTH SHALL NOT EXCEED 600mm COMPACTED IN LAYERS NOT MORE THAN 300mm THICK FOR SAND OR 300mm COMPACTED IN LAYERS NOT MORE THAN 150mm FOR OTHER MATERIAL.
 - CONTROLLED FILL SHALL BE PLACED, TESTED & CERTIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER AS DEFINED IN AS3798. THIS IS DEEMED TO BE ADEQUATE TO SUPPORT THE FOOTING.
- WHERE FILL CONSISTS OF REACTIVE CLAY, THE FILL SHALL BE PLACED IN A MOIST CONDITION.
- ANY FILL SHALL CONTINUE PAST THE EDGE OF THE BUILDING BY AT LEAST 1m & SHALL BE RETAINED OR BATTERED BEYOND THIS POINT BY A SLOPE NOT STEEPER THAN 1:2.
- EXCEPT FOR SITES WITH AGGRESSIVE SOILS, A BLINDING LAYER OF SAND IS NOT REQ'D. WHERE USED, THE BLINDING LAYER OF SAND SHALL COMPLY WITH ROLLED FILL REQUIREMENTS.

DRAINAGE DESIGN REQUIREMENTS

- SURFACE DRAINAGE SHALL BE DESIGNED & CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. DURING CONSTRUCTION, WATER RUN-OFF SHALL BE COLLECTED & CHANNLED AWAY FROM THE BUILDING.
- THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING SHALL BE GRADED TO FALL 50mm MIN AWAY FROM THE FOOTING OVER A DISTANCE OF 1m.
- THE MINIMUM HEIGHT OF THE SLAB ABOVE LANDSCAPING, PAVING OR F.G.L. SHALL BE 150mm. WHERE ADJOINING PAVED AREAS SLOPE AWAY FROM THE BUILDING, THIS HEIGHT MAY BE REDUCED TO 50mm.
- THE BASE OF THE SERVICE TRENCH SHALL BE SLOPED AWAY FROM THE BUILDING & BACKFILLED IN ACCORDANCE WITH AS2870.

AGGRESSIVE SOILS

- BUILDINGS WITH MASONRY OR CONCRETE IDENTIFIED TO BE EXPOSED TO SALINE OR ACID SULFATE SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE MANAGEMENT PLANS FROM GEOTECHNICAL & LOCAL AUTHORITIES. ANY PROTECTION REQUIREMENTS SHALL BE PROVIDED TO THIS OFFICE BY THE BUILDER BEFORE COMMENCING DETAILING.

CONCRETE PIERS

- U.N.O. MINIMUM PIER DEPTH IS 600mm BELOW FOOTINGS & WHEREVER NOMINATED SHOULD BE SOCKETED 300mm MIN INTO STIFF CLAY.
- ALL PIER HOLES SHALL BE CLEANED & DEWATERED PRIOR TO THE PLACEMENT OF CONCRETE.
- ALL PIER HOLES SHALL BE SEPERATE TO SLAB & FOOTINGS.
- PIERS & FOOTINGS ARE REQUIRED TO HAVE A UNIFORM BEARING. RESIDENTIAL ENGINEERING OR COUNCIL SHALL INSPECT THE BEARING OF PIERS &/OR FOOTINGS PRIOR TO THE POURING OF CONCRETE.
- IF ANY OF THE PIERS &/OR FOOTINGS ENCOUNTER ROCK OR SHALE, THEN ALL PIERS &/OR FOOTINGS SHALL BEAR ON ROCK OR SHALE. IF PARTIALLY PIERED TO ROCK OR SHALE THEN ARTICULATION JOINTS SHALL BE PROVIDED AT THE ROCK/NON-ROCK INTERFACE.

SAFE BEARING TABLE

STRATA	STIFF CLAY	ROCK & SHALE	NATURAL SAND
MIN BEARING CAPACITY kPa	250	600	150

SCREW PIERS

- SCREW PIERS SHALL BE INSTALLED & CERTIFIED BY A SUITABLY QUALIFIED LICENSED CONTRACTOR
 - ALL SCREW PIERS MUST BE FOUNDED BELOW 1.25 x H_s TO COMPLY WITH CLAUSE G6.3 OF AS2870-2011.
 - SCREW PIERS ARE TO BE INSTALLED IN ACCORDANCE WITH AS2870 AND AS2159
- U.N.O. MINIMUM CAPACITY SHALL BE 70kN SWL

EXCAVATIONS

- TEMPORARY EXCAVATIONS IN THE AREA OF THE FOOTING SHALL BE CARRIED OUT ONLY WHERE ADEQUATE SUPPORT FOR THE FOOTING SYSTEM IS MAINTAINED SUCH AS PIERING BENEATH THE EXPECTED EXCAVATION LEVEL OR UNDERPINNING.
- PERMANENT EXCAVATIONS OF ANY VERTICAL OR NEAR VERTICAL STRUCTURE WITHIN 2m OF THE BUILDING & DEEPER THAN 0.6m IN MATERIAL OTHER THAN ROCK SHALL BE ADEQUATELY RETAINED OR BATTERED.
- EXCAVATIONS SHALL NOT EXTEND BELOW A LINE DRAWN AT 30° FOR SAND & 45° FOR CLAY TO THE HORIZONTAL FROM THE BOTTOM EDGE OF THE FOOTING/PIER WITHOUT PRIOR CONSENT.

PLUMBING

- CLOSE CELL POLYETHYLENE LAGGING SHALL BE USED AROUND ALL STORMWATER & SANITARY PLUMBING DRAIN PIPE PENETRATIONS THROUGH FOOTINGS. THE LAGGING SHALL BE 20mm MIN THICK ON H1 SITES & 40mm MIN THICK ON H2 & E CLASS SITES
- VERTICAL PENETRATIONS DO NOT REQUIRE LAGGING.
- DRAINS ATTACHED TO OR EMERGING FROM UNDERNEATH THE BUILDING INCLUDING STORMWATER, SANITARY & DISCHARGE PIPES SHALL INCORPORATE FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING & COMMENCING WITHIN 1m OF THE BUILDING PERIMETER SHALL ACCOMMODATE A TOTAL RANGE OF DIFFERENTIAL MOVEMENT OF THE SITE (YS).

DAMP PROOFING MEMBRANE

- A 0.2mm MIN POLYETHYLENE DAMP PROOFING HIGH IMPACT RESISTANT MEMBRANE SHALL BE PLACED BENEATH THE SLAB SO THAT THE BOTTOM SURFACE IS ENTIRELY UNDERLAID & TERMINATES AT GROUND LEVEL.
- THE MEMBRANE SHALL BE BRANDED CONTINUOUSLY "AS2870 CONCRETE UNDERLAY, 0.2mm HIGH IMPACT RESISTANT" TOGETHER WITH MANUFACTURER OR DISTRIBUTORS NAME, TRADEMARK OR CODE.
- LAPPING SHALL BE 200mm AT JOINTS & TAPED OR SEALED AT PLUMBING PENETRATIONS WITH CONTINUOUS CLOSE FITTING SLEAVE OR MADE CONTINUOUS WITH THE VAPOUR BARRIER BY TAPING & MADE WATERPROOF.

REINFORCEMENT & FIXING

- MINIMUM CONCRETE COVER AS FOLLOWS:
40mm TO UNPROTECTED GROUND
30mm TO A MEMBRANE IN CONTACT WITH THE GROUND
40mm TO AN EXTERNAL SURFACE
20mm TO AN INTERNAL SURFACE
- SLAB FABRIC SHALL BE SUPPLIED IN FLAT SHEETS & BE LAPPED ONE FULL SQUARE PLUS 25mm AT SPLICES & PLACED ON BAR CHAIRS AT 1m CTS EW.
- REINFORCING BARS SHALL HAVE A LAP LENGTH AT SPLICES NOT LESS THAN:
500mm UP TO A BAR Ø OF 12mm
700mm UP TO A BAR Ø OF 16mm
AT 'T' & 'L' INTERSECTIONS THE REINFORCING BARS SHALL BE CONTINUED ACROSS THE FULL WIDTH OF THE INTERSECTION.
- REINFORCING BARS SHALL BE TIED BENEATH THE SLAB FABRIC IF USED OR OTHERWISE PLACED ON BAR CHAIRS.
- REINFORCEMENT & VOID FORMERS SHALL BE FIXED INTO POSITION PRIOR TO POURING CONCRETE BY MEANS OF PROPRIETARY SPACERS, BAR CHAIRS & LIGATURES TO ACHIEVE THE REQUIRED REINFORCEMENT POSITION & COVER.
- ALL FOOTING TRENCHES & BEAMS SHALL BE CLEANED & DEWATERED PRIOR TO THE PLACEMENT OF CONCRETE.
- CONCRETE IN TRENCHES & BEAMS SHALL BE MECHANICALLY VIBRATED.

SHRINKAGE CRACKING CONTROL

- AT RE-ENTRANT CORNERS, ONE STRIP OF 3-L11 T.M. OR 3-N12 BARS 2m LONG SHALL BE PLACED ACROSS THE DIRECTION OF POTENTIAL CRACKING.
- WHERE BRITTLE FLOOR COVERINGS ARE TO BE USED OVER AN AREA GREATER THAN 16m² ONE OF THE FOLLOWING APPLIES:
 - SLAB REINFORCEMENT IN PART OF THE SLAB WHICH BRITTLE FINISHES ARE APPLIED SHALL NOT BE LESS THAN SL92 OR EQUIVALENT.
 - THE BEDDING SYSTEM FOR BRITTLE COVERINGS SHALL BE SELECTED ON THE BASIS OF THE EXPECTED SLAB MOVEMENT.
 - THE PLACEMENT OF FLOOR COVERINGS SHALL BE DELAYED BY A MINIMUM PERIOD OF 3 MONTHS.
- WATER SHALL NOT BE ADDED TO THE CONCRETE ON SITE SO AS TO INCREASE THE SLUMP ABOVE THAT SPECIFIED.
- CURING THE CONCRETE SHALL START IMMEDIATELY AFTER FINISHING BY CONTINUALLY WETTING FOR 7 DAYS MIN. PLASTIC OR WAX LIQUID SPRAYS MAY BE USED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. EXTRA PRECAUTIONS SUCH AS THE METHOD OF EVAPORATIVE RETARDATION (THE USE OF ALPHATIC ALCOHOLS) IS RECOMMENDED DURING HOT WEATHER POURS TO HELP AVOID THERMAL RELATED CRACKING.

SUB-TERRANEAN TERMITE PROTECTION & MAINTENANCE

- ALL WORKS SHALL BE IN ACCORDANCE WITH AS3660.
- ANY FUTURE CRACKING OCCURRING IN THE SLAB/FOOTING SYSTEM SHALL BE ASSESSED BY A QUALIFIED PEST EXPERT & WHERE DIRECTED BE SEALED BY AN EPOXY INJECTION.
- INSPECTIONS OF THE RESIDENCE & IMMEDIATE SURROUNDS SHALL BE CARRIED OUT BY A QUALIFIED PEST EXPERT ON AN ANNUAL BASIS BY THE HOME OWNER.
- SITE MAINTENANCE IS THE RESPONSIBILITY OF THE HOME OWNER. ALL RECOMMENDATIONS OUTLINED IN THE FOLLOWING SHOULD BE CARRIED OUT IN FULL:
 - CSIRO BOOKLET "FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE: A HOMEOWNERS GUIDE".
 - AS2870 APPENDIX 'B' FOUNDATION PERFORMANCE & MAINTENANCE.

MASONRY

- MASONRY, MORTAR & BUILT IN MASONRY COMPONENTS SHALL COMPLY WITH AS3700 & AS4773
- THE SLAB IS DESIGNED FOR ARTICULATION REQUIREMENTS. ARTICULATION JOINTS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS4773 & CEMENT & AGGREGATES AUSTRALIA BOOKLET TN61.

ROOF

- THE SLAB HAS BEEN DESIGNED FOR ROOF LOADING TO BE SUPPORTED BY PROPRIETARY TRUSSES ONTO EXTERNAL WALLS ONLY
- PITCHED ROOF REQUIREMENTS SHALL BE PROVIDED BY THE BUILDER TO THIS OFFICE BEFORE COMMENCING DETAILING.

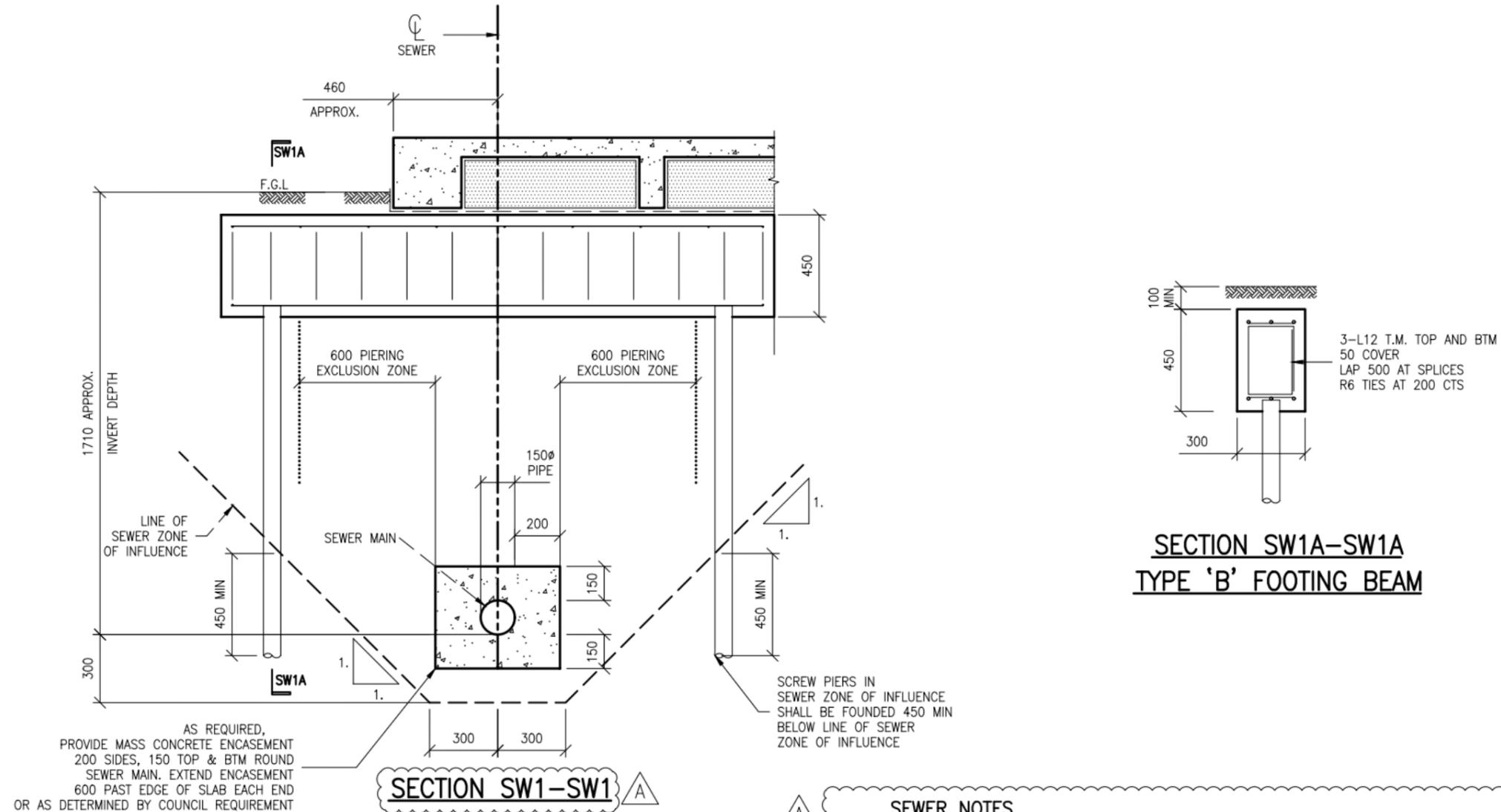
STRUCTURAL STEEL

- ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH AS4100.
- STEELWORK DESIGNED IN ACCORDANCE WITH AS4100 "STEEL STRUCTURES CODE" & AS1170 "DEAD & LIVE LOADS & WIND LOADS". STRUCTURAL STEEL SHALL BE GRADE (BHP 300 PLUS).
- SURFACE PREPARATION & FINISH SHALL COMPLY WITH AS/NZS2312. THE BUILDER MUST CLARIFY HIS CONTRACTUAL OBLIGATIONS IN THIS REGARD.
- THE INSTALLATION OF GALINTELS & 'T' BARS SHALL BE STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION IS THE BUILDERS RESPONSIBILITY. ADEQUATE TEMPORARY BRACING SHALL BE PROVIDED AS IS NECESSARY TO STABILISE THE STRUCTURE DURING CONSTRUCTION.
- WELDS:
 - ALL WELDS SHALL BE 6mm CONTINUOUS FILLET WELD U.N.O.
 - BUTT WELDS WHERE INDICATED IN THE DOCUMENTS SHALL BE COMPLETE PENETRATION BUTT WELDS AS DEFINED IN AS1554.
 - ALL SHOP WELDS SHALL BE FULLY WELDED U.N.O.
 - USE E41XX ELECTRODES FOR ALL WELDING U.N.O.
 - SITE WELDING OF HOT DIP GALVANISED STEEL IS PERMISSIBLE IF UPON COMPLETION THE WELDS ARE TREATED WITH THE APPROPRIATE COATING AS PER AS/NZS2312
- BOLTS:
 - 4.6/S - COMMERCIAL BOLT OF GRADE 4.6 TO AS1111 SNUG TIGHTENED.
 - 8.8/S - HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS1252 SNUG TIGHTENED
 - BOLTS SHALL BE PROVIDED WITH THREADS CLEAR OF SHEAR PLANE.
 - ALL BOLTS & WASHERS SHALL BE GALVANISED.
 - NO CONNECTION SHALL HAVE LESS THAN 2 BOLTS.
- BEAMS SUPPORTED ON BRICKWORK (BEARING NOTED ON PLAN) SHALL HAVE INCOMPRESSIBLE PACKING AS REQ'D UNDER THE ENDS OF THE BEAM TO ENSURE EVEN BEARING ON THE BRICKWORK.
- FABRICATION:
 - THE BUILDER SHALL PROVIDE ALL CLEATS AND DRILL HOLES NECESSARY FOR FIXING STEEL TO STEEL & TIMBER TO STEEL.
 - ALL GUSSET PLATES SHALL BE 10mm THICK U.N.O.
- COLUMNS:
 - TIMBER FRAMED BUILDINGS: SHALL BE LATERALLY RESTRAINED BY THE BUILDING FRAME AT EACH SUPPORT LOCATION THROUGH POSITIVE SCREW FIXING OF WALL STUDS TO THE COLLUMNS & EITHER JOISTS OR NOGGINGS TO THE BEAM.
 - FULL MASONRY BUILDINGS: SHALL BE LATERALLY RESTRAINED BY BRICKWORK AT EACH SUPPORT LOCATION THROUGH POSITIVE FIXING OF WALL TIES.
 - WHERE A BEAM DIRECTLY SUPPORTS A CONCRETE SLAB NO ADDITIONAL RESTRAINT IS REQ'D
- REFER TO THE MANUFACTURERS SPECIFICATIONS FOR INSTALLATION DETAILS OF JOISTS, TIMBER BEAMS & TRUSSES WHERE APPLICABLE.
- SOLID TIMBER JOISTS SHALL NOT BE NOTCHED IN EXCESS OF THE RECOMMENDATIONS OF AS1684. WHERE NECESSARY PROVIDE A TIMBER PLATE OVER THE STEEL BEAM & PROVIDE TOP MOUNT JOIST HANGERS. ALTERNATIVELY USE TIMBER BLOCKING BETWEEN THE FLANGES OF THE STEEL BEAM SUPPORTING THE JOISTS & USE FACE MOUNTED HANGERS.

THE BUILDER IS TO MAKE GOOD AND/OR REPAIR ALL DAMAGED SURFACES DURING PERFORMANCE OF THE WORK

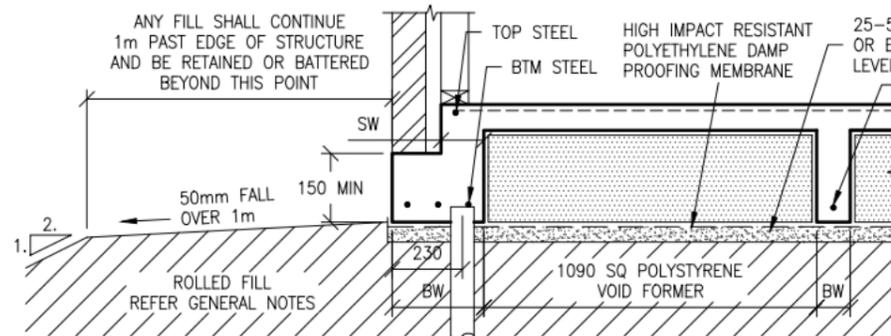
IF IN DOUBT, CONTACT ENGINEER.

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	DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:													
LG	20/05/22	SEWER AMENDED	A	MJ4601	A														



- SEWER NOTES**
- SW1. THESE DETAILS HAVE BEEN PREPARED IN ACCORDANCE WITH SERVICES PROTECTION REPORT
 - SW2. POSITION OF SEWER MAIN SHOWN IS APPROXIMATE ONLY. EXACT LOCATION OF SEWER AND STRUCTURE MUST BE MARKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
 - SW3. THE BUILDER MUST ENSURE ALL DOCUMENTATION IN REGARDS TO SEWER POSITIONS & INVERT LEVELS ARE CORRECT.
 - SW4. ENGINEER IS TO BE CONTACTED IF ANY CHANGES OR INCONSISTENCIES ARE FOUND WITH INFORMATION SHOWN ON THESE DRAWINGS.
 - SW5. APPROXIMATE SEWER PIER DEPTHS NOTED ARE MINIMUM VALUES ONLY AND SHALL BE:
 - SW5A. REFERRED TO NATURAL GROUND SURFACE WITH RELEVANT ADJUSTMENTS TO BE MADE TO PIER DEPTHS SUBSEQUENT TO SITE WORKS.
 - SW5B. INCREASED AS REQUIRED CONSISTENT WITH THE STRUCTURAL DEPTH OF THE PIERS UNDER THE REMAINDER OF THE SLAB LAYOUT.

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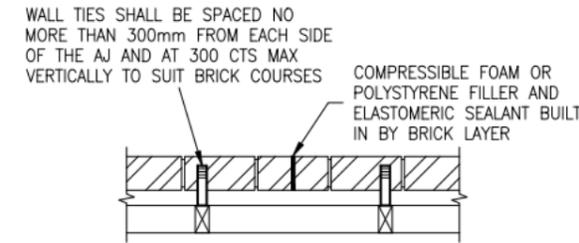


TYPICAL WAFFLE RAFT DETAIL

PIERS MAY BE OMITTED WHERE THE SLAB IS ON CONTROLLED FILL: PLACED, TESTED & CERTIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER.

BEAM WIDTH (BW)	BTM STEEL	STEM WIDTH (SW)	TOP STEEL
110 TO 150	1-N12	110 TO 150	*NIL
151 TO 250	2-N12	151 TO 250	*1-N12
251 TO 350	3-N12	251 TO 350	*2-N12
351 TO 450	4-N12	351 TO 450	*3-N12

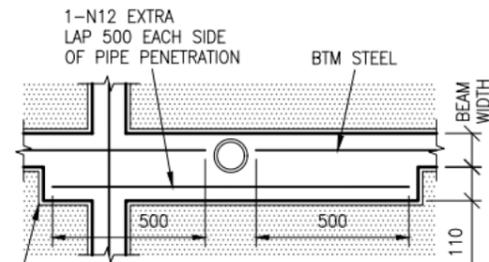
DENOTES TOP STEEL IN ADDITION TO * SLAB FABRIC AND 1-N12 TOP FOR PIERED CONDITION



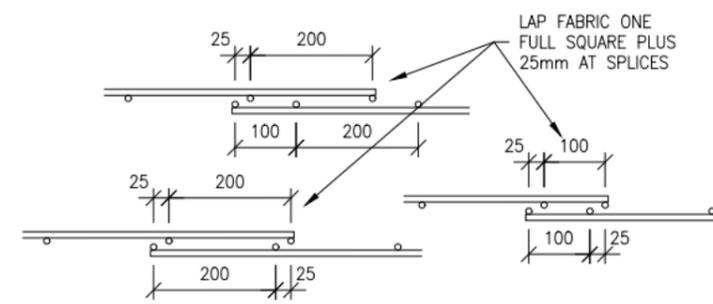
ARTICULATION JOINT DETAIL

WALL TIE SPACING TABLE				
WIND		DUTY	HORIZONTAL	VERTICAL
CLASS	(Vp)			
N1	W28N1	LIGHT	600	600
N2	W33N2	MEDIUM	600	600
N3	W41N3	MEDIUM	600	430 (5 CRS)

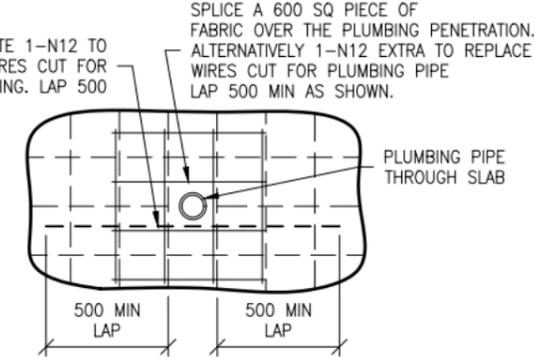
- NOTES:**
- ALL WALL TIES SHALL BE BUILT IN AND FIXED TO THE FRAME PROGRESSIVELY AS CONSTRUCTION PROCEEDS.
 - ALL OTHER TIES SHALL BE DESCRIBED IN AS4773.
 - ALL WALL TIE SPACINGS AROUND OPENINGS 300 CTS EW.
 - POLYMER WALL TIES RATED "LIGHT DUTY ONLY" (W28N1).
 - (Vp = PERMISSABLE STRESS METHOD).



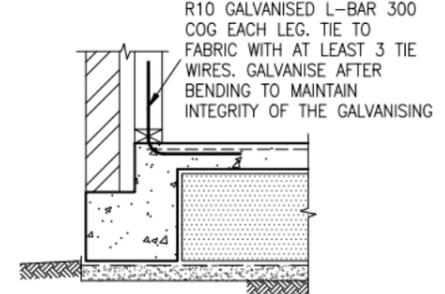
VERTICAL PIPE PENETRATION DETAIL THROUGH RIB BEAM EDGE, INTERNAL & STEP BEAMS SIMILAR



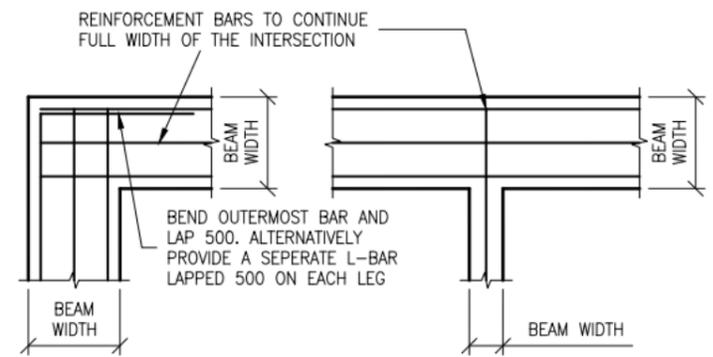
ALTERNATIVE METHODS OF LAPPING FABRIC



VERTICAL PIPE PENETRATION THROUGH SLAB

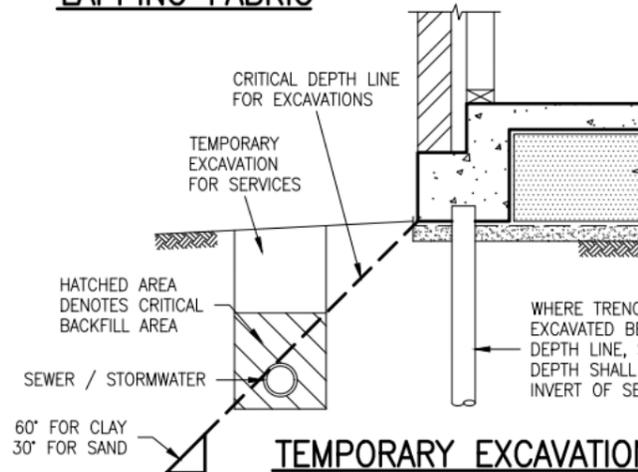


WET AREA EARTHING DETAIL



PLAN VIEW DETAIL ON LAPPING OF REINFORCEMENT AT 'T' AND 'L' INTERSECTIONS

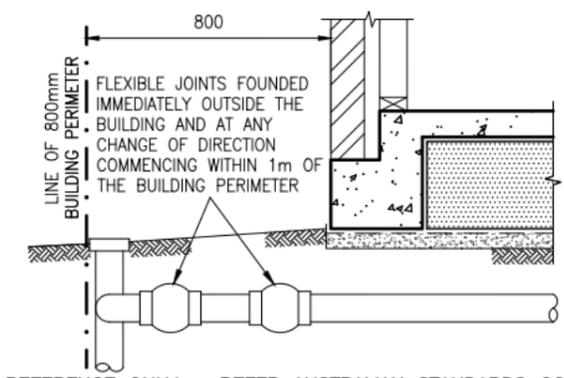
REINFORCEMENT	MIN LAP AT 'T' INTERSECTIONS	MIN LAP AT 'L' INTERSECTIONS
STEEL REINFORCING BARS	FULL WIDTH ACROSS THE JUNCTION	OUTERMOST BAR BENT AND LAPPED 500
TRENCH MESH	FULL WIDTH ACROSS THE JUNCTION	FULL WIDTH ACROSS THE JUNCTION



TEMPORARY EXCAVATION AND HOUSE SERVICES DETAIL
THE BUILDER SHALL ENSURE THE DRAINAGE CONTRACTOR COMPLIES WITH THIS DETAIL IN FULL

NOTE FOR CRITICAL BACKFILL AREA:
WHEN PIERS ARE NOT USED THE CRITICAL BACKFILL AREA SHOULD BE BACKFILLED WITH CONCRETE, MORTAR OR PREFERABLY CEMENT STABILIZED SOIL.

WHERE TRENCHES ARE TO BE EXCAVATED BELOW THE CRITICAL DEPTH LINE, SCREW PIERS MIN DEPTH SHALL BE 450 BELOW INVERT OF SERVICE TRENCH



FOR REFERENCE ONLY - REFER AUSTRALIAN STANDARDS CODE AS3500 - "PLUMBING & DRAINAGE" UNDER EDGE BEAM PLUMBING DETAIL FOR H1, H2, P AND E SITES

DRAINS ATTACHED TO OR EMERGING FROM UNDERNEATH THE BUILDING SHALL INCORPORATE FLEXIBLE JOINTS IN ACCORDANCE WITH AS3500. THE FLEXIBLE JOINTS SHALL ACCOMMODATE A TOTAL RANGE OF DIFFERENTIAL MOVEMENT OF THE SITE YS VALUE. SEEK SPECIALIST ADVICE FROM A SUITABLY QUALIFIED PLUMBER.

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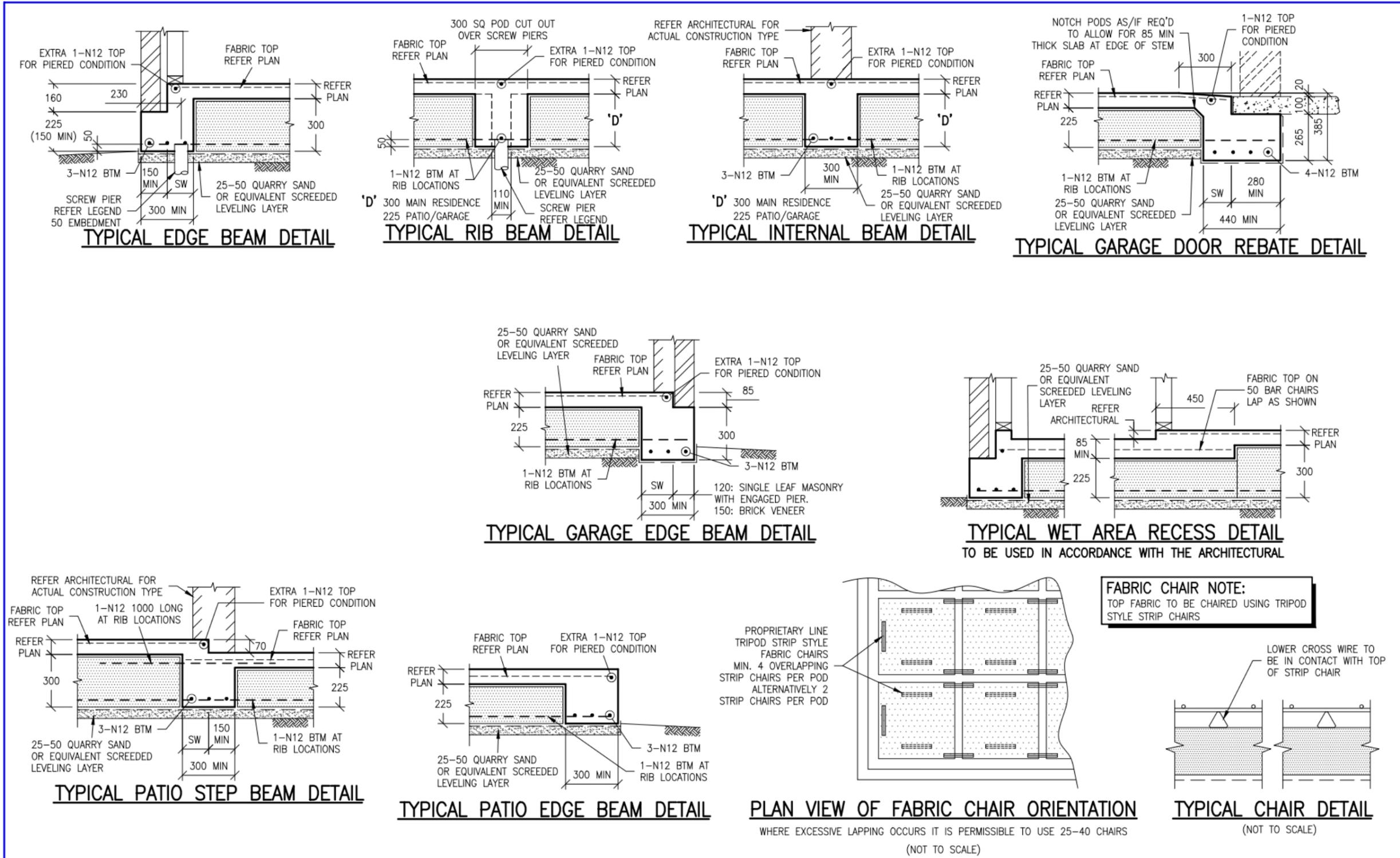
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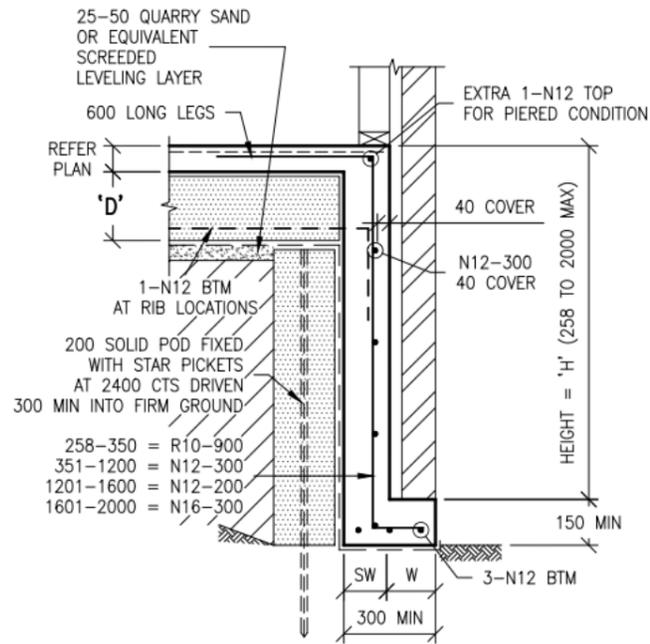
FOR: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM
SITE ADDRESS: LOT 220 (38) ANDERSON STREET PORT MACQUARIE

DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
LG	20/05/22	SEWER AMENDED	A	MJ4601	A

SHEET No: 05 of 12

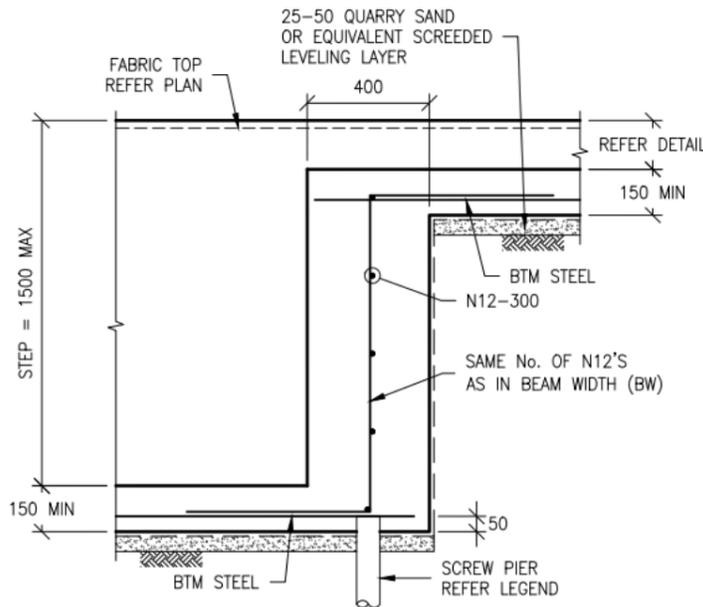


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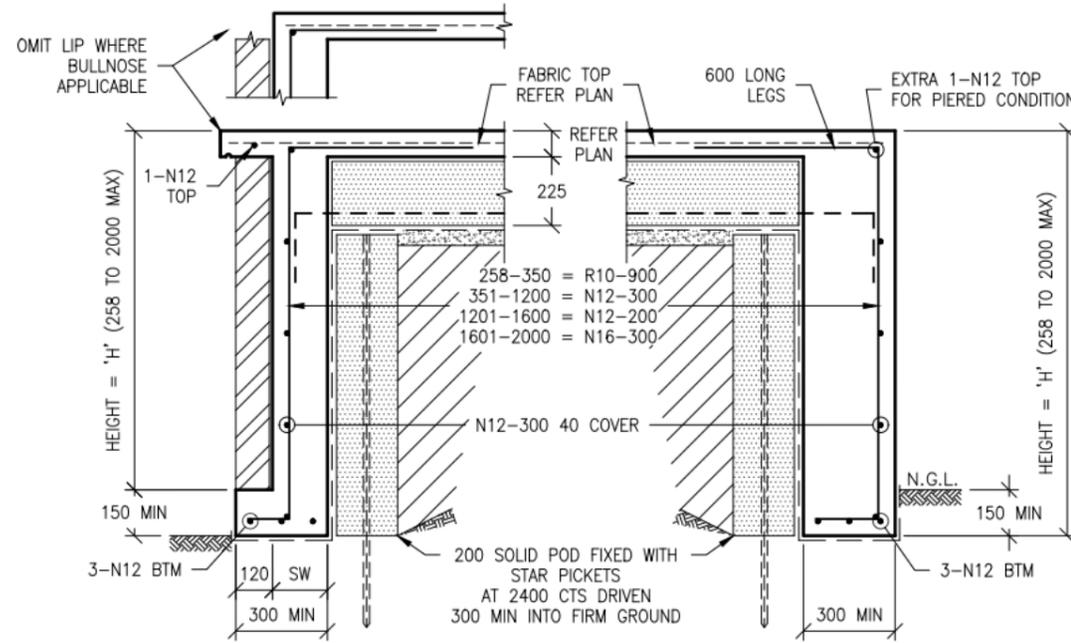


TYPICAL DEEPEDED EDGE BEAM DETAIL

'D' = 300 MAIN RESIDENCE
225 PATIO/GARAGE
'W' = 120 MIN FOR SINGLE LEAF
MASONRY WITH ENGAGED PIER.
150 MIN FOR BRICK VENEER



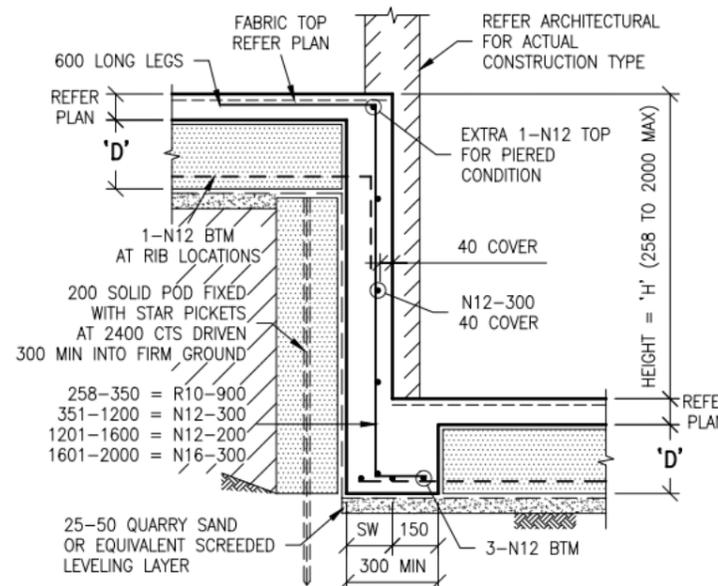
TYPICAL DEEPEDED EDGE BEAM TRANSITION DETAIL



TYPICAL ALTERNATE DEEPEDED PATIO EDGE BEAM DETAILS

**DEEPEDED BEAM
STEM WIDTH TABLE**

HEIGHT (H)	(SW) STEM WIDTH
UP TO 1200	150
1201 TO 1600	200
1601 TO 2000	250



TYPICAL DEEPEDED STEP BEAM DETAIL

'D' = 300 MAIN RESIDENCE
225 PATIO/GARAGE

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DRAWN: BQN
SCALE: 1:20

CLIENT:

McDONALD JONES
YOUR HOME YOUR DREAM

FOR: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM
SITE ADDRESS: LOT 220 (38) ANDERSON STREET PORT MACQUARIE

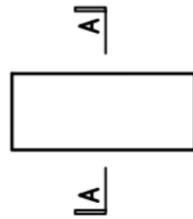
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SHEET No:
07 of 12

RAINWATER TANK SPECIFICATION

SLAB THICKNESS:	150
SLAB FABRIC MIDDLE:	SL82
CONCRETE STRENGTH: (F _c AT 28 DAYS)	N32
MAX SLUMP:	100
MAX SIZE AGGREGATE	20

NOTE: SLAB SHALL BE ALL IN CUT I.E. NO FILL

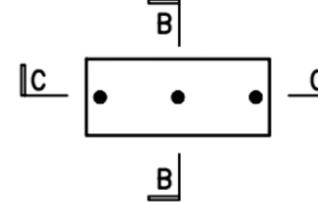


SCALE 1:100

RAINWATER TANK SPECIFICATION

SLAB THICKNESS:	150
SLAB FABRIC TOP:	SL82
CONCRETE STRENGTH: (F _c AT 28 DAYS)	N32
MAX SLUMP:	100
MAX SIZE AGGREGATE	20

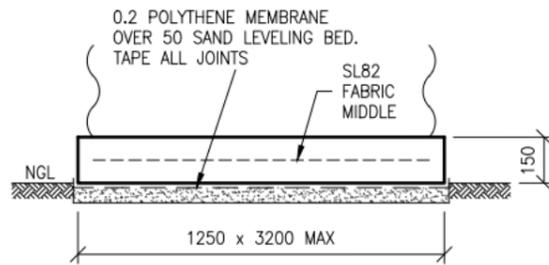
NOTE: SLAB DESIGN SUITS FILLED CONDITION



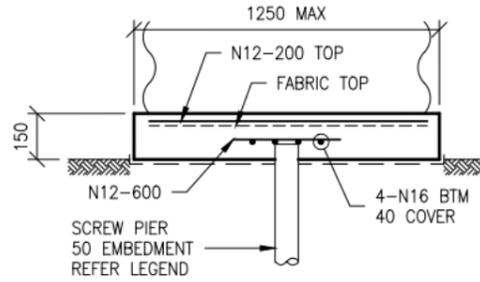
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SALINE SOIL SITE NOTE:

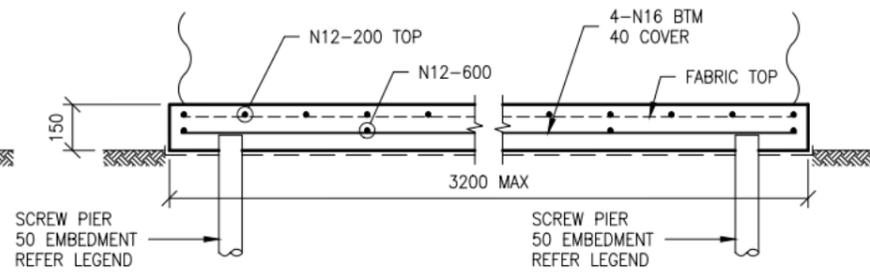
- SN1. CONCRETE IN SLAB TO BE STRENGTH GRADE N32 AND VIBRATED.
- SN2. A 0.2 HIGH IMPACT RESISTANT WATERPROOF MEMBRANE SHALL BE USED AND INSTALLED IN ACCORDANCE WITH AS2870
- SN3. A LAYER OF BEDDING SAND AT LEAST 50 THICK SHALL BE PROVIDED



SECTION A-A
SCALE 1:20



SECTION B-B
SCALE 1:20



SECTION C-C
SCALE 1:20



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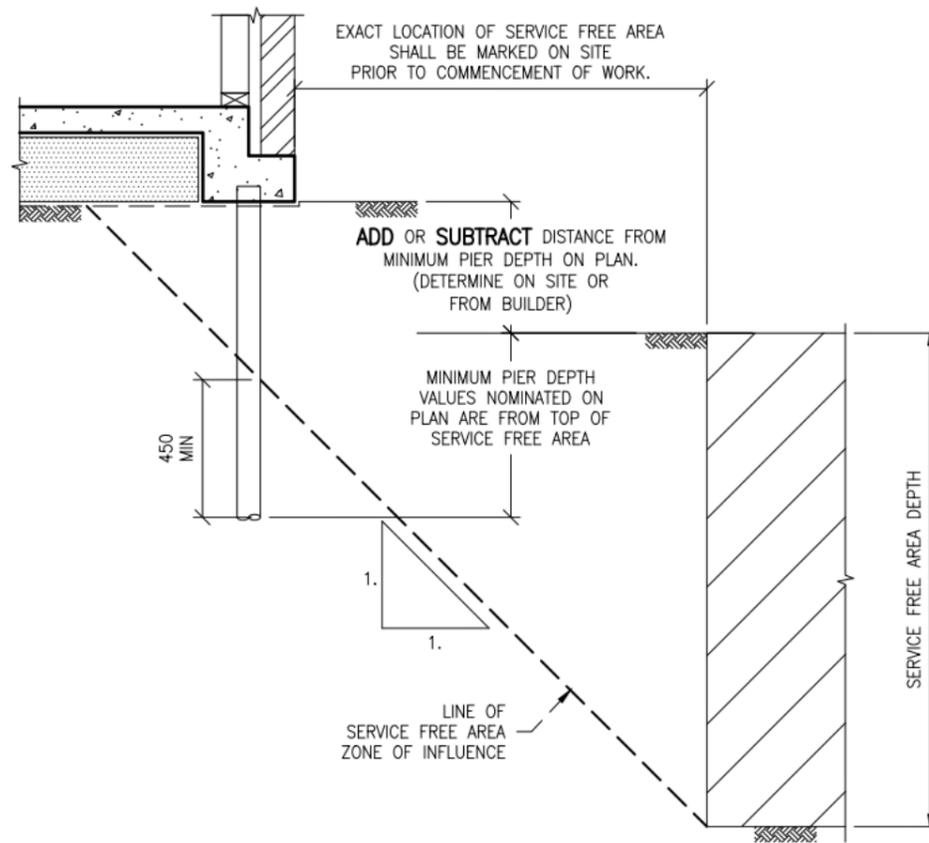
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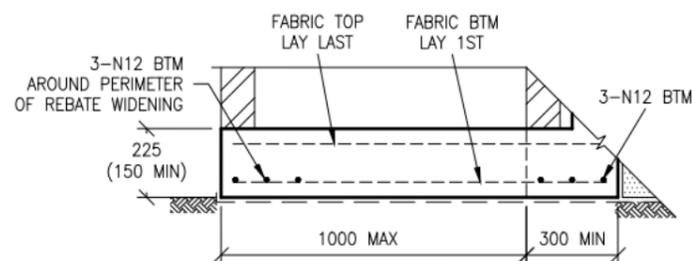
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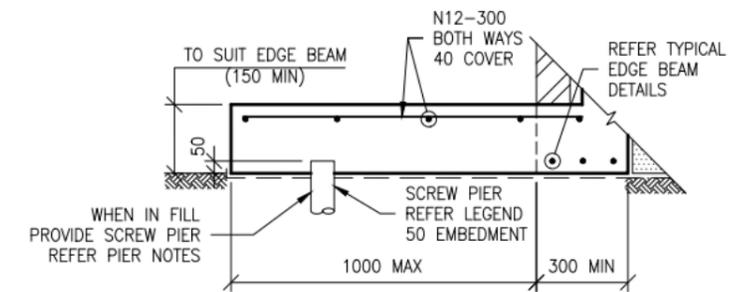
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SHEET No:	08 of 12		



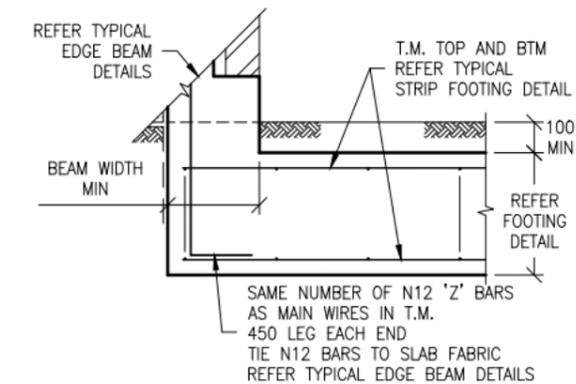
TYPICAL SERVICE FREE AREA ZONE OF INFLUENCE DETAIL
THIS DETAIL IS APPLICABLE AT ALL TYPICAL EDGE BEAMS.
CONSTRUCTION TYPE MAY VARY FROM SHOWN



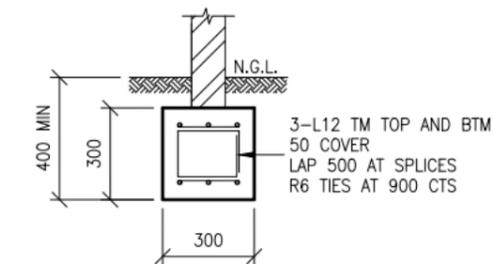
REBATE WIDENING DETAIL 'R4'
THIS DETAIL IS APPLICABLE AT ALL TYPICAL EDGE BEAMS.
CONSTRUCTION TYPE MAY VARY FROM SHOWN



TYPICAL ACU/HWS/GBS SLAB DETAIL
THIS DETAIL IS APPLICABLE AT ALL TYPICAL EDGE BEAMS.
CONSTRUCTION TYPE MAY VARY FROM SHOWN



TYPICAL STRIP FOOTING CONNECTION DETAIL
THIS DETAIL IS APPLICABLE AT ALL TYPICAL EDGE BEAMS.
CONSTRUCTION TYPE MAY VARY FROM SHOWN



TYPE 'D' FOOTING BEAM

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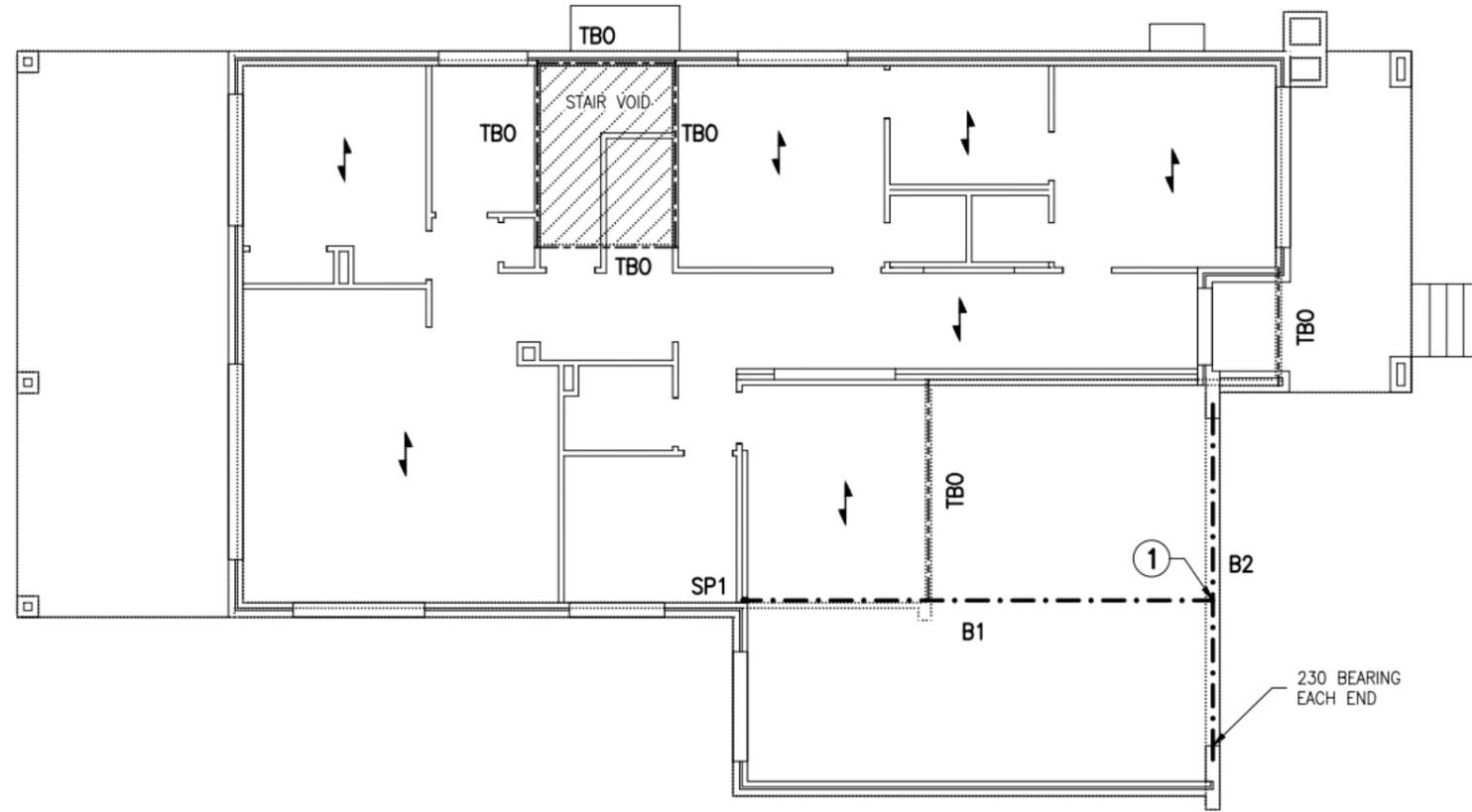
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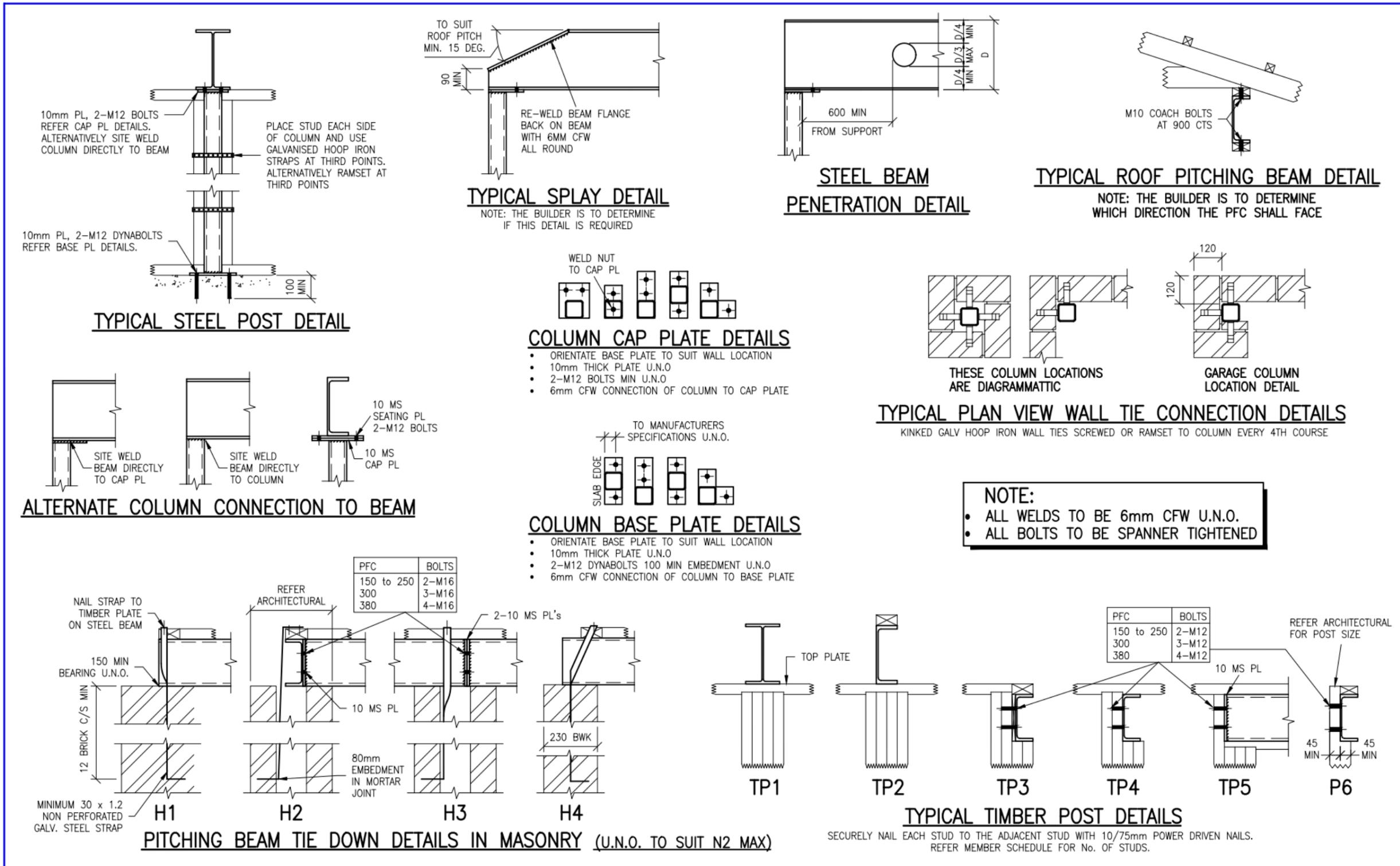
STEELWORK DESIGN MARKING DRAWING

THE BEAM(S) SPECIFIED ON THIS DRAWING DOES NOT REPRESENT THE ONLY POSSIBLE STRUCTURAL SOLUTION. PLEASE CONTACT RESIDENTIAL ENGINEERING IF AN ALTERNATIVE BEAM PROFILE WOULD BE PREFERRED FOR ARCHITECTURAL OR CONSTRUCTABILITY REASONS.

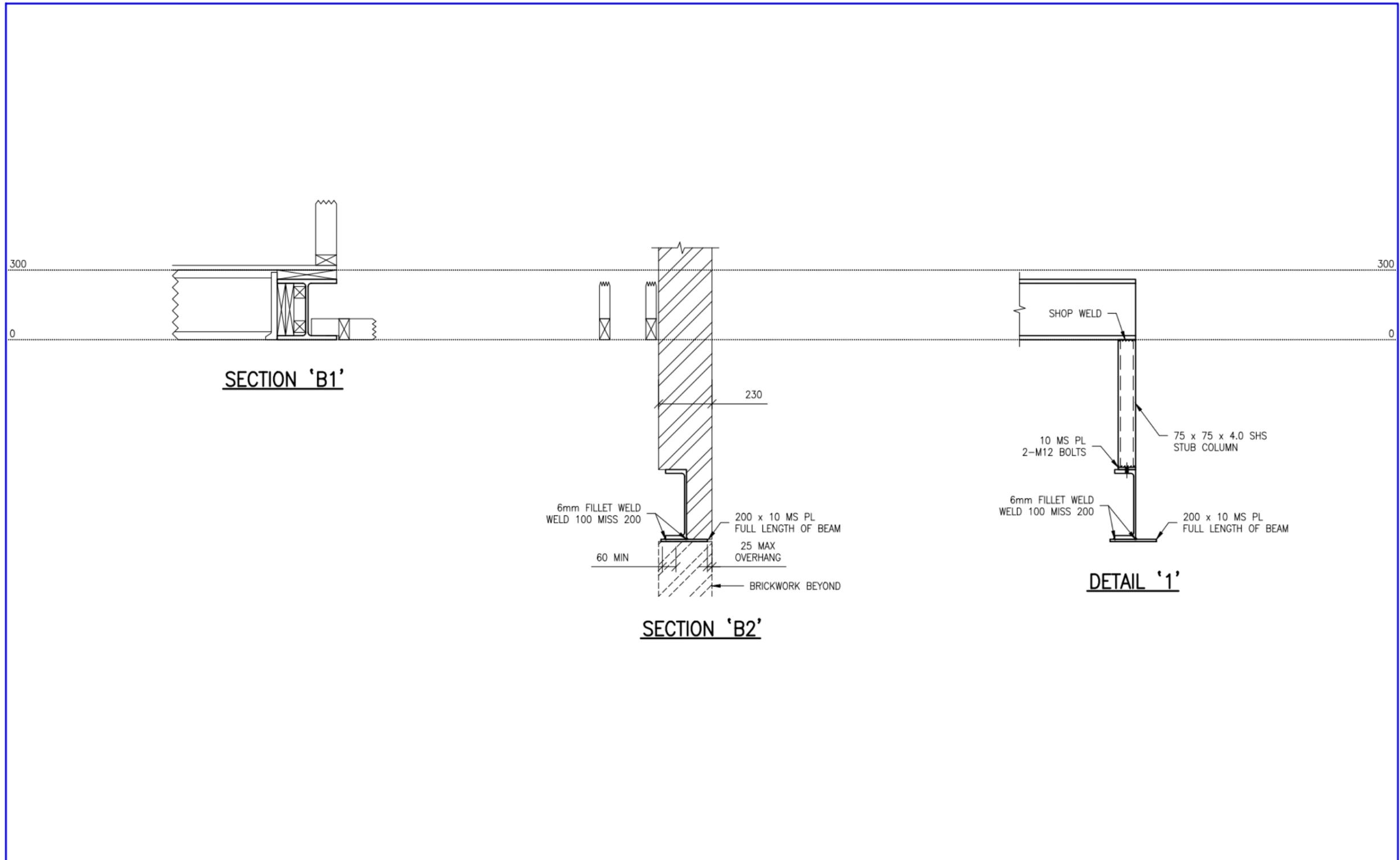
MEMBER SCHEDULE

ITEM	DESCRIPTION
B1	250UC89
B2	300 PFC + 200 x 10 MS PL
SP1	75 x 75 x 4.0 SHS
↔	FLOOR JOIST DIRECTION OVER BY BUILDER
TBO	TIMBER BEAM BY OTHERS

<p>RESIDENTIAL ENGINEERING Structural Engineers • Surveying & Geotechnical</p> <p>NSW • QLD Level 2, 73-75 Durrum Street, WENTWORTHVILLE, NSW 2145 adm@reseng.com.au 50/41 Lovelock Avenue, EAGLE FARM, QLD 4009 www.residentialeengineering.com.au RESIDENTIAL ENGINEERING PTY LTD. ACH 612 898 629 ABN 28 612 898 629 TRADING AS RESIDENTIAL ENGINEERING</p>	<p>COPYRIGHT: THIS DRAWING REMAINS THE PROPERTY OF RESIDENTIAL ENGINEERING AND MAY NOT BE ALTERED IN ANY WAY WITHOUT WRITTEN CONSENT</p>	<p>APPROVED BY:</p> <p>GERVASE PURICH FIEAust, C.P.Eng., NER, BPB, RPEQ</p>	<p>CLIENT REF: 270340</p> <p>DATE: 27.10.2021</p> <p>DRAWN: BQN</p> <p>SCALE: 1:100</p>	<p>CLIENT:</p> <p>McDONALD JONES YOUR HOME YOUR DREAM</p>	<p>FOR: MRS. MARIANNE TATTAM & MR. GEORGE TATTAM</p> <p>SITE ADDRESS: LOT 220 (38) ANDERSON STREET PORT MACQUARIE</p>	<table border="1"> <tr> <th>DRAWN</th> <th>DATE</th> <th>AMENDMENT</th> <th>REV</th> <th>JOB No:</th> <th>ISSUE:</th> </tr> <tr> <td>LG</td> <td>20/05/22</td> <td>SEWER AMENDED</td> <td>A</td> <td>MJ4601</td> <td>A</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table>	DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:	LG	20/05/22	SEWER AMENDED	A	MJ4601	A																			<p>SHEET No: 10 of 12</p>
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			<p>DATE: 27.10.2021</p>			<p>DRAWN: BQN</p>	<p>SCALE: 1:15</p>	<p>SHEET No: 12 of 12</p>			